



HARBECK-BERGHEIM HOUSE



FINAL DRAFT NOVEMBER 11, 2022

ACKNOWLEDGEMENTS

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IMAGE CREDITS

Current-day (2020) photographs provided by Mundus Bishop, RATIO, and JVA. Historic photographs (pre-2020) provided by the City of Boulder and from online archives at the Carnegie Branch Library for Local History and Boulder Historical Society Collection, unless otherwise noted.

STATEMENT

The report documents the history, significance, integrity and existing condition and provides treatment guidance for the resource. It does not evaluate for listing in the National Register of Historic Places. If the resource has been previously listed or evaluated it is referenced and footnoted.



This project is / was paid for in part by a History Colorado State Historical Fund grant. The content and opinions contained herein do not necessarily reflect the views or policies of History Colorado.

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Figure 1-1. Harbeck-Bergheim House (yellow outline) within Beach Park (red outline) in the University Hill neighborhood of Boulder, Colorado, 1938 (Source: University of Colorado Boulder: Aerial Photographs of Colorado.)

COMMON TERMINOLOGY

State/National Register Terminology^{1 2}

Area of Significance - an aspect of historic development in which a property made contributions for which it meets the National Register criteria, such as architecture, entertainment or recreation.

Character-Defining Features - the elements that account for the overall shape of the building, its materials, craftsmanship, decorative details, interior spaces and features, as well as the various aspects of its site and environment.

Compatible Feature - a prominent or distinctive aspect, quality, or characteristic of a cultural landscape that contributes significantly to its physical character. Land use patterns, vegetation, furnishings, decorative details and materials may be such features.

Contributing Resource - a building, site, structure, object, or feature adding to the significance of a property.

Designation Boundary - the boundary defined by the Landmarks Board and City Council that encompasses a historic property. This boundary represents a physical area in which any future alterations have historic preservation review associated with them.

Eligibility - ability of a property to meet the State/National Register criteria.

Evaluation Criteria - the established criteria for evaluating the eligibility of properties for inclusion in the State/National Register of Historic Places.

Historic Context - information about historic properties based on a shared theme, specific time period and geographical area.

Landscape Characteristics - the tangible and intangible aspects of a landscape from a historic period; these aspects individually and collectively give a space its historic character and aid in understanding its historical importance.

Local Landmark - a local area or building that has been determined to have a special character and historic, architectural, or aesthetic or value to the city.

Period of Significance - the span of time in which a property attained the significance for which it meets the State and/or National Register criteria, and/or Local Landmarks criteria.

Property Type - a grouping of properties defined by common physical and associative attributes.

Integrity³

Integrity is the ability of a property to convey its significance. It is assessed to determine if the characteristics that shaped the property during the period of significance are present as they were historically.

Location is the place where the historic property was constructed or the place where the historic event occurred.

Setting is the physical environment of a historic property.

Design is the combination of elements that create the form, plan, space, structure, and style of a property.

Materials are the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property.

Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.

Feeling is a property's expression of the aesthetic or historic sense of a particular period of time.

Association is the direct link between an important historic event or person and a historic property.

1 US Department of the Interior, National Park Service, *How to Complete the National Registration Bulletin* (Washington DC: National Park Service Cultural Resources, 1997), Appendix IV.

2 US Department of the Interior, National Park Service, *The Secretary of the Interior's Standards for Treatment of Historic Properties with Guidelines for the Treatment of Cultural Landscapes* (Washington DC: Cultural Resource Stewardship and Partnerships, 1996).

3 Ibid.

PROPERTY OVERVIEW

Property Name: Harbeck-Bergheim House
Location: University Hills neighborhood; adjacent to Beach Park
Property Address: 1206 Euclid Avenue, Boulder, CO 80302
Latitude/Longitude: 40.0050 / -105.2771
Legal Property Description: Lot 1-15 & 31-44 BLK 13 University Place Park Historical Building
Parcel Tag: 146331315009

Acreage / Square Footage: 0.41 Acres / 17,786 SF
Date of Construction: House (1899), Adjacent Beach Park (1937)
Designer(s): Unknown

DESIGNATION, ELIGIBILITY, & CLASSIFICATION SUMMARY

Current Designation Level		Ordinance & Listing Information	
<input checked="" type="checkbox"/> Local Landmark <input type="checkbox"/> State Register of Historic Properties (SRHP) <input type="checkbox"/> National Register of Historic Properties (NRHP)		City of Boulder Local Landmark No: <u>79-7</u> Ordinance No: <u>4454</u> Ordinance Date: <u>January 22, 1980</u> State ID: <u>5BL1472</u> National Historic Landmark No: _____	
State & National Register Eligibility ⁴			
State Register of Historic Properties	National Register of Historic Properties		
<input type="checkbox"/> Determined Eligible <input type="checkbox"/> Delisted	<input checked="" type="checkbox"/> Determined Eligible <input type="checkbox"/> Delisted		
Recommended Period of Significance			
Date Range: <u>1900</u> to <u>1969</u>			
Property Types			
<input type="checkbox"/> District(s)	<input type="checkbox"/> Structure(s)		
<input type="checkbox"/> Sites(s)	<input type="checkbox"/> Object(s)		
<input checked="" type="checkbox"/> Buildings(s)	<input type="checkbox"/> Feature(s)		
Individual Character-Defining Features of Property Types		Areas of Significance	
District(s)	Structure(s)	<u>Architecture</u> <u>Social History</u> <u>Community Planning and Development</u>	
_____	_____		
_____	_____		
Site(s)	Object(s)		
_____	_____		
_____	_____		
Building(s)	Feature(s)		
<u>Harbeck-Bergheim House</u>	_____		
_____	_____		
		Property Integrity: Aspects	
		<input checked="" type="checkbox"/> Location <input checked="" type="checkbox"/> Workmanship <input checked="" type="checkbox"/> Setting <input checked="" type="checkbox"/> Feeling <input checked="" type="checkbox"/> Design <input checked="" type="checkbox"/> Association <input checked="" type="checkbox"/> Materials	
NRHP Evaluation Criteria			
_____ Criteria A: The property is associated with event/s that have made a significant contribution to the broad patterns of our history			
_____ Criteria B: The property is associated with the lives of persons significant in our past			
_____ Criteria C: The property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components may lack individual distinction			
_____ Criteria D: The property has yielded, or may be likely to yield, information important in prehistory or history			

DESIGNATION BOUNDARY

Harbeck-Bergheim House is located in its original location. The designated boundary includes the building and its immediate surroundings.



Figure 1-2. Designation Boundary for Harbeck-Bergheim House (blue), 2020 (source: Carnegie Library for Local History)

HISTORY & SIGNIFICANCE

Historic Context

Statement of Context

Harbeck-Bergheim House is associated with the themes of residential architecture and culture within the City of Boulder, as well as in the wider context of the United States. This house is significant for its eclectic mix of Colonial Revival and Edwardian Vernacular styles. Both styles were popular during the late 19th and early 20th century in the United States and are reflected in the house's character defining features. The residence is a finely crafted and well-preserved example of these styles working in harmony. Harbeck-Bergheim House is significant for the role it has played in the social and cultural life of Boulder since 1899. The Harbeck and Bergheim families commitment to the growth of Boulder's downtown and clothing market is still shared through the preservation of the Harbeck-Bergheim House.

Background History

Harbeck-Bergheim House (officially renamed in 1972)⁵ was built in between 1899 and 1900 by John H. Harbeck. Mr. Harbeck was a chain store owner and stockbroker from New York. Harbeck and his wife, Kate, lived in Boulder during the summers. After Mr. Harbeck's death in 1910, Mrs. Harbeck ordered that their pet's graves located in the backyard of the house were not to be disturbed even after her death, which occurred in 1931. The house sold in 1936 to a local investor for fraternity or apartments, but the City denied this due to zoning restrictions. As part of her will, Mrs. Harbeck donated \$50,000 to the Society for the Prevention of Cruelty to Animals in Boulder (now the Boulder Humane Society), which funded the construction of the Boulder Humane Society, which became the final resting place for the Harbeck's pets years later.⁶

The surrounding lots were sold to William Beach in 1937. Beach was a Boulder Businessman who donated the property to the city of Boulder to be repurposed as a park. Shortly after, Milton and Violet Bergheim purchased the house in 1939. Mr. Bergheim owned and operated a prominent clothing store along Pearl Street from 1891 until 1966. The Bergheims resided at the house until 1969, when they leased it with an option to buy to the City of Boulder. The City of Boulder completed the purchase of the property in 1979.⁷ The building was repurposed into a mixed-use building accommodating classes, special events, fundraising activities, etc. for more than 5 years until the property was leased to the Boulder History Museum in 1985.⁸ The building and property was maintained as a museum until 2018. Shortly after the museum relocated to a new property, the structure was leased to its current occupants, the Women's Wilderness Institute, in 2020.⁹

Definition of the Context

Harbeck-Bergheim House is associated with the themes of Architecture, Community Planning and development, as well as Social History within the City of Boulder. The building maintains high historic integrity and reflects both the Colonial Revival and Edwardian Vernacular styles, popular during the late 19th and early 20th century in the United States. The Harbeck and Bergheim family collectively had an impact on the community development and social history by becoming the main benefactors of the Boulder Humane Society (Harbecks) and owning one of Downtown Boulder's first clothing stores (Bergheims). The Boulder Humane Society remains a major organization to the Boulder community, while the Bergheim clothing store remains located along Pearl street but operated by a different clothing company.

5 Chronology "History at a Glance" document.

6 Colorado Historical Society. 1206 Euclid Avenue Historic Building Inventory Records, 2.

7 Ibid.

8 Chronology "History at a Glance" document.

9 City and County of Boulder. Harbeck-Bergheim House, City and County of Boulder.

Development of the Theme or Area of Significance

The introduction of Harbeck-Bergheim House within the University Hill neighborhood was impactful for its role in community planning and development, its unique architectural collaborative style, and the social history that would come from its ownerships. Until the last decade of the 19th century, the University Hill area was primarily undeveloped, except for a few log cabins and pastureland owned by local farmers. The first large-scale development effort in this region was initiated in 1890 by the Denver and Boulder Land and Investment Company as University Place Addition. This 194-acre addition to the City of Boulder was located between College and Baseline Road - Sixth and Eighteen Street. The area was platted into 1,820 lots.¹⁰ One of these lots was allocated to the Harbeck Family who built their residence in 1899. With the growth of the University, construction of new homes in the University Hill area surged in the early 1900's and remains a prominent neighborhood within the City of Boulder today.

The newly developed University Hill area combined a wealth of residential architectural styles made popular across the nation during the late nineteenth/ early twentieth centuries. During this period of community development, homes of the Bungalow style were most popularly built, however the neighborhood also displayed a significant number of homes in the Edwardian Vernacular style, Colonial Revival, Tudor Revival, English Cottage, and Craftsman style.¹¹ The Harbeck-Bergheim House is a perfect eclectic example of the Edwardian Vernacular and Colonial Revival utilized for one residential structure. Some of the Edwardian Vernacular style characteristics seen at the Harbeck-Bergheim House include asymmetrical massing, lack of ornamentation, wrap-around porch, and classical details. In addition, some of the Colonial Revival characteristics seen at the residence include but are not limited to: a prominent entrance such as a portico, classic columns, dormers, and front doors with sidelights.

Although the Harbeck family kept to themselves for most of their summer stays in Boulder¹², they grew social roots with the Boulder community through a love of their dogs and animals. Without Mrs. Harbeck's generous donation to the Boulder Humane Society, they may not have had as much success in those early years or even today. Two generations of the Bergheim family owned and operated a prominent clothing store in the heart of downtown Boulder along Pearl Street.¹³ Their commitment to the growth of Boulder's downtown and clothing market is still shared through the preservation of the Harbeck-Bergheim House as well as their family-owned store on Pearl Street. With proper preservation of the residence, these stories can be continuously shared with the University Hill neighborhood and Boulder Community.

Associated Property Types

Harbeck-Bergheim House is reminiscent of the Edwardian Vernacular and Colonial Revival architectural styles made prominent throughout the United States. The Colonial Revival held influence in residential communities from the 1880s to the 1940s, while the Edwardian Vernacular style had a short-lived prominence lasting from 1900 to 1914. Multiple properties of these styles are found throughout the University Hill neighborhood. Harbeck-Bergheim House uniquely stands out within its community for the way both styles were harmoniously combined at the residence. The house's eclectic architectural nature, as well as being bounded on two sides by Beach Park and elevated from the street sets it apart as a dominant and impressive local landmark in the University Hills neighborhood.

Physical Characteristics and Integrity

Harbeck-Bergheim House is a two-and-a-half-story building with an attic and garden level basement. It has a flared, hipped roof with overhanging eaves, decorative modillions, and stone chimneys. There is a wood cornice with dentil trim as well as dormers with cameo windows. Two sets of two-story bay windows that are located on the front facing facade (north elevation) and the east elevation. Each have been designed with 1/1 light double-hung windows.¹⁴ A one-story portico with classical stone columns atop stone walls (that make up a wrap-around porch) with a cornice lined balustrade is located on the front facing facade as well. A curvilinear stone wall is located adjacent to the front portico.¹⁵ The main door is a solid wood dutch door flanked by leaded glass sidelight windows.

10 R. Laurie Simmons and Thomas H. Simmons, *University Hill Neighborhood History and Walking Tour*, 1992, 2.

11 Ibid., 3-4.

12 Colorado Historical Society. 1206 Euclid Avenue Historic Building Inventory Records, 2.

13 Ibid., 4.

14 Ibid., 5.

15 Ibid.

This building has remained in its original location since construction. The Harbeck-Bergheim House resides on seven (7) open lots (originally 27). The house is surrounded by dense neighborhood in all directions. The University Hill neighborhood in which it resides is filled with interesting homes of the Craftsman era and others built in succeeding decades. The overall design has remained primarily unchanged since its original construction. Most of the original materials have remained the same. Between 1991 to 2015, multiple, but minor, rehabilitations, building upgrades and improvements took place. The workmanship is consistent with the combination of the Colonial Revival and Edwardian Vernacular architectural styles seen in the United States during the turn of the 20th century. With much of the first and second floor spaces having been maintained with original decor and furnishings, the feeling is authentic. The building maintains its associations with John and Kate Harbeck, benefactors of the Humane Society, and the Bergheim family, who for two generations owned a clothing store in downtown Boulder.

Harbeck-Bergheim House maintains much of its original character, design, and materials. In 1972, the basement was modified to accommodate a caretaker's apartment. Between 1991 and 2015, various rehabilitations, building upgrades and improvements took place to preserve the structure's character and accessibility.

Statement of Significance

Harbeck-Bergheim House is significant for its eclectic mix of Colonial Revival and Edwardian Vernacular styles. Both styles were popular during the late 19th and early 20th century in the United States and are reflected in the building's classical details, Ionic columns, one-story portico, wrap around porch, and stacked bay windows.¹⁶ The building is a finely crafted and well preserved example of these styles working in harmony. The house's association with the former Harbeck and Bergheim residences, as well as its impressive architectural features, make the house a valued local landmark within the University Hill neighborhood of Boulder.

Harbeck-Bergheim House is significant for the role it has played in the social and cultural life of Boulder since 1899. Upon Mrs. Harbeck's death she donated \$50,000 to the Society for the Prevention of Cruelty to Animals in Boulder (present-day the Boulder Humane Society.) Milton and Violet Bergheim purchased the house in 1939. Mr. Bergheim owned and operated a prominent clothing store along Pearl Street from 1891 until 1966.¹⁷ Their commitment to the growth of Boulder's downtown and clothing market is still shared through the preservation of the Harbeck-Bergheim House as well as their family owned store on Pearl Street.

Harbeck-Bergheim House is significant for its representation of the Colonial Revival and Edwardian Vernacular architectural styles made popular during the late 19th and early 20th century in the United States. These styles are reflected in the Harbeck-Bergheim House's prominent classical details. Bounded on two sides by Beach Park, the Harbeck-Bergheim House is elevated from the street and is a dominant and impressive local landmark within the University Hill neighborhood.¹⁸

Recommended Period of Significance

The recommended period of significance for Harbeck-Bergheim House is 1900 to 1969 for the period in which it was a private residence. The period begins with the construction of the building and ends when the Bergheim family moved out the residence in 1969, after which it was leased to the City of Boulder.

¹⁶ Colorado Historical Society. 1206 Euclid Avenue Historic Building Inventory Records, 5.

¹⁷ Ibid, 2.

¹⁸ Ibid, 3.

Summary of Use

Historic Use

Harbeck-Bergheim House was historically maintained as a private residence, located within the University Hill Neighborhood from the year it was erected in 1899 until 1969. John and Kate Harbeck resided in the house during the summer months until 1936. Mrs. Harbeck ordered that their pet's graves in the backyard were not to be disturbed even after her death, and the house did not sell until 1936. Many of the surrounding lots (lots 8-27) were sold to William Beach in 1937 (lots 8 to 27). Beach was a Boulder business man who donated his property to the City of Boulder to be re-purposed as a park in 1937. Shortly after, Milton and Violet Bergheim purchased the house in 1939. The Bergheims called this structure home until 1969, when they leased the house with an option to buy to the City of Boulder. The City of Boulder started planning the future use of the site and ultimately re-purposed the house for community events in 1979. In 1985 the building was leased to the Boulder History Museum who used the structure as a museum until 2018.

Date	Event
1899 to 1936	Home of John & Kate Harbeck
1936 to 1939	Home of Leonard Blystad
1937 to present	William Beach purchases and donates lots 8 to 27, known as Beach Park
1939 to 1969	Home of Milton & Violet Bergheim
1970 to 1979	City of Boulder begins the purchase of the property and initiates a Facility Use Study
1979 to 1985	Community Center & Event Space
1985 to 2018	Boulder History Museum

Current Use

The City of Boulder has maintained and owned the Harbeck-Bergheim House since 1969. The lots donated by William Beach to the city for a park are present-day Beach Park. Harbeck-Bergheim House is currently leased to Women's Wilderness Institute.¹⁹

Date	Event
1969 to present	City of Boulder Ownership
2020 to present	Women's Wilderness Institute in the current leasee

¹⁹ City and County of Boulder. Harbeck-Bergheim House, City and County of Boulder

INTEGRITY

The integrity of Harbeck-Bergheim House is assessed to determine if the characteristics that shaped the original construction within its period of significance (1900 to 1969) are present as they were historically. Integrity is evaluated according to seven aspects or qualities: location, setting, design, materials, workmanship, feeling, and association. Harbeck-Bergheim House retains integrity in all seven aspects.

Location

The building has remained in its original location since construction.

Setting

The original property boundary was comprised of 27 lots. Harbeck-Bergheim House was located on lots 1-7. The setting was modified in 1937 when William Beach bought the remaining original lots surrounding the house and presented it to the city as "Beach Park," which has been maintained to this day. The house is surrounded by dense neighborhood in all directions. The University Hill neighborhood in which it resides is filled with interesting homes of the Craftsman era and others built in succeeding decades.

Design

Harbeck-Bergheim House retains architectural integrity as the design remains primarily unchanged since its original construction. A caretaker apartment was added to the basement. Other alterations include the addition of an accessible ramp and handrail at the front sidewalk; replacement of the rear porch, roof material, and front window; the addition of a new furnace, air conditioner and condenser and insulation in the attic; and the addition of signage. The interior has seen a fair amount of change to accommodate back of the house spaces after the building turned over to a museum.

Materials

Most original finish and architectural materials have remained. Between 1991 and 2015, multiple modifications, building upgrades and improvements replaced materials to match in-kind. Modifications to the interior included adding a mixed-use office space. Some finishes were altered at this time.

Workmanship

The workmanship is consistent with the combination of the Colonial Revival and Edwardian Vernacular architectural styles seen in the United States during the turn of the 20th century.

Feeling

The Harbeck Bergheim House has retained many of its original character defining features and has therefore maintained the feeling of authenticity.

Association

The building maintains its associations with John and Kate Harbeck, benefactors of the Humane Society, and the Bergheim family, who for two generations owned a clothing store in downtown Boulder.

Construction & Alteration History

Date	Event	Source
1899	House built by J. H. Harbeck.	"History at a Glance"
1936	Leonard Blystad purchased the property from estate representatives and proposed remodeling it as a fraternity or as apartments. The city denied due to zoning restrictions.	"History at a Glance"
1937	Blystad sold approximately 20 of the 27 lots to William Beach who then donated those 20 lots to the city for park purposes (lots 8 to 27).	"History at a Glance"
1939	Milton Bergheim purchased the property (lots 1 to 7), which he used as a private residence for his family.	"History at a Glance"
1970	City of Boulder leased the property with the option to buy. The suggested repurpose of the building was to a cultural center for events and activities for persons of all ages within the Boulder Community.	"History at a Glance"
1970 to 1972	Caretaker apartment built in the basement.	"History at a Glance"
1972	Officially named the Harbeck-Bergheim House by the Boulder Parks and Recreational Advisory Board.	"History at a Glance"
1979	City of Boulder purchased the property from the estate of Milton N. Bergheim, for use at classrooms, special events, fund raising activities, clubs, workshops, etc.	"History at a Glance"
1980	Harbeck-Bergheim House designated as a local Landmark by the City of Boulder.	City of Boulder Landmark. L-79-7
1985	Property leased to the Boulder History Museum for use as a museum (non-conforming use).	"History at a Glance"
1986	Fire Suppression system installed.	"History at a Glance"
1991	Accessible ramp installed (Landmark Alteration Certificate).	"History at a Glance"
1992	Back porch replaced in-kind and signage installed for the museum (Landmark Alteration Certificate).	"History at a Glance"
1996	Exterior lighting installed (Landmark Alteration Certificate).	"History at a Glance"
1999	Front porch reroofed and bay window roof metal cap replaced (Landmark Alteration Certificate).	"History at a Glance"
2002	Handrail installed at front sidewalk (Landmark Alteration Certificate).	"History at a Glance"
2005	Air conditioner, rooftop condenser unit, and new furnace installed (Landmark Alteration Certificate).	"History at a Glance"
2011	Front window replaced (Landmark Alteration Certificate).	"History at a Glance"
2013	Building reroofed with like materials (Landmark Alteration Certificate).	"History at a Glance"
2015	Attic insulated.	"History at a Glance"
2018	Museum of Boulder vacated the property and moved to a new location. City of Boulder began decision-making process for future use and ownership of Harbeck-Bergheim House.	"History at a Glance"
2018 to 2020	Staff identified stabilization and restoration of interior stained-glass window as a community and departmental priority, which was restored by Watkins Stained Glass Studio.	Harbeck-Bergheim House
2020	Parks and Recreation Advisory Boards and City Council approve the lease agreement of the Harbeck – Bergheim House to Women's Wilderness Institute.	Harbeck-Bergheim House

EXISTING CONDITION

Landscape Condition

Summary of Landscape Characteristics

The Harbeck-Bergheim House's historic setting, features and spatial relationships remain similar to the period of significance. The building is set on 7 the original 27 lots nestled in the University Hill neighborhood. The remaining twenty lots of Beach Park border the landscape along the west and south. The elevated building and open lawn face north to Euclid Avenue and remain an impressive local landmark in the University Hill neighborhood.

Topography

The landscape's topography gradually slopes from south to north transitioning to steeper slopes along Euclid Avenue and 12th Street right-of-way and along the driveway. The building sits at a high point of the site on a leveled terrace along the south boundary.

Spatial Organization

The historic setting and spatial organization remain intact since the period of significance. The building is oriented north and set back from Euclid Avenue. A large and open front lawn bordered by trees along the property edges enhances the prominence of the building.

Circulation

The circulation pattern for pedestrians consists of stone paved sidewalks along Euclid Avenue and 12th Street, stone steps and a stone paving leading up to the main entry of the building from Euclid Avenue, and a stone pavers from 12th Street to building's back entry. (Figure 1-3). The stone paved sidewalk and steps are contributing features. An accessible path does not exist to the front porch.

A paved driveway extends from Euclid Avenue to the east side of the building and extends into a parking area. The alignment of the driveway is contributing, but the parking area and asphalt paving are contemporary additions. The asphalt paving is crumbling and is in poor condition. The parking area has an ADA parking space near a non-compliant accessible wood ramp that was installed in 1991 to provide access to the back entry of the building.

Small Scale Features

Contemporary non-contributing small-scale features at the parking area including trash bins and parking signs support operational function at Harbeck-Bergheim House.



Figure 1-3. Sandstone steps and walk to Main Entry from Euclid Avenue, 2020 (source: Mundus Bishop)



Figure 1-4. Driveway with parking areas, 2020 (source: Mundus Bishop)

Vegetation

The original expanse of open lawn remains with mature deciduous trees lining Euclid Avenue and 12th Street. Ornamental and evergreen trees, shrubs, perennials, and vines surround the building foundation. The plant material has been altered over the years. A perennial Memorial Garden at the southwest corner of the property is a contemporary addition and is routinely maintained by volunteers.

Views and Viewsheds

Prominent views from Euclid Avenue to the building and southeastern views of the Boulder Flatirons from the lawn contribute to the significance of the Harbeck-Bergheim House. (Figure 1-5).



Figure 1-5. Memorial Garden at southeast corner
(source: Mundus Bishop)



Figure 1-6. Trees and shrubs at the north and west sides of
the building, 2020 (source: Mundus Bishop)



Figure 1-7. View of Flatirons from open lawn, 2020.
(source: Mundus Bishop)

Contributing and Non-Contributing Features

Table 1-1: Contributing and Non-Contributing Features

Feature	Condition	Contributing/ Non-Contributing
Topography		
Sloped Lawn	Good	Contributing
Leveled Area around Building	Good	Contributing
Circulation		
Sandstone sidewalk along Euclid Avenue	Poor	Contributing
Sandstone sidewalk along 12th Street	Poor	Contributing
Sandstone steps and walk from Euclid Avenue to Main Entry	Fair	Contributing
Sandstone walk from 12th Street to back entry	Poor	Contributing
Brick pavers at Memorial Garden	Good	Non-Contributing
Non-compliant accessible ramp at back entry	Poor	Non-Contributing
Driveway	Poor	Contributing
Parking	Poor	Non-Contributing
Vegetation		
Trees along Euclid Avenue	Fair	Contributing
Trees along 12th Street	Fair	Contributing
Trees, shrubs and perennials along building foundation	Good	Contributing
Memorial Garden	Fair	Non-Contributing
Views and Viewsheds		
View to Boulder Flatirons from lawn	Good	Contributing
View from Euclid Avenue to building	Good	Contributing

Architectural Description

Harbeck-Bergheim House is a two-and-a-half-story dwelling with an attic atop a raised basement. The exterior of the house consists of rusticated evenly coursed stone walls and stone belt courses. A one-story portico with classical stone columns atop stone walls, which create a wrap-around porch. A cornice line balustrade is on the front facing facade (north elevation). Two (2) sets of two story bay windows are on the north and east elevations, each with 1/1 light double-hung windows.²⁰ The south and west elevations have a mix of double-hung and fixed windows. The house is topped by a flared, hipped roof with overhanging eaves and modillions. A wood cornice with dentil trim and dormers with cameo windows. The front entry door is a solid wood Dutch door flanked by leaded glass windows. A grand stair with wood treads, balusters and railings is inside the front entrance. All of these architectural features are character defining and contribute to the significance of the building.

Primary Materials

Character defining materials include the exterior coursed sandstone with a quarry-faced surface, asphalt shingles, all historic windows and doors, decorative wood trims on the interior and exterior of the building, interior painted plaster walls and ceilings, original hardwood flooring, wood wainscoting, and decorative fireplaces. This masonry structure is primarily built of coursed sandstone with a quarry-faced surface.²¹ The roof consists of asphalt shingles. Exterior windows, doors, roof eaves, and porch have decorative wood trims. Wood is primarily utilized for trim on the building's interior. The interior walls and ceilings are predominately painted plaster, and floors are hardwood. Wood wainscoting is present in multiple areas of the house. Most doors are solid wood. Several rooms feature fireplaces with decorative wood trim, ceramic tile surrounds, and cast-iron inserts.

Harbeck-Bergheim house retains its original character, design, and most of the original materials since its initial construction. The basement was modified to accommodate a caretaker's apartment. Between 1991 and 2015. Alterations included addition of an accessible ramp and handrail at the front sidewalk; replacement of the rear porch, roof material, and front window; the addition of a new furnace, air conditioner and condenser and insulation in the attic; and the addition of signage.



Figure 1-8. Harbeck-Bergheim House at 1206 Euclid Avenue, in the early 1900's (source: Carnegie Library for Local History)

²⁰ Colorado Historical Society, 1979. 1206 Euclid Avenue Historic Building Inventory Records, 5.

²¹ CSC. Historic Structure Report: Building Condition Evaluation: Harbeck House Exterior. CSC, 5.

Architectural Condition

Concrete

The front wrap around porch flooring is poured concrete and is positioned lower than the finished floor of the first level. The concrete flooring does not seem to be original to the building, but it appears to be in good condition, with no major damage or cracks.

Masonry - Stone

Front Porch: The walls surrounding the porch appear to be made of the same stone as the main building. Overall the stone is in fair shape, with a few areas in poor condition. The primary areas of concern are on the interior faces of the wall on the north side, and around the main entry stair to the north. Significant wear to the stone and mortar is evident and large amounts of both have been weathered away, mostly likely from use of salts and chemical deicers. Graffiti and its removal have caused damage to the stone at both the porch and the main building walls.

Wrap-around porch walls appear to be a different type of stone, which is in fair condition. Several cap stones are covered with lichens. The entry steps to the porch were noted as Lyons sandstone in previous building evaluations, and appear to be in good condition with some uneven gaps due to ground settling. Four large stone columns support the porch roof and the stone appears to be in good condition. The mortar is in fair to poor condition and in need of repointing.



Figure 1-9. Porch transition at the main entry door, 2020 (source: Ratio)



Figure 1-10. Stone damage at the interior porch wall, 2020 (source: Ratio)



Figure 1-11. Porch stone walls near the main entry steps, 2020 (source: Ratio)



Figure 1-12. Main entry steps, 2020 (source: Ratio)



Figure 1-13. Porch columns, 2020 (source: Ratio)

North Facade: In general, the stone masonry on the north side of the building appears to be in good condition. Some visible damage is on the stone just west of the main entry door. One of the headers over the bay windows just east of the main entry has a large crack.

East Facade: The east wall of the building is in good condition overall. However, the south end of the porch has considerable damage to the building masonry, which appears to have been caused by water damage and drainage issues as well as past graffiti removal processes. Another area of damage is at the base of the shallow pilaster near the south east corner of the building.

South Facade: The masonry on the south wall is in good condition overall. A cracked stone is above the entry porch addition. The south west building corner has vines growing on the stone, causing potential damage.



Figure 1-14. Efflorescence west of main entry, 2020 (source: Ratio)



Figure 1-15. Cracked header, 2020 (source: Ratio)



Figure 1-16. Stone damage at stair, 2020 (source: Ratio)



Figure 1-17. Stone damage at gutter, 2020 (source: Ratio)

West Facade: The stone overall appears to be in good condition on the west face. The stone detailing below one windows has some evidence of water damage. Another area toward the bottom of the wall has significant amounts of lichen. A few stones have damaged stone faces or faces are damaged or weathered away.

Chimneys: The stonework on the chimneys appears to be in fair to poor condition. Many stones are very worn and weathered with portions of the stones missing, and significant mortar missing. Of the three chimneys, one, in the north east corner, appears to be in the worst condition.



Figure 1-18. Cracked stone, 2020 (source: Ratio)



Figure 1-19. Vines on stone masonry, 2020 (source: Ratio)



Figure 1-20. Stone detailing below window, 2020 (source: Ratio)

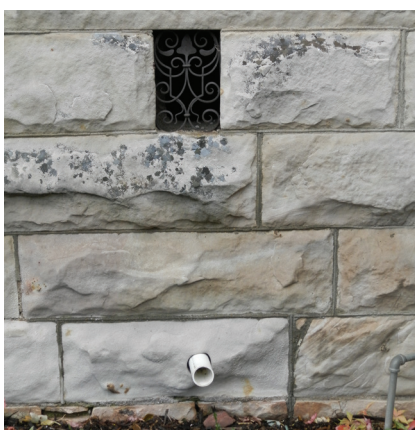


Figure 1-21. Lichen and weathered stone, 2020 (source: Ratio)



Figure 1-22. South east chimney, 2020 (source: Ratio)



Figure 1-23. North east chimney, 2020 (source: Ratio)

Masonry - Brick

Exposed brick is in the basement and attic. The brick overall appears to be in fair condition. Primary areas of damage are those where ductwork or other penetrations have been made through the brick walls. The resulting openings left holes in the brickwork, and the attempted sealing material between the ducts and the brick has not functioned properly, causing more damage to the surrounding bricks and integrity of the walls in those areas.

Glazing

The exterior window glazing is in good condition overall with no major cracks or missing panes. A few basement windows have had the glazing removed for ventilation of interior appliances. The stained glass throughout the building has been repaired and appears to be in good condition



Figure 1-24. Basement brick masonry, 2020 (source: Ratio)



Figure 1-25. Eave attic masonry, 2020 (source: Ratio)



Figure 1-26. Stained glass at main north entry, 2020 (source: Ratio)



Figure 1-27. Stained glass at interior stairway, 2020 (source: Ratio)

Wood

Exterior Porch: As viewed from ground level, the wood porch appears to be in fair condition with evidence of cracking and paint peeling. Below the porch, the wood soffit shows evidence of cracking and warping. During the site visit, a substantial yellowjacket nest was located behind the soffit. The wood railing wraps around the top of the porch and is in poor condition with areas of major splintering, and multiple areas where the bare wood is exposed. An attempt at protecting the top of this wood was made at some point in the past is with the addition of metal caps that cover the tops of the rails. It is unclear what the condition of the wood beneath

Exterior Roof: In general, the roof eaves and soffits appear to be in good condition. The brackets and wood detailing appears intact, with little evidence of rot or damage. The metal gutters and downspouts around the building are in poor to fair condition. The exterior wall finish around the attic appears to be in fair condition. A few areas have paint missing, and some weathering, but most finishes have little to no damage.

Exterior Windows and Doors: The wood windows and doors vary in condition based upon their locations. Many exterior frames and sashes have peeling and cracking paint over most exterior surfaces.



Figure 1-28. Porch roof, 2020 (source: Ratio)



Figure 1-29. Railing above entry porch, 2020 (source: Ratio)



Figure 1-30. Attic exterior, 2020 (source: Ratio)



Figure 1-31. Wood window, 2020 (source: Ratio)



Figure 1-32. Roof soffits, 2020 (source: Ratio)

Exterior South Porch: The enclosed porch is used as the main entrance with the attached ramp providing an accessible entry. The porch walls are bead board and appear to be in fair condition with some warping and cracking. The flooring has been painted and is worn with signs of weathering, primarily near the exterior door. An entry ramp and stair have been added to access the south porch that are not original to the building. These additions appear to be in fair condition and have significant rust on the metal elements that connect the ramp to the concrete slab below. Just east of this porch area is a staircase leading to the basement, which is below the porch. The cellar door is covered by a plywood covering and is kept closed due to vagrancy concerns.

Interior Lobby: The lobby has wood wall paneling, a wood fireplace surround, and wood detailing leading up to the main staircase. The majority of these decorative wood elements are in good condition. The front door is a Dutch door and is fully functioning. The detailing appears to be intact with minimal wear. Two primary areas of wear are around the window seat and at the exposed treads of the staircase.



Figure 1-33. South porch entry ramp, 2020 (source: Ratio)



Figure 1-34. South porch interior, 2020 (source: Ratio)



Figure 1-35. South porch entry ramp, 2020 (source: Ratio)



Figure 1-36. Lobby wood paneling, 2020 (source: Ratio)



Figure 1-37. Main staircase Ratio, 2020 (source: Ratio)

Interior Windows and Doors: The larger window interiors appear to be in good condition overall. Many interior windowsills show significant wear, weathering, or water damage. Many of the circular and oval windows have significant cracking in their frames and sashes. In general, the doors appear to be in fair condition. The hardware and other areas of use have finishes that are worn, scratched, or scuffed. At some locations where the doors have been painted, the painted finish is scratched or peeling.



Figure 1-38. Oval attic window, 2020 (source: Ratio)



Figure 1-39. Interior window sill, 2020 (source: Ratio)



Figure 1-40. Circular window, 2020 (source: Ratio)



Figure 1-41. Interior wood pocket doors, 2020 (source: Ratio)



Figure 1-42. Painted interior door Ratio, 2020 (source: Ratio)



Figure 1-43. Door hardware, 2020 (source: Ratio)

Wood Flooring: Wood flooring throughout the building appears to be in fair condition. A few larger areas of concern showing burn marks or water damage, however most flooring has general wear and scratching. In the attic, wood flooring appears to be in worse condition than the rest of the building with gapping between boards, and noticeable scratching. The flooring does not appear to have the same quality or finish as the rest of the building.

Attic: The walls and ceilings in the attic are wooden bead boards, which appears to be in fair condition overall, with some areas where the panels have been replaced. Water damage below the exterior windows. The stairs to the attic are in fair condition but are severely worn and scratched on the risers and treads. Wood guardrails are in good condition with some minor scrapes and scuffs on the interior surfaces.



Figure 1-44. Wood flooring, 2020 (source: Ratio)



Figure 1-45. Attic flooring, 2020 (source: Ratio)



Figure 1-46. Attic finishes, 2020 (source: Ratio)

Miscellaneous Interior Wood Components: Wood fireplace surrounds are on both the first and second floors and appear to be in good condition. A large built-in cabinet with stained glass doors and a mirrored back wall is on the first floor and appears to be in good condition. Many second-floor closets have built in cabinetry and are in fair condition. One cabinet has a missing drawer, and most have small scratches and dents on the top surfaces.



Figure 1-47. Attic staircase, 2020
(source: Ratio)



Figure 1-48. Closet built-in cabinets, 2020 (source: Ratio)



Figure 1-49. Closet built-in cabinets, 2020
(source: Ratio)



Figure 1-50. Fireplace, 2020 (source: Ratio)



Figure 1-51. Fireplace, 2020
(source: Ratio)



Figure 1-52. Built-in cabinet, 2020 (source: Ratio)

Interior Finishing/ Detailing

Apart from some detailing on the one of the first-floor ceilings, the interior wall and ceiling finishes are a mix of painted and unpainted wallpaper. Previous attempts to remove the wallpaper were unsuccessful, and the wallpaper was painted over. Most finished surfaces are in good condition. A few areas have peeling wallpaper. A portion of the plaster finish has come off the wall in the second-floor closet.

Tiling: Tile work includes restrooms on each floor, and the basement kitchen. In the second level restroom the tile wainscot and floor are in keeping with the character of the building and appear to be in good condition. Adjacent to the restroom is a separate shower that has tile walls and concrete flooring. The tile is in good condition but is not original to the building or in keeping with the character. The first-floor restroom was modified for accessibility. The floor tile appears to be in good condition and matches the character of the building. The walls in the first-floor restroom are a bead board wainscot with wood trim that are in good condition. In the basement, the kitchen and restroom floor tiles are not original to the building and appear to be in fair condition. Portions of the grout need repair.

Roofing

Without roof access, the full condition of the existing roof could not be verified. Of what could be seen from ground level, the existing shingles appear to be in fair condition. Some edges of the shingles are weathered and torn. Metal flashing around the chimneys and roof penetrations appear to be in fair condition as well with some areas in need of sealant repair. The small portion of the flat roof that can be accessed from the attic window has a membrane roofing system that appears to be in good condition. This is not original to the structure.

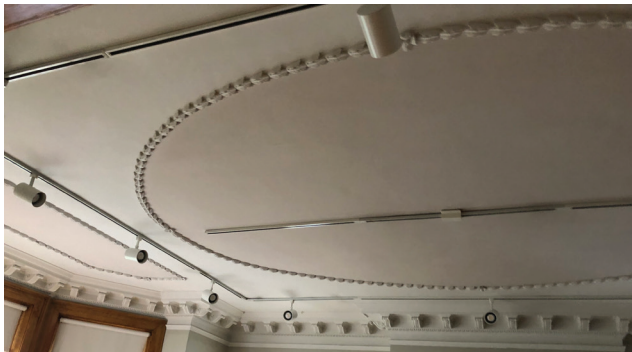


Figure 1-53. Ceiling detailing, 2020 (source: Ratio)



Figure 1-54. Peeling wallpaper, 2020 (source: Ratio)



Figure 1-55. Second floor restroom, 2020 (source: Ratio)



Figure 1-56. Shower tile, 2020 (source: Ratio)



Figure 1-57. First floor restroom, 2020 (source: Ratio)



Figure 1-58. Basement kitchen, 2020 (source: Ratio)



Figure 1-59. Basement restroom, 2020 (source: Ratio)

Mechanical

Most of the building is conditioned with radiators for heating and no method for cooling other than natural ventilation through the exterior windows. The attic has its own air conditioning system for heating and cooling. At the time of the site visit, all heating and cooling systems appeared to be in working order.

Other

Basement Finishes: The basement kitchen has an acoustical tile ceiling that is in fair condition. Most of the basement flooring is concrete, which appears to be in good condition other than a rough transition between two slabs at one of the doorways. The finished rooms of the basement, other than the kitchen and restroom, have carpeted floors that are in good condition but not original. These same rooms have doors that are not original to the building and appear to be hollow core construction. Exterior windows in the basement appear to be in fair to poor condition with a few locations that have missing or broken hardware. Some windows have been nailed shut.

Exterior Basement Staircase: The exterior stairs are covered and inaccessible. The steps are concrete. They appear to be in fair condition, though they do not appear to meet current code requirements regarding tread and riser dimensions.



Figure 1-60. Radiator, 2020 (source: Ratio)



Figure 1-61. Concrete floor transition, 2020 (source: Ratio)



Figure 1-62. Exterior basement stair, 2020 (source: Ratio)



Figure 1-63. Basement finishes, 2020 (source: Ratio)

Structural Condition

Harbeck-Bergheim House is a stone masonry structure built in 1900. The property, located in Boulder's University Hill neighborhood, originally served as a residence, and later housed a history museum from 1985 to 2018. Floor plans and elevations and a conditions report prepared by CSC in 1991 were available during this assessment; however, no structural drawings, original or otherwise, were available. The structural systems are described below based on our site observations and documentation of the structure.

Foundation

Harbeck-Bergheim House has a combination of coursed stone and rubble stone exterior bearing walls. The interior basement bearing walls are 3-wythe brick masonry. The foundation was not exposed or observed below grade, so the depth and presence of footings are unknown, however they are likely continuous masonry strip footings.

Overall, the foundation is in good condition. Efflorescence was evident at the interior faces of the basement walls that is evidence of past water infiltration (Figure 1-59). An exterior building condition evaluation was prepared by CSC in February 1991. Many of the eroded mortar joints and water infiltration issues identified in the report appear to have been addressed since the report was issued. The basement slab slopes near the southeast corner of the building, however this was likely intentional to allow the slab to drain and is not indicative of structural settlement.

Roof Framing

The house has a steep hip roof with large, low-sloped eaves with hip-roofed dormers on three sides and a flat roof overhang over the front porch. The roof consists of 1 ¼" board sheathing supported by roof framing of 1 ½" x 5 ½" rafters spaced at 16". The ceiling framing of the attic consisted of 2x4 joists spaced at 16", blown in insulation was found above the ceiling, indicating that the structure currently has a cold roof.

The roof appears to be in good condition with no sagging or displacement to indicate any structural deficiencies. The areas of observed wood framing appear to be in good physical condition showing no signs of deterioration. If additional insulation is added to the roof, the roof snow load will increase triggering a more in depth analysis of the roof framing.



Figure 1-64. Efflorescence on basement walls, 2020
(source: JVA)

Floor Framing

The basement has a new slab on grade with a french drain along the exterior walls, apparently installed following the recommendations of the 1991 report to address perimeter wall leakage issues. The first, second, and attic floor systems are wood framed systems with joist spanning between bearing walls. In the basement, areas of the first-floor framing were visible and consist of 2x12 joists spaced at 12" spanning in the north-south direction. The header visible at the masonry wall openings consisted of seven 2x12 members. The framing for the other floors was not exposed, however, they most likely also span in the north-south direction and consist of similar member sizes.

Overall the floor systems are in good condition; there is no sagging or displacement to indicate any structural deficiencies. If a new occupancy use with a greater floor load demand is desired (i.e. assembly use vs. the residential loads it was designed for), it is possible that strengthening of the floor systems would be required.

Walls and Framing

The structure has exterior stone bearing walls and interior multi-wythe brick bearing walls. The exterior walls have coursed rectangular ashlar units at the exterior with a rubble stone back-up at the interior. The stone is a buff-colored sandstone. The original mortar joints appear to be a soft lime-based mortar. There are several eras of repointing mortar on the building including a buff-colored mortar that appears to have similar strength to the original lime mortar as well as a grey colored mortar that has a high portland cement content and is harder than the original mortar.

The interior 3-wythe basement brick bearing walls consist of red clay brick that is slightly oversized from today's standard brick size. Interior bearing walls on the first and second floor are wood framed but were not exposed during the site observation.

The exterior stone of the house is in overall good condition with the exception of typical weather-related deterioration (erosion) of the sandstone units in Boulder's freeze-thaw climate. The deterioration is more pronounced at the walls near grade at the porch and entry stair (Figure 1-61 and 1-64). There are isolated cracks including thermal movement related cracking of mortar joints at the porch and cracked ashlar units near the front entry door jamb (Figure 1-63). Many of the eroded mortar joints and water infiltration issues identified in the 1991 report appear to have been addressed since the report was issued. Lichen growth is present on the coping stones of the porch however it does not appear to be causing material damage of structural concern to the ashlar units.

Lateral force resisting system (LFRS)

The LFRS of the house consists of masonry bearing walls and wood floor and roof diaphragms. The LFRS is in good condition. It has performed well over the lifetime of the structure.

Stone Chimneys

The site includes three stone chimneys, two on the east and one the west side of the house. The porch railing and stair are constructed of a stone similar to that used for the building. The weather-related erosion of stone units and mortar joints in the chimneys has progressed to the point that the stones above the eroded units may become unstable and fall from the chimney (Figure 1-62).



Figure 1-65. Erosion of stone at locations of graffiti removal, 2020 (source: JVA)



Figure 1-66. Deteriorated and loose stone at chimney



Figure 1-67. Thermal related cracking at door jamb, 2020 (source: JVA)



Figure 1-68. Erosion of stone near grade and lichen growth at coping, 2020 (source: JVA)

Structural Condition Definitions

This structural condition assessment makes use of terms concerning the condition of building components which are defined as follows:

Good - A structural element, component or system is considered in good condition when it is undamaged, structurally sound or functionally operational, and performing as intended. No specific repairs are required, and only minor or routine maintenance is needed.

Fair - An element, component or system is considered in fair condition when there are signs of wear or deterioration, such as freeze-thaw deterioration, corrosion, or wood decay exceeding expectations based on the age and use of the element, that may be reducing the structural capacity of the member. Replacement or repair of the element may be required.

Poor - An element, component, or system is considered in poor condition when it no longer performs its intended structural purpose. Deterioration or damage reduced the load carrying capacity of the element and simple repairs cannot be justified or are not expected to be effective. The element may show signs of imminent failure. Major repair or replacement will be required.

Note: Condition ratings reported are based upon visual observations only. No material testing or exploratory observations have been made. Further investigation could result in modification to condition ratings.

Table 1-2: Condition Assessment of Architectural Features

Primary Features	Description of Primary Materials	Condition
Pavement	Concrete slab on grade	Good
Masonry	Stone, Brick	Fair
Glazing	Single pane, Stained glass	Good
Wood	Stained and painted wood	Fair
Finishes	Plaster, wall paper, tile	Good
Roofing	Asphalt shingles	Good
Additional Building Systems		
Mechanical	Radiators, Attic HVAC	Good
Fire Protection & Suppression		Not Assessed
Irrigation	(Backflow preventer, spray heads, etc.)	Not Assessed
Electrical	Lighting and power	Good
Plumbing		Good

Table 1-3: Condition Assessment of Structural Features

Primary Features	Description of Primary Materials	Condition
Foundation	Not observed; likely continuous masonry strip footings	Good
Roof Framing	Steep hip roof with large, low-sloped eaves	Good
Floor Framing	Varies	Good
Walls and Framing	Exterior: Stone bearing walls Interior: Multi-wythe brick bearing walls	Good
Lateral Force Resisting System (LFRS)	Masonry bearing walls and wood floor and roof diaphragms	Good
Chimney (x3)	Stone	Poor

ADDITIONAL IMAGES

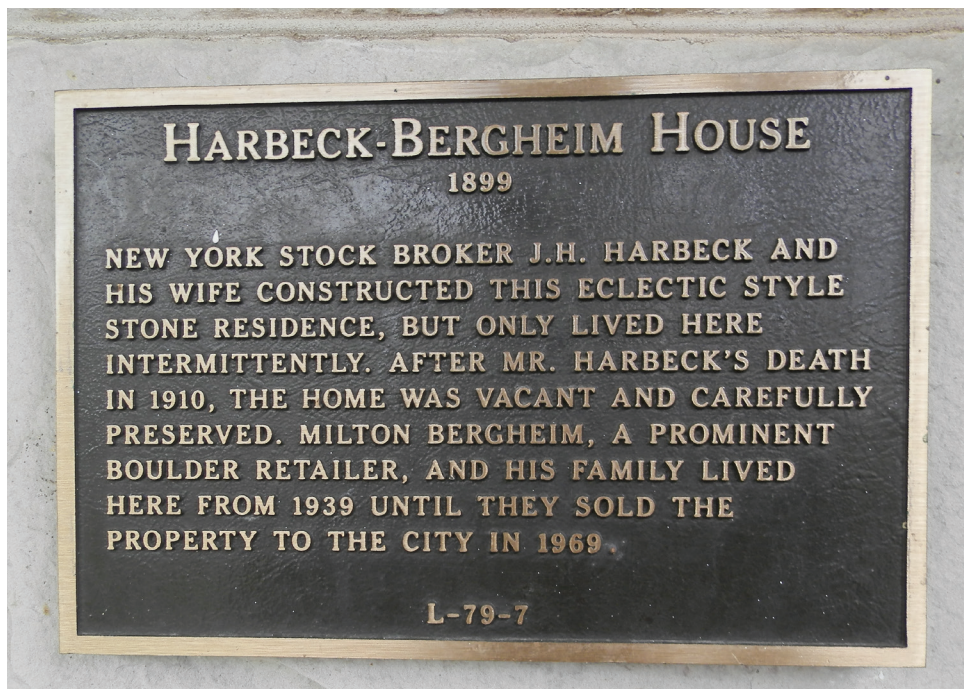


Figure 1-69. Harbeck-Bergheim House Landmark Designation plaque, 2020 (source: Ratio)



Figure 1-70. Front (north) elevation, 2020 (source: Ratio)



Figure 1-71. East elevation, 2020 (source: Ratio)



Figure 1-72. South elevation, 2020 (source: Ratio)



Figure 1-73. West elevation, 2020 (source: Ratio)



Figure 1-74. Basement window, 2020 (source: Ratio)



Figure 1-75. Attic exterior, 2020 (source: Ratio)



Figure 1-76. Wood floor damage, 2020 (source: Ratio)



Figure 1-77. Second floor looking north, 2020 (source: Ratio)

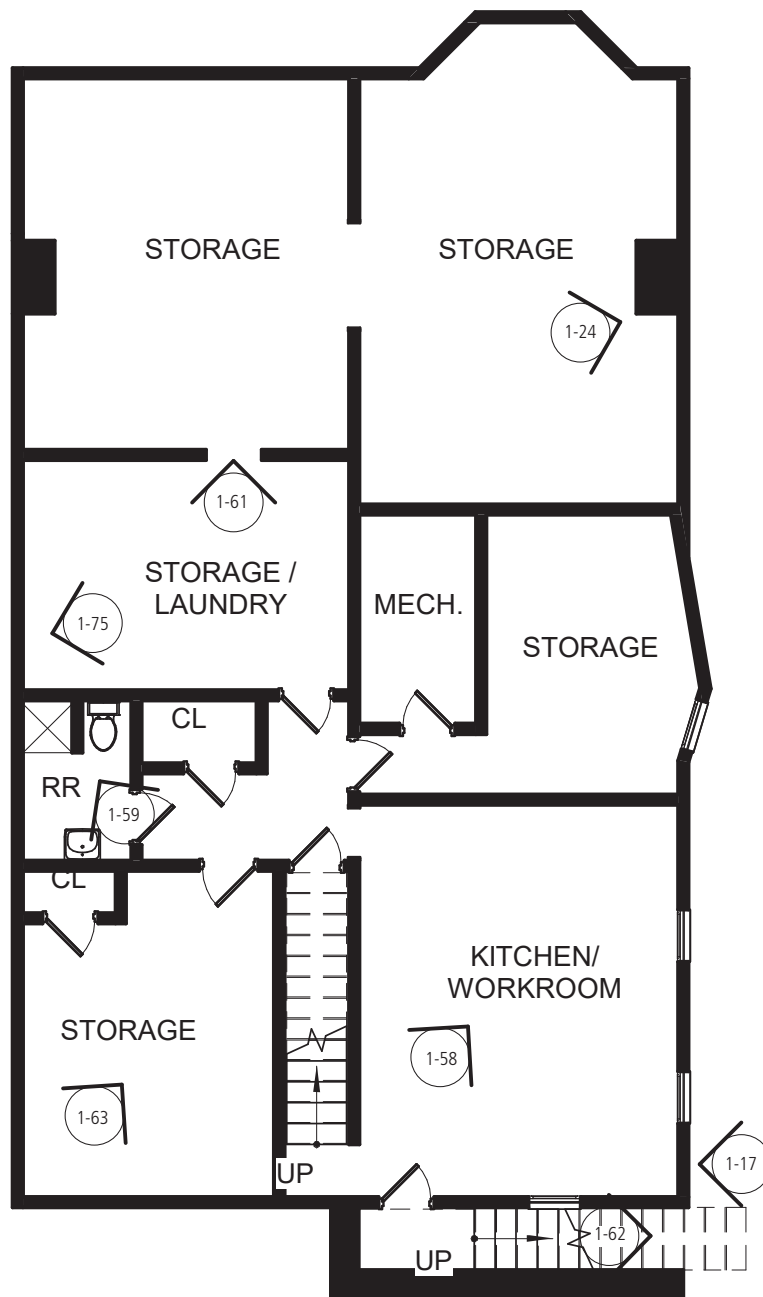


Figure 1-78. Interior arch detailing, 2020 (source: Ratio)



Figure 1-79. Wood detailing at stair, 2020 (source: Ratio)

SKETCHES



EXISTING BASEMENT FLOOR PLAN

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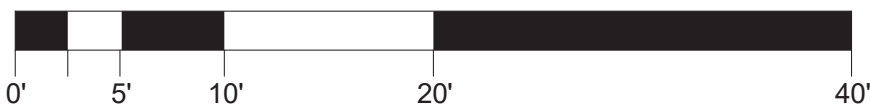
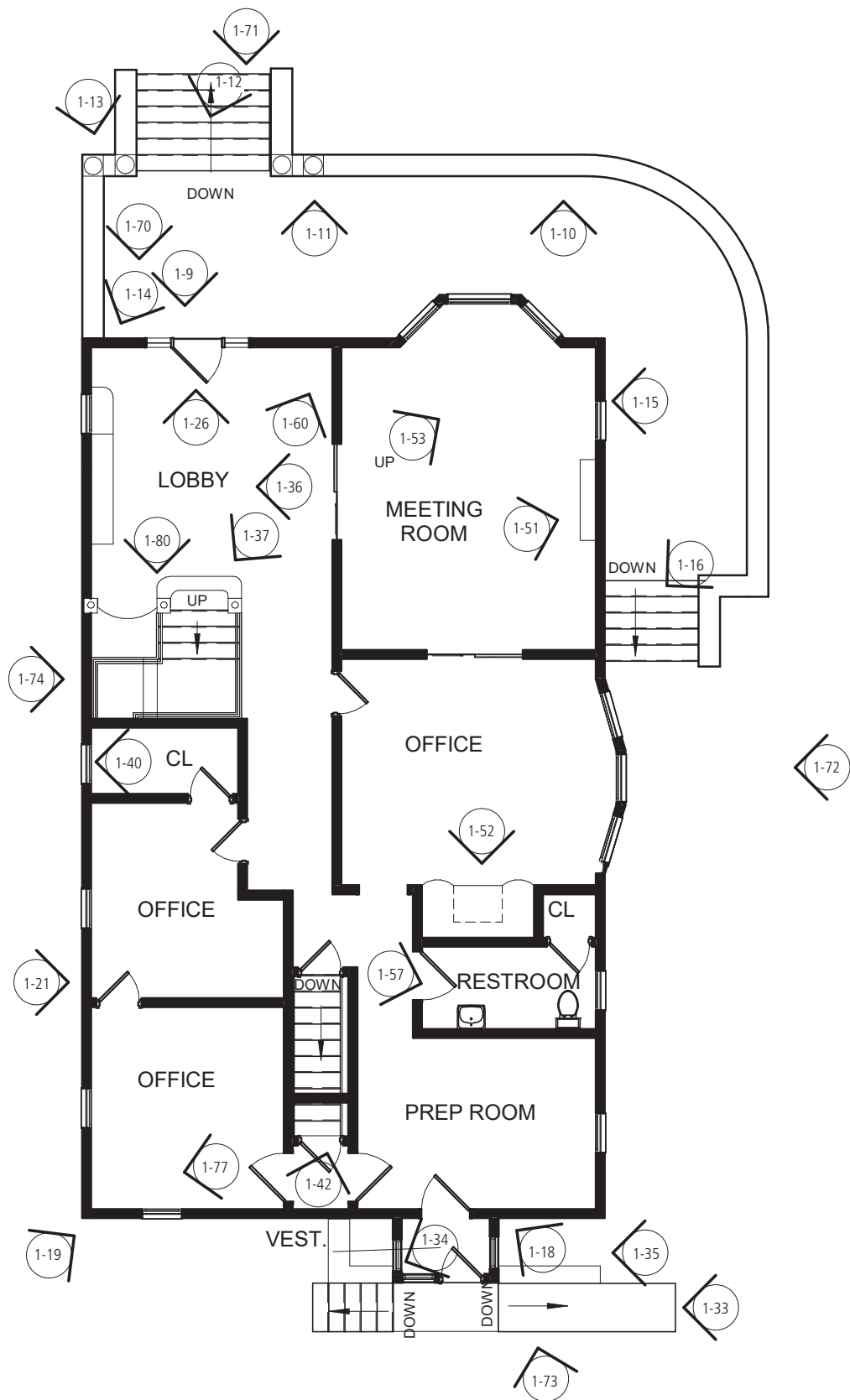


Figure 1-80. Basement Floor Plan, 2020 (source: Ratio)



EXISTING FIRST FLOOR PLAN

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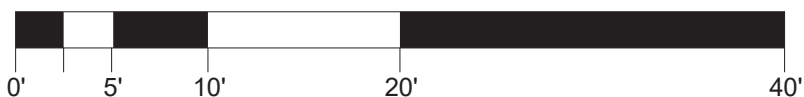
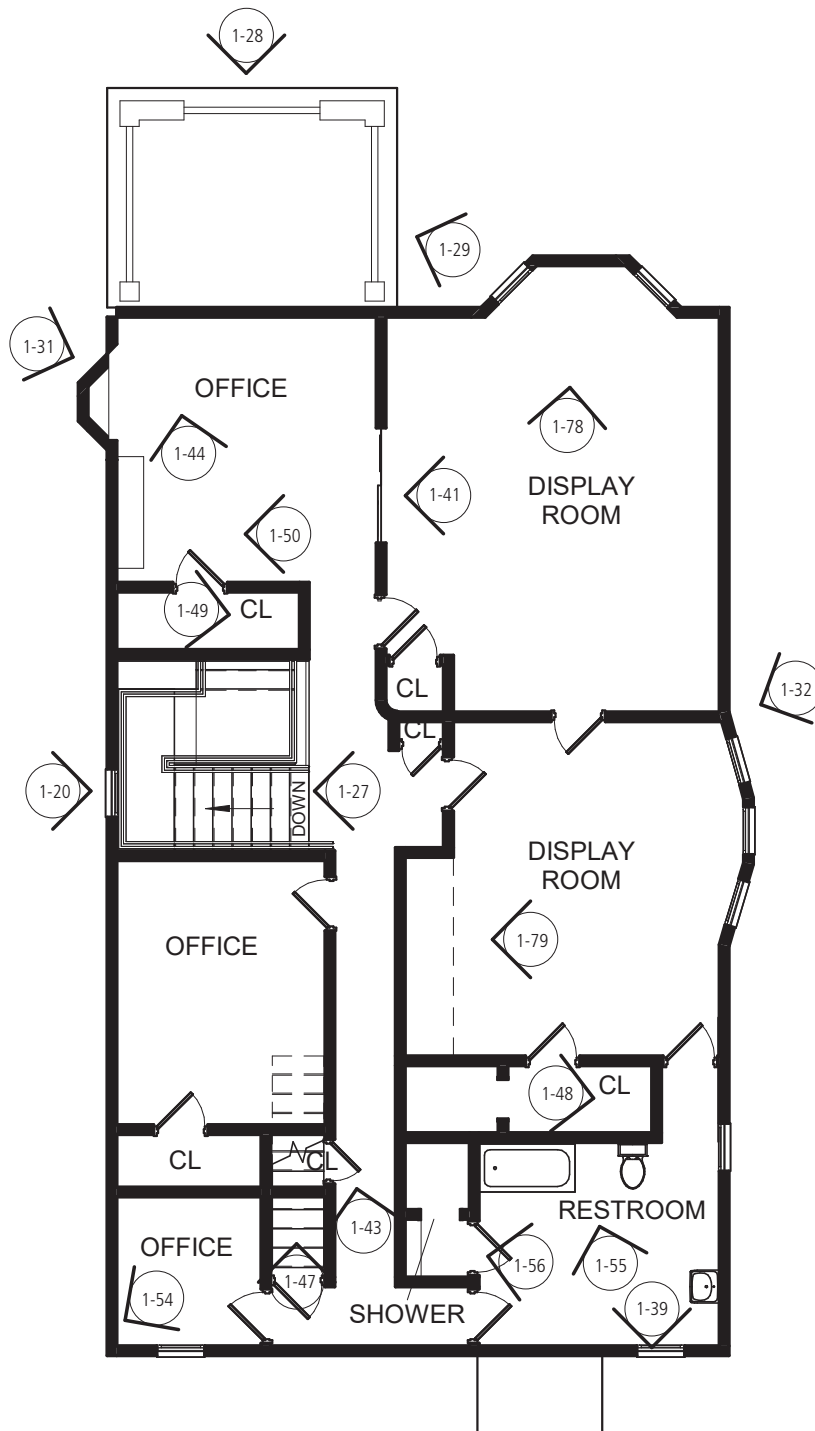


Figure 1-81. First Floor Plan, 2020 (source: Ratio)



EXISTING SECOND FLOOR PLAN

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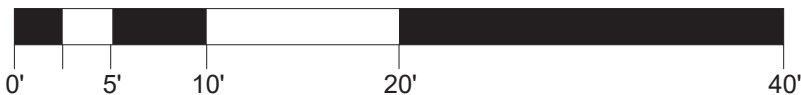
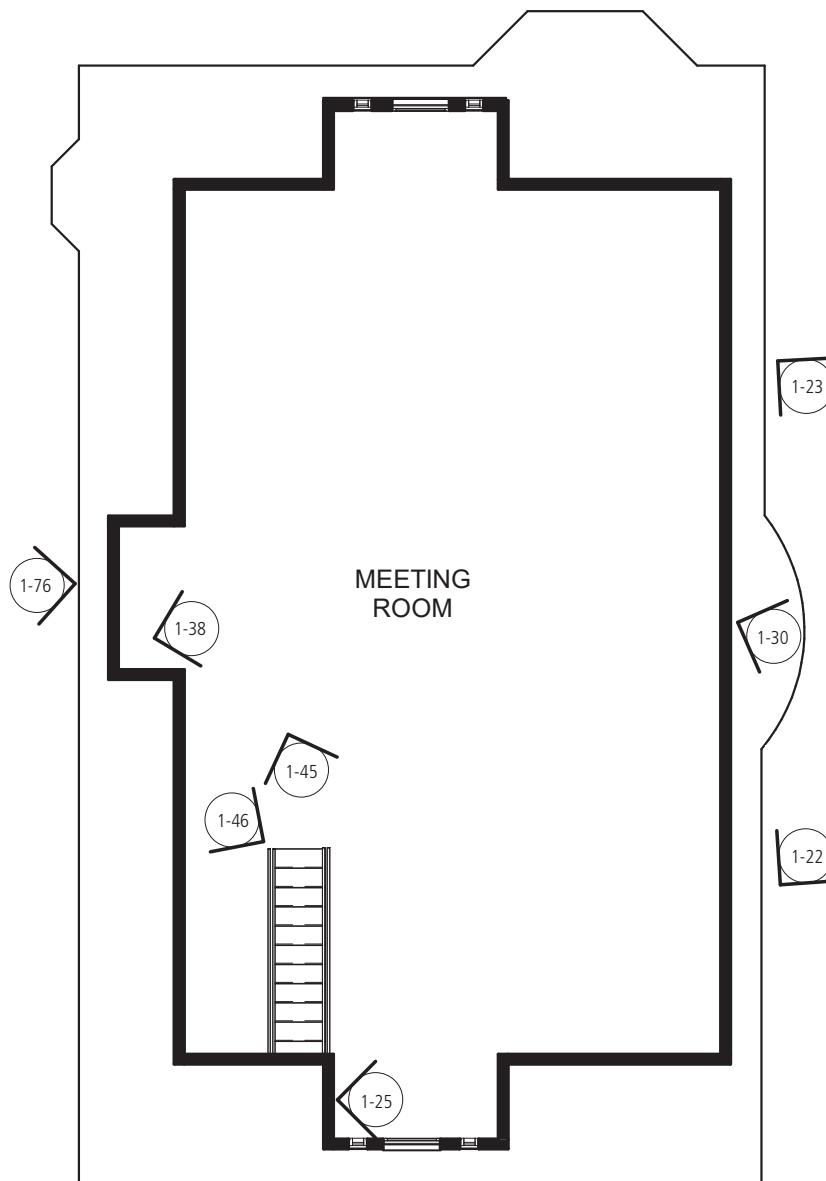


Figure 1-82. Second Floor Plan, 2020 (source: Ratio)



EXISTING ATTIC FLOOR PLAN

1" = 10'-0"

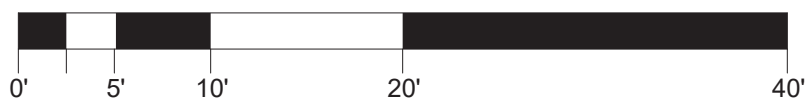


Figure 1-83. Attic Floor Plan, 2020 (source: Ratio)

TREATMENT

Introduction and Overview

This section outlines treatment guidance for the current and future planning and design of the Harbeck-Bergheim House based upon a rehabilitation approach. This approach emphasizes the preservation and repair of the property, as well as allowing for adaptive reuse, where appropriate. The following treatment guidance will provide actions and recommendations to guide the holistic preservation and rehabilitation of the Harbeck-Bergheim House to ensure its future as a valued landmark.

Treatment guidance is based upon review of historic documentation, assessment of condition and integrity, and in support of current and planned futures uses. This section provides integral treatment actions that will protect significant cultural resources, repair contributing features and settings, and define parameters for contemporary additions. Treatment recommendations identify where repair is needed to reveal historic features, retain character, and maintain integrity. Future work planned for the Harbeck-Bergheim House shall be guided by *The Secretary of the Interior's Standards for the Treatment of Historic Properties*.

Treatment guidance assists in guiding repairs to improve the functionality of the Harbeck-Bergheim House for public use and for improved operations for the City of Boulder. Treatment guidance applies to the entirety of Harbeck-Bergheim House and property. The guidance should be followed when proposing modifications to the structure and property.

Treatment recommendations do not include operations or property management actions, funding scenarios, partnership opportunities, programming, or future planning. Treatment recommendations do not include implementation strategies or cost estimating.

Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, or additions if those portions or features that convey its historic, cultural, or architectural values are preserved. Rehabilitation allows for new additions to be integrated within the study area in a manner that preserves established patterns and features. Additional actions include those that preserve, repair, and retain contributing features and qualities that contribute to the historic character.

Guiding Principles and Treatment Guidance

The Harbeck-Bergheim House serves as a community center and event space for the City of Boulder Parks and Recreation Department. The architecturally and historically significant structure is characterized by its eclectic Colonial Revival and Edwardian Vernacular styles. The house's association with the former Harbeck and Bergheim residences, as well as its impressive architectural features, make the house a valued landmark within the University Hill neighborhood of Boulder.

Guiding Principles

- Preserve, protect, and repair the Harbeck-Bergheim Houses' contributing architectural and structural features including characteristics that contribute to its historic character on the interior and exterior of the structure.
- Maintain and enhance a variety of community uses in the interior of the structure, as well as outside with the surrounding landscape.
- Provide accessibility for all through exterior and interior modifications.

Treatment Guidance

Treatment guidance provides recommendations for the preservation and repair of Harbeck-Bergheim House. Treatment guidance is presented according to six landscape characteristics - topography, spatial organization, circulation, buildings and structures, small scale features, and vegetation.

Topography and Spatial Organization

Protect Harbeck-Bergheim House's site composition by maintaining the sloped and terraced topography, open front lawn and perimeter and street trees.

- Ensure future tree plantings or new additions do not diminish views to the Harbeck-Bergheim House.
- Ensure future tree plantings or new additions do not diminish views to the Boulder Flatirons.

Circulation

Protect Harbeck-Bergheim House's contributing paths include stone paved sidewalks along Euclid Avenue and 12th Street, stone steps and a stone paving leading up to the main entry of the building from Euclid Avenue, and a stone pavers from 12th Street to building's back entry.

- Repair stone paving.
- Repair asphalt driveway and parking area.
- Consider an accessible route to front porch and Main Entry.

Buildings and Structures

The following outlines treatment guidance and recommendations that are necessary to rehabilitate, stabilize, and preserve the Harbeck-Bergheim House.

- Preserve and repair extant architectural features in-place including the roofing, ceilings, walls, flooring, openings, and appendages.
 - Repair and replace damaged or missing exterior drainage
 - Repoint exterior masonry walls and chimneys and replace disintegrating stones
 - Conduct a trial of different stone consolidants on a discrete area of the building to determine the most appropriate coating to protect the masonry.
 - Conduct a trial of different anti-graffiti coatings on the walls to find a suitable coating for the building's masonry accessible for tagging.
 - Rehabilitate the wood porch portico in its entirety – wood balusters and soffits, stone masonry columns, stabilize and replace roofing material, etc.
 - Replace broken or missing window and door components –window and door screens, hardware, and panes.
- Preserve and repair extant structural features in-place including the roofing, ceilings, walls, flooring, openings, and appendages.
 - Foundations - Rake out deteriorated mortar joints of the exposed foundation walls and repoint with an appropriate mortar as determined by a mortar analysis of a sample of the original mortar. Remove the efflorescence with a poultice then monitor the interior of the basement walls for signs of water infiltration or return of efflorescence. Further water management treatments may be necessary.
 - Floor Framing - If the building will be utilized for a use other than residential or office, further investigation and analysis of the floor framing configuration and capacity will be necessary to determine if the structure needs to be strengthened.
 - Roof Framing - Since the attic will be insulated, the roof snow load will increase triggering a Code required analysis and strengthening of the roof framing.
 - Walls - Repair the masonry walls as noted above to improve the structural longevity of the building.

- Preserve, repair, and replace extant architectural finishes to match in-kind.
 - Repair and refinish interior plastered surfaces and wood trims.
 - Protect Interior Wood Finishes - Install blinds/window coverings throughout
 - Refinish all worn painted surfaces. Consider conducting a paint analysis to inform original color schemes to use when repainting interior and exterior features.
 - Further investigate and implement full restoration to original historic finishes that have been altered overtime.
- Provide mechanical, electrical, and plumbing upgrades.
 - Provide insulation for attic HVAC to render unconditional placement
 - Explore preventative plumbing/drainage based on 2018 inspection
 - Upgrade exterior lighting to appropriate lighting levels for safety and security.
 - Upgrade building systems (HVAC/boiler) to accommodate increased usage/occupancy
- Provide upgrades for security and safety
 - Upgrade all entry point locking for current and future usage needs
 - Install Video/Audio Monitoring Systems for security and safety
- Consider ADA access across all four levels, possibly elevator access (either on exterior or interior).

Vegetation

Contributing vegetation includes open lawn with mature deciduous trees lining Euclid Avenue and 12th Street. Ornamental and evergreen trees, shrubs, perennials, and vines surround the building foundation similar to the period significance, but the plant material has been altered over the years.

- Protect contributing street trees along Euclid Avenue and 12th Street.
- Prune existing mature trees and replace missing or damaged trees using in-kind species similar to the original form, texture and species.
- Consider native and low water planting along bermed edges.
- Monitor trees and vegetation with close proximity of the foundation for moisture damages.

Top Priorities

The following actions to improve or repair physical features or landscape characteristics are the top recommended priorities. These actions meet the following criteria: impact for safety / stabilization; threat of loss of integrity; poor condition; potential impact due to enhancement; critical path / adjacency to other planned work; relevancy to other current plans.

After considering all of the recommended treatments for Harbeck-Bergheim House the following architectural and structural recommendations have been identified as the top priorities and are listed in order. Please note that this does not diminish the necessity to complete all of the listed recommendations to protect the structure over the long term, but rather highlights the building's current highest priorities.

- Planning & Programming
 - Upcoming Plans Resulting in Guidance, Policy, or Construction
- Replace severely deteriorated stones in chimney construction
 - Safety / Stabilization
- Remove efflorescence from basement walls and further investigate water infiltration through foundation walls
 - Condition
- Insulate attic and strengthen roof framing as necessary as determined by further analysis
 - Enhancement Impact & Safety / stabilization
- Repair masonry walls & chimneys after conducting trials of different stone consolidates, anti-graffiti coatings, replacement mortars, and replacement stones
 - Condition

Table 1-4: Harbeck-Bergheim House Treatment Matrix

Projects	Fiscally Constrained	Action	Vision
Security & Lighting	<p>Provide complete Video/Audio Monitoring Systems.</p> <p>Address Front Door access and locking for current/future usage needs.</p> <p>Provide security at cellar door.</p> <p>Cyclical replacement of extant light fixtures with LED bulbs.</p> <p>Address vandalism and unwanted graffiti activity</p>		
Structure	<p>Cyclical repair and replacement of broken or missing architectural and structural features and finishes.</p> <p>Stabilize, repair, and repoint the masonry walls, chimneys, and porch portico.</p> <p>Provide insulation in the attic and strengthen roof framing as necessary as determined by further analysis.</p> <p>Conduct preventative plumbing/drainage exploration based on 2018 inspection.</p>	<p>Rehabilitate, replace, and refinish in-kind damaged architectural & structural features and finishes (roof, floor, framing, foundation, walls, openings, and appendages etc.)</p> <p>Adjust building systems (HVAC/Boiler) to accommodate increased usage and occupancy.</p> <p>Work with BPR, tenants and community stakeholders to generate phased business plan for future plans to accommodate multi-use spaces.</p>	<p>Further investigate and implement full restoration to original historic finishes that have been altered overtime.</p> <p>Implement long-term planning and programming assessment for the building to determine future use and possible need for additional structures nearby.</p>
Circulation	<p>Re-define and maintain flagstone Pathways at Southeast Corner.</p> <p>Replace/Repair Asphalt Driveway.</p>	<p>Explore ADA access across all four levels, possibly elevator access (either on exterior or interior)</p> <p>- Rehabilitate and refinish existing ADA ramp.</p>	<p>If applicable, from exploration, implement ADA access across all four floors.</p>
Vegetation	<p>Cyclical maintenance of trimming back and/or remove vines from stone masonry.</p> <p>Enhance, restore and maintain the Memorial Garden.</p> <p>Routinely thin shrubs and vegetation at access points for safety.</p> <p>Maintain small berm that is adjacent to the driveway.</p>		
Small Scale Features	<p>Install trash enclosure for current usage needs.</p>		

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