



# PLATT FARMHOUSE



FINAL DRAFT NOVEMBER 11, 2022

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## IMAGE CREDITS

Current-day (2020) photographs provided by Mundus Bishop, RATIO, and JVA. Historic photographs (pre-2020) provided by the City of Boulder and from online archives at the Carnegie Branch Library for Local History and Boulder Historical Society Collection, unless otherwise noted.

## STATEMENT

The report documents the history, significance, integrity and existing condition and provides treatment guidance for the resource. It does not evaluate for listing in the National Register of Historic Places. If the resource has been previously listed or evaluated it is referenced and footnoted.



This project is / was paid for in part by a History Colorado State Historical Fund grant. The content and opinions contained herein do not necessarily reflect the views or policies of History Colorado.



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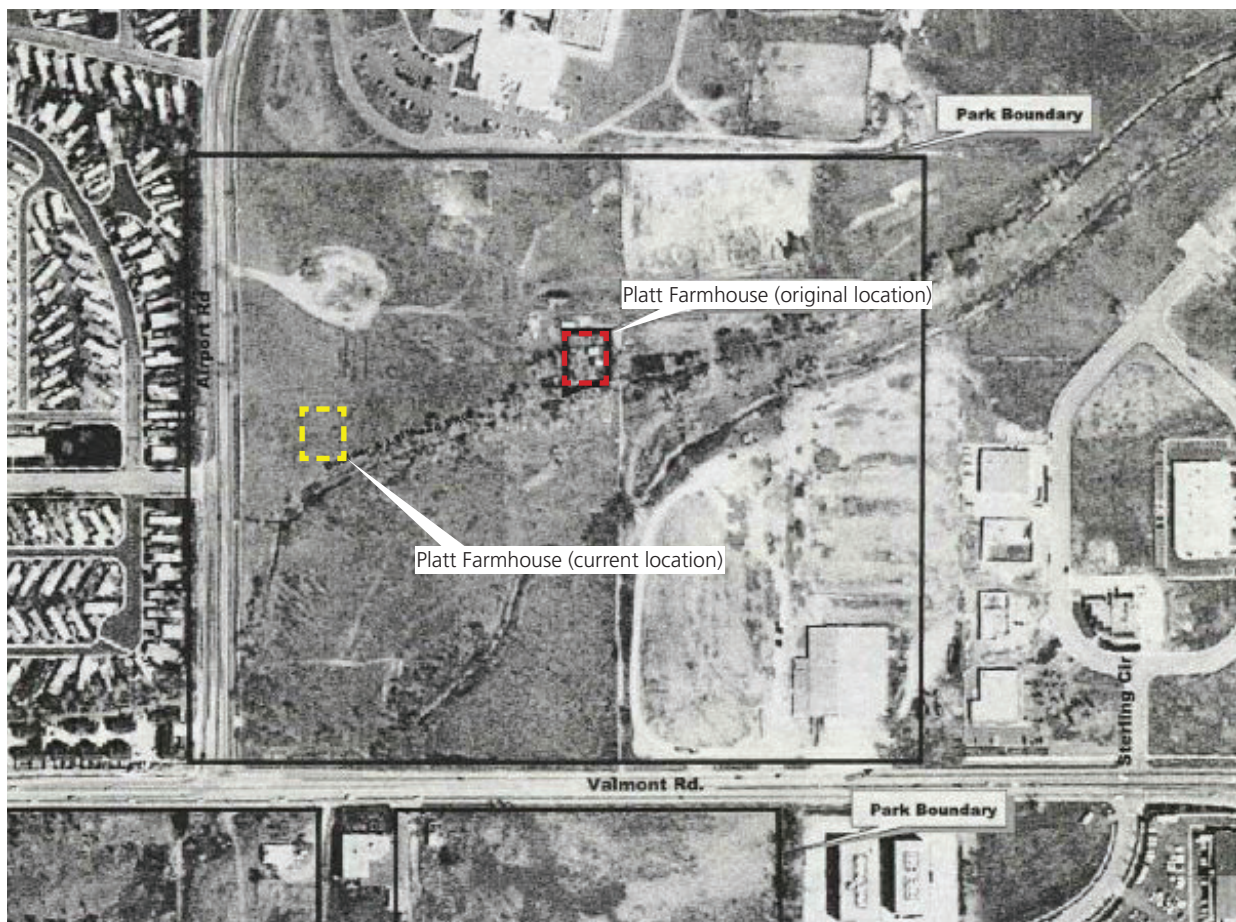


Figure 1-1. Platt Farmhouse in its new location (Yellow). Platt Farmhouse located in its original location (Red) within the Valmont Community. (source: Carnegie Library for Local History).

# COMMON TERMINOLOGY

## State/National Register Terminology<sup>1 2</sup>

**Area of Significance** - an aspect of historic development in which a property made contributions for which it meets the National Register criteria, such as architecture, entertainment or recreation.

**Character-Defining Features** - the elements that account for the overall shape of the building, its materials, craftsmanship, decorative details, interior spaces and features, as well as the various aspects of its site and environment.

**Compatible Feature** - a prominent or distinctive aspect, quality, or characteristic of a cultural landscape that contributes significantly to its physical character. Land use patterns, vegetation, furnishings, decorative details and materials may be such features.

**Contributing Resource** - a building, site, structure, object, or feature adding to the significance of a property.

**Designation Boundary** - the boundary defined by the Landmarks Board and City Council that encompasses a historic property. This boundary represents a physical area in which any future alterations have historic preservation review associated with them.

**Eligibility** - ability of a property to meet the State/National Register criteria.

**Evaluation Criteria** - the established criteria for evaluating the eligibility of properties for inclusion in the State/National Register of Historic Places.

**Historic Context** - information about historic properties based on a shared theme, specific time period and geographical area.

**Landscape Characteristics** - the tangible and intangible aspects of a landscape from a historic period; these aspects individually and collectively give a space its historic character and aid in understanding its historical importance.

**Local Landmark** - a local area or building that has been determined to have a special character and historic, architectural, or aesthetic or value to the city.

**Period of Significance** - the span of time in which a property attained the significance for which it meets the State and/or National Register criteria, and/or Local Landmarks criteria.

**Property Type** - a grouping of properties defined by common physical and associative attributes.

## Integrity<sup>3</sup>

**Integrity** is the ability of a property to convey its significance. It is assessed to determine if the characteristics that shaped the property during the period of significance are present as they were historically.

**Location** is the place where the historic property was constructed or the place where the historic event occurred.

**Setting** is the physical environment of a historic property.

**Design** is the combination of elements that create the form, plan, space, structure, and style of a property.

**Materials** are the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property.

**Workmanship** is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.

**Feeling** is a property's expression of the aesthetic or historic sense of a particular period of time.

**Association** is the direct link between an important historic event or person and a historic property.

1 US Department of the Interior, National Park Service, *How to Complete the National Registration Bulletin* (Washington DC: National Park Service Cultural Resources, 1997), Appendix IV.

2 US Department of the Interior, National Park Service, *The Secretary of the Interior's Standards for Treatment of Historic Properties with Guidelines for the Treatment of Cultural Landscapes* (Washington DC: Cultural Resource Stewardship and Partnerships, 1996).

3 Ibid.



## PROPERTY OVERVIEW

**Property Name:** Platt Farmhouse  
**Location:** Valmont City Park  
**Property Address:** 3160 Airport Road (Formerly 5227 Valmont Road), Boulder, CO 80301  
**Latitude/Longitude:** 40.0311 / -105.2338  
**Legal Property Description:** W 28 Ac of SW 1/4 SE 1/4 less TR 2753 21-1N-70 20 Acs less .28 acs  
**Parcel Tag:** Boulder per rec #483849  
146321000028  
**Acreage / Square Footage:** .25 Acres / 1,450 SF  
**Date of Construction:** 1908  
**Designer(s):** Unknown

## DESIGNATION, ELIGIBILITY, & CLASSIFICATION SUMMARY

|  |   |   |   |   |   |  |   |   |  |
|--|---|---|---|---|---|--|---|---|--|
| <b>Current Designation Level</b><br><input checked="" type="checkbox"/> Local Landmark<br><input type="checkbox"/> State Register of Historic Properties (SRHP)<br><input type="checkbox"/> National Register of Historic Properties (NRHP)  | <b>Ordinance &amp; Listing Information</b><br>City of Boulder<br>Local Landmark No: <u>99-3</u><br>Ordinance No: <u>7016</u><br>Ordinance Date: <u>November 09, 1999</u><br>State ID: <u>5BL.139</u><br>National Historic Landmark No: _____  |   |   |   |   |  |   |   |  |
| <b>State &amp; National Register Eligibility</b><br><table><tr><td>State Register of<br/>Historic Properties</td><td>National Register of<br/>Historic Properties</td></tr><tr><td><input type="checkbox"/> Determined Eligible<br/><input type="checkbox"/> Delisted</td><td><input type="checkbox"/> Determined Eligible<br/><input type="checkbox"/> Delisted</td></tr></table> | State Register of<br>Historic Properties  | National Register of<br>Historic Properties | <input type="checkbox"/> Determined Eligible<br><input type="checkbox"/> Delisted | <input type="checkbox"/> Determined Eligible<br><input type="checkbox"/> Delisted | <b>Areas of Significance</b><br><u>Agriculture</u><br><u>Architecture</u> |  |   |   |  |
| State Register of<br>Historic Properties   | National Register of<br>Historic Properties   |   |   |   |   |  |   |   |  |
| <input type="checkbox"/> Determined Eligible<br><input type="checkbox"/> Delisted  | <input type="checkbox"/> Determined Eligible<br><input type="checkbox"/> Delisted   |   |   |   |   |  |   |   |  |
| <b>Recommended Period of Significance</b><br>Date Range: <u>1908</u> to <u>1950</u>  | <b>Property Integrity: Aspects</b><br><table><tr><td><input type="checkbox"/> Location</td><td><input checked="" type="checkbox"/> Workmanship</td></tr><tr><td><input type="checkbox"/> Setting</td><td><input type="checkbox"/> Feeling</td></tr><tr><td><input checked="" type="checkbox"/> Design</td><td><input checked="" type="checkbox"/> Association</td></tr><tr><td><input checked="" type="checkbox"/> Materials</td><td></td></tr></table> | <input type="checkbox"/> Location           | <input checked="" type="checkbox"/> Workmanship                                   | <input type="checkbox"/> Setting  | <input type="checkbox"/> Feeling  | <input checked="" type="checkbox"/> Design | <input checked="" type="checkbox"/> Association   | <input checked="" type="checkbox"/> Materials |  |
| <input type="checkbox"/> Location  | <input checked="" type="checkbox"/> Workmanship   |   |   |   |   |  |   |   |  |
| <input type="checkbox"/> Setting   | <input type="checkbox"/> Feeling  |   |   |   |   |  |   |   |  |
| <input checked="" type="checkbox"/> Design   | <input checked="" type="checkbox"/> Association   |   |   |   |   |  |   |   |  |
| <input checked="" type="checkbox"/> Materials  |   |   |   |   |   |  |   |   |  |
| <b>Individual Character-Defining Features of Property Types</b><br><table><tr><td>District(s)<br/>_____<br/>_____</td><td>Structure(s)<br/>_____<br/>_____</td></tr><tr><td>Site(s)<br/>_____<br/>_____</td><td>Object(s)<br/>_____<br/>_____</td></tr><tr><td>Building(s)<br/><u>Platt Farmhouse</u><br/>_____</td><td>Feature(s)<br/>_____<br/>_____</td></tr></table>           | District(s)<br>_____<br>_____   | Structure(s)<br>_____<br>_____              | Site(s)<br>_____<br>_____   | Object(s)<br>_____<br>_____   | Building(s)<br><u>Platt Farmhouse</u><br>_____                            | Feature(s)<br>_____<br>_____               | <b>NRHP Evaluation Criteria</b><br><input type="checkbox"/> Criteria A: The property is associated with event that have made a significant contribution to the broad patterns of our history<br><input type="checkbox"/> Criteria B: The property is associated with the lives of persons significant in our past<br><input type="checkbox"/> Criteria C: The property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components may lack individual distinction<br><input type="checkbox"/> Criteria D: The property has yielded, or may be likely to yield, information important in prehistory or history |   |  |
| District(s)<br>_____<br>_____  | Structure(s)<br>_____<br>_____  |   |   |   |   |  |   |   |  |
| Site(s)<br>_____<br>_____  | Object(s)<br>_____<br>_____   |   |   |   |   |  |   |   |  |
| Building(s)<br><u>Platt Farmhouse</u><br>_____   | Feature(s)<br>_____<br>_____  |   |   |   |   |  |   |   |  |

## DESIGNATION BOUNDARY

Platt Farmhouse was relocated to its current location in Valmont City Park in 2011. The designated boundary includes only the building.



Figure 1-2. Platt Farmhouse within Valmont City Park, 2021(source: Google Earth)



# HISTORY & SIGNIFICANCE

## Historic Context

### *Statement of Context*

Platt Farmhouse is historically significant for its association with the Platt family and for their role in the agricultural development of east Boulder. Platt Farmhouse is architecturally significant as an intact example of an early 20th century vernacular farmhouse as reflected in its hipped-box design, simple wood frame construction, and prominent wrap-around front porch. The house is also significant for its proximity to the North Boulder Farmers Ditch and the Boulder and Lefthand Ditch, which played significant roles in the agricultural development of the Valmont community.<sup>3</sup>

### *Background History*

Platt Farmhouse is located in east Boulder in an area generally known as the Valmont community. The Valmont community was founded in 1860 by a group of former miners seeking their fortunes in agriculture. The subject farm was originally homesteaded by James Rhoads, the son of a Boulder Pioneer Joseph Rhoads, in 1872.<sup>4</sup> It is unclear if Rhoads and his family ever lived on the property. The farm changed ownership multiple times in the 1880s to 1990s until it was purchased by James M. Platt in 1896. The Platt family built the Farmhouse in 1908. Platt and his family moved to Boulder from Iowa in search of new farming opportunities. He remarried after his first wife died and had twelve children in total. In addition to farming, Platt served as Boulder County's first water commissioner. Upon Platt's death, he passed along this position to his son, Thomas Platt, who also served as a daily weather server for the National Weather Service.<sup>5</sup>

The Platt family lived in the farmhouse until the early 1950s. The Farmhouse was owned by the Howe Family of Howe Mortuary and, later, Mr. Everett Wiehe until the property was finally acquired by the Boulder Parks and Recreation Department in 1997.<sup>6</sup> When the Parks and Recreation Department purchased the land, they proposed moving the Farmhouse to facilitate the construction of a bike park to the north and east of the site.<sup>7</sup> Originally, the farmhouse was located on approximately 25 acres of rural, undeveloped land bounded to the south by Valmont Road, Airport Road to the west, the Boulder County Jail complex to the north, and an industrial site to the east.<sup>8</sup> On March 3, 2011, the Landmarks Board approved a Landmark Alteration Certificate to relocate and restore Platt Farmhouse. On June 3, 2011, the building was relocated from 5227 Valmont Road to 3160 Airport Road, and the bike park construction was completed soon after.<sup>9</sup>

During relocation efforts, multiple modifications and rehabilitations took place. The building was placed on a new poured concrete foundation that maintains an elevated space under the porch to provide an accessible crawlspace. The wood Doric porch columns were replaced to match in kind. Some of the original windows and doors were replaced to match in kind. The walls were repainted, kitchen and bathroom fixtures were updated, and all of the existing appliances were replaced or added during this time.

### *Definition of the Context*

Platt Farmhouse and its setting are associated with the themes of Architecture and Agricultural Development. Not only is the Farmhouse an intact example of early 20th century vernacular Farmhouse construction, but its associations with the Platt Family also played a valuable role in the development of the Valmont community and agriculture within the City of Boulder.

### *Development of the Theme or Area of Significance*

The Farmhouse is located in east Boulder in an area generally known as the Valmont community. The Valmont community was founded in 1860 by a group of former miners seeking their fortunes in agriculture. The town

3 Holthouser, Neil and Ruth McHeyser. Memorandum. City of Boulder Parks Department, 2.

4 Ibid., 3.

5 Ibid., 2.

6 Ibid.

7 East Boulder Working Group. East Boulder Inventory and Analysis Report, Boulder (Colo.) Office of Arts and Culture, 6.

8 Holthouser, Neil and Ruth McHeyser. Memorandum. City of Boulder Parks Department, 3.

9 East Boulder Working Group. East Boulder Inventory and Analysis Report, Boulder (Colo.) Office of Arts and Culture, 6.

of Valmont, plotted in 1865, started out as a farming community. For a brief period in the 1860s, Valmont's population actually surpassed that of Boulder. Platt Farmhouse site is significant for its relationship to three key land features in east Boulder: North Boulder Farmers Ditch, Boulder and Left Hand Ditch, and Valmont Road. The North Boulder Farmers Ditch was constructed in 1862 to divert water from Boulder Creek to outlying farm communities. A second irrigation canal, the Boulder and Lefthand Ditch, was constructed in 1873 to parallel the Farmers Ditch. The ditches played a vital role in the agricultural success of the Valmont area. Platt Farmhouse sits approximately 40-feet north of the Boulder and Lefthand Ditch.<sup>10</sup>

Valmont's agricultural accomplishments also depended on reliable transportation. Valmont Road was built in the early 1860s to transport agricultural products from outlying farm communities to markets in Boulder. The importance of the road as an agricultural trading route is reflected in the placement of many farmhouses along Valmont Road, such as Platt Farmhouse.<sup>11</sup>

Platt and his family moved to Boulder from Iowa in search of new farming opportunities and built Platt Farmhouse in 1908. The Platt Family maintained the farmland and farmhouse until the early 1950s. In addition to farming, the Platt family was deeply engaged with water resource issues in the Boulder Valley. In 1907, James Platt was appointed Boulder County's first water commissioner, a position he held for 25 years.<sup>12</sup>

### *Associated Property Types*

Platt Residence was built in the typical Vernacular Farmhouse style of the early 20th century. This structure is reminiscent of other Farmhouses built during this time throughout Colorado that can still be seen in most rural communities today. Many of this style of farmhouses no longer exist in the Valmont Community making it a truly unique occurrence within the remaining rural landscape. An example of this style of architecture most similar to Platt Farmhouse is Roney Farmhouse which still exists within the Valmont Community today. Like Platt Farmhouse, Roney Farmhouse is modest in form, has a hipped roof with central dormers, and lacks architectural details.

### *Physical Characteristics and Integrity*

Platt Farmhouse retains its vernacular hipped-box design, simple wood-farm construction, and prominent wrap-around front porch.<sup>13</sup> A stair at the main entry leads up to the elevated wrap around porch. The hipped roof features sprung (flared) eaves. The farmhouse features poured concrete foundations, central brick chimney, and double-hung windows with wood shutters. The roof consists of asphalt shingles and the dormers have wood shingle siding. The interior walls are painted plaster, as well as the ceiling, and the floors are hardwood.

Platt Farmhouse possess a high degree of authenticity and retains its integrity of design, materials, workmanship, and association. This building was relocated to its existing location in 2011 for the construction of a new bike park. It was placed approximately 700-feet west of its original location and at one of the main entrances to the bike park.<sup>14</sup> Although building relocation is never ideal, the property remains within the Valmont Community and maintains its rural character. The farmhouse generally retains a high degree of architectural integrity, especially from the south (front) elevation. However, a 1970s addition to the west elevation is not compatible with the original design of the farmhouse.<sup>15</sup> Most of the original materials have remained the same. The workmanship is consistent with the typical Vernacular Farmhouse construction throughout Colorado since 1860, as well as a good portion of the United States in the early 20th century. Since the building was relocated, there is a feeling of disconnect with its original history. However, it still feels like a prominent part of the community in its new location within the bike park. Through preservation and continuing the Farmhouse's story, the structure has retained its association with the Platt family as prominent members of the Valmont (and wider Boulder) community, as well as its associations with early agricultural development in Boulder.

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10 Holthouser, Neil and Ruth McHeyser. Memorandum. City of Boulder Parks Department, 3.

11 Ibid.

12 Ibid., 2.

13 Holthouser, Neil and Ruth McHeyser. Memorandum. City of Boulder Parks Department, 4.

14 East Boulder Working Group. East Boulder Inventory and Analysis Report, Boulder (Colo.) Office of Arts and Culture, 6.

15 Holthouser, Neil and Ruth McHeyser. Memorandum. City of Boulder Parks Department, 4.



## Statement of Significance

Platt Farmhouse is historically significant for its association with the Platt family and for their role in the agricultural development of east Boulder. Platt Farmhouse is architecturally significant as an intact example of an early 20th century vernacular farmhouse as reflected in its hipped-box design, simple wood frame construction, and prominent wrap-around front porch. The farmhouse is also significant for its proximity to the North Boulder Farmers Ditch and the Boulder and Left Hand Ditch, which played significant roles in the agricultural development of the Valmont community.<sup>16</sup>

Platt Farmhouse is significant for the role it played in the development of the Valmont Community within the City of Boulder since the early 1900s and its associations with the Platt Family. This farmhouse is in east Boulder in an area generally known as the Valmont community. The farm site is significant for its relationship to key land features within close proximity to the Farmhouse within east Boulder that played a vital role in the agricultural success of the Valmont Community.<sup>17</sup> The Platt Family not only maintained the Farm and Farmhouse property but were also deeply involved in community water resource issues. In 1907, James Platt was appointed Boulder County's first water commissioner, a position he held for 25 years.<sup>18</sup>

Platt Farmhouse is significant as an early example of a vernacular farmhouse within the Boulder community and the United States altogether. It represents the typical vernacular wood frame structure built throughout Colorado farming communities since 1860, as well as within many rural areas of the United States in the early 20th century.<sup>19</sup> Typical characteristics include, but are not limited to: an absence of architectural features and details, simple modest buildings, usually small one-story structures, hipped roofs with central dormers, and a front wrap around porch. The Platt Farmhouse remained in its original location until 2011 when it was relocated and integrated into the Valmont Bike Park.

## Recommended Period of Significance

The recommended period of significance for Platt Farmhouse is from 1908 to 1950. The period begins with the construction of the Farmhouse and ends when the Platt family were no longer residents of the farmhouse in 1950, after which it changed ownership a several times and then leased to the City of Boulder who currently owns the property.

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16 Holthouser, Neil and Ruth McHeyser. Memorandum. City of Boulder Parks Department, 2.

17 Ibid., 3.

18 Ibid., 2.

19 Ibid., 4

## Summary of Use

### *Historic Use*

Platt Farmhouse property was originally homesteaded by James J. Rhoads who owned the property until 1872. It is unclear if he or his family ever lived on the property. The property changed ownership multiple times in the 1880s to 1900s until it was purchased by James M. Platt in 1896. Platt Farmhouse was constructed in 1908. The Platt family lived in the farmhouse and operated the farm until the early 1950s. The residence was owned by the Howe Family of Howe Mortuary and Mr. Everett Wiehe before being acquired by the City of Boulder.<sup>20</sup>

| Date                | Event  |
|---------------------|--|
| 1872 to 1880s       | Property was Homesteaded by James J. Rhoads  |
| 1886 to early 1950s | James Platt begins Ownership of the Property |
| Early 1950s to 1976 | Howe Family Ownership                        |
| 1976 to 1997        | Mr. Wiehe Ownership                          |

### *Current Use*

Platt Farmhouse was acquired by Boulder Parks and Recreation Department in 1997. When the Parks and Recreation Department purchased the land, they proposed moving the farmhouse to facilitate the construction of a bike park to the north and east of the site. Originally, the farmhouse was located on approximately 25 acres of rural, undeveloped land bounded to the south by Valmont Road, Airport Road to the west, the Boulder County Jail complex to the north, and an industrial site to the east.<sup>21</sup> On March 3, 2011, the Landmarks Board approved a Landmark Alteration Certificate to relocate and restore Platt Farmhouse. On June 3, 2011, the building was relocated, and the bike park construction was completed soon after.<sup>22</sup>

| Date            | Event  |
|-----------------|--|
| 1997 to present | Ownership by Boulder Parks and Recreation Department |
| 2011 to present | Building relocated to current site and re-purposed   |

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<sup>20</sup> Holthouser, Neil and Ruth McHeyser. Memorandum. City of Boulder Parks Department, 2.

<sup>21</sup> Ibid, 4.

<sup>22</sup> East Boulder Working Group. East Boulder Inventory and Analysis Report, Boulder, 6.



# INTEGRITY

The integrity of Platt Farmhouse is assessed to determine if the characteristics that shaped the original construction within its period of significance (1908 to 1950) are present as they were historically. Integrity is evaluated according to seven aspects or qualities: location, setting, design, materials, workmanship, feeling, and association. Platt Farmhouse retains integrity in design, materials, workmanship, and association. Platt Farmhouse does not retain integrity in location, setting or feeling as the building has been moved from its original location and its orientation has changed.

## *Location*

Platt Farmhouse was relocated to its existing location in 2011 during construction of a new bike park. The building was placed approximately 700-feet west of its original location and at one of the main entrances to Valmont Park.

## *Setting*

The setting has changed from a farming community to a bike park. As part of the relocation, the orientation of the building on the site was changed. In its original location the front door of the building faced toward the irrigation ditch. In the current location the front door is also facing toward the irrigation ditch. However, to maintain this, the overall building orientation was revised to work with the new site.

## *Design*

Platt Farmhouse generally retains a high degree of architectural integrity, especially from the south (front) elevation. However, a 1970s addition to the west elevation is not compatible with the original design of the farmhouse. The addition consists of a large flat-roofed dormer with two double hung windows, two narrow plate-glass windows, and a doorway exiting onto a projecting balcony. The three skylights in the east-facing roof plane, added in the 1970s, are not compatible with the original structure either, however, their visual impact is minimal.

## *Materials*

Most original materials have remained. During relocation, the entry columns were replaced in-kind and a concrete ramp was installed for accessibility on the rear of the building. The farmhouse was set on a new concrete foundation, and some windows and doors were replaced to match in-kind.

## *Workmanship*

Workmanship is consistent with the typical vernacular wood frame structure built throughout Colorado since 1860 as well as much of the United States in the early 20th century. With an absence of architectural features and details that can distinguish a specific style, these simple modest homes are divided into types according to floor plan and roof shape. This typical style of farmhouse is a small, one-story structure with a hipped roof and usually a front porch.

## *Feeling*

Since the building was relocated, it no longer retains integrity of feeling, but remains a prominent part of the community in its new location within the bike park.

## *Association*

The farmhouse retains its association with the Platt family as prominent members of the Valmont (and wider Boulder) community, as well as its associations with early agricultural development in Boulder.

## Construction & Alteration History

| Date  | Event  | Source   |
|-------|--|--|
| 1872  | James Rhoads, farmer and son of Boulder Pioneer Joseph Rhoads, homesteaded the property of 25 acres. It is unclear if him and his family ever actually lived on the property.  | Memorandum, 2.                                       |
| 1896  | Property was purchased by James M. Platt.  | Memorandum, 2.                                       |
| 1908  | Platt Farmhouse was constructed.   | Memorandum, 2.                                       |
| 1950s | Platt Family no longer resided in the Farmhouse.<br>It was purchased by the Howe Family of Howe Mortuary.  | Memorandum, 2.                                       |
| 1970s | A large addition was added to the west elevation. The addition included a flat-roof dormer with two double -hung windows, two narrow plate - glass windows, and a doorway exiting onto a projecting balcony. Three skylights on east elevation were also added during this time. | Memorandum, 4.                                       |
| 1976  | The house changed ownership from the Howe Family to Everett Wiehe.   | Memorandum, 2.                                       |
| 1999  | Platt Farmhouse was designated a local landmark by the City of Boulder.  | City of Boulder<br>Landmark L-99-3                   |
| 2011  | Platt Farmhouse was relocated within the Valmont Bike Park to its current location and rehabilitated.  | East Boulder Inventory<br>and Analysis Report,<br>6. |



## EXISTING CONDITION

### Architectural Description

This a vernacular wood frame structure with painted wood board siding. The farmhouse is an intact example of an early 20th century farmhouse as reflected in its vernacular hipped-box design, simple wood-frame construction, and prominent wrap-around front porch. A stair at the main entry leads up to the elevated wrap around porch. The hipped roof features sprung (flared) eaves and two small shed roof dormers. All of these character defining features of the structure had been retained during relocation efforts.<sup>23</sup>

#### *Primary Materials*

Character-defining features of the Platt Farmhouse include a central brick chimney, double hung windows with wood shutters, the asphalt shingle roof and dormers with wood shingle siding, as well as original hardwood flooring and the interior painted plaster ceiling and walls.

During the relocation of Platt Farmhouse to its current location, the structure was rehabilitated and several modifications were made. The building was placed on a new poured-in-place concrete foundation that maintains an elevated space under the porch to provide an accessible crawlspace. The wood Doric porch columns were replaced to match in kind. Some original windows and doors were replaced to match in kind. The walls were repainted, kitchen and bathroom fixtures updated, and all existing appliances were replaced or added.



*Figure 1-3. Platt Farmhouse and outbuildings located on original site, 1949 (source: Carnegie Library for Local History)*

## Architectural Condition

### Concrete

**Sidewalk:** In the current building location, the main entrance is accessed from an accessible concrete ramp. The ramp was added when the building was relocated and rehabilitated and is in good condition. The building entry facing the south irrigation ditch has a concrete pad at the bottom of the stairs that is in good condition.

**Building Foundations:** The building and porch appear to have been set on new concrete foundations as part of the relocation and rehabilitation. The concrete appears to be in good condition.



Figure 1-4. Concrete sidewalk at the accessible entrance, 2020 (source: Ratio)



Figure 1-5. Concrete slab at the base of the stairs, 2020 (source: Ratio)



Figure 1-6. Porch and building foundations, 2020 (source: Ratio)



Figure 1-7. Porch columns, 2020 (source: Ratio)



## Wood

**Porch Columns:** The original wood porch columns were removed during the relocation, and were replaced with new wood columns. It is unclear how closely the new columns match original construction. The columns are in fair condition overall. The paint is peeling slightly at the base of the columns. The wood railing in between the columns appears to be original construction. The rails and posts are in fair condition. The bottoms of the posts are showing signs of cracking and peeling paint. Areas on both the top and bottom rails have peeling paint. To comply with the current code height requirements for guardrails, a metal rail has been added above the wood railings. The metal rail appears to be in fair condition, maintaining its structural integrity but showing large areas of rust.

**Porch Flooring:** The wood floor of the porch and the entry stairs are in poor to fair condition. The tongue and groove boards are intact and functional, but are unfinished and showing considerable wear, weathering, and warping.

**Porch Framing:** The porch floor framing appears to be in good condition. The porch roof framing and soffit finish are in fair to poor condition. There is considerable wear, weathering, and cracking and peeling paint on both the support beams and the wood soffit material.



*Figure 1-8. Wood porch stair, 2020 (source: Ratio)*



*Figure 1-9. Wood porch framing roof supports, 2020 (source: Ratio)*

Exterior Siding: In general, the wood siding is in fair condition. Some discoloration is on the siding near the south door that is of an undetermined origin. A few small areas where the siding is damaged, or the paint is missing, occur around the building, and most horizontal joints contain noticeable amounts of dirt.

Wood Flooring: Both levels of the interior have wood plank flooring, that appears in good condition. The interior stairs have a wood finish. The stairs appear to be in good condition. The boards that make the nosings of the stairs do not appear to match the wood type of the rest of the stairs, a few nosing boards are loose.



Figure 1-10. Wood siding, 2020 (source: Ratio)



Figure 1-11. South door, 2020 (source: Ratio)



Figure 1-12. Hardwood flooring on the first floor, 2020 (source: Ratio)



Figure 1-13. Hardwood flooring on the second floor, 2020 (source: Ratio)

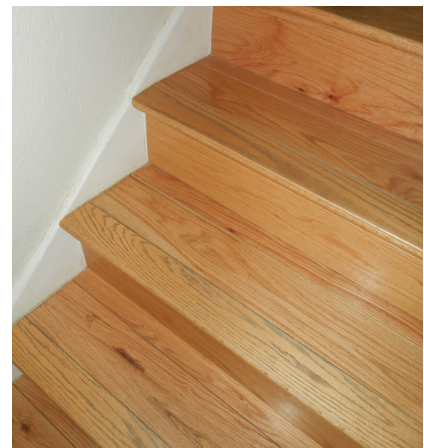


Figure 1-14. Wood treads and nosings, 2020 (source: Ratio)



**Windows and Doors:** The windows and doors appear to be in good condition with no obvious signs of wear or damage. Based on the City-provided building drawings of rehabilitation it appears the windows and doors are a mix of both original and replacements. Replacement windows and doors appear to match the design and materials of the original components. Recent work includes the addition of a sliding barn door and wood finish at the first floor office.

### *Roofing*

**Shingles:** The main portion of the roof is finished with asphalt shingles, which appear to be in good condition. The upper dormers have an exterior wall finish of painted wood shingles. From ground level observation the shingles appear to be in fair condition.

**Gutters:** The gutters and downspouts appear to have been replaced during rehabilitation. The gutter profile is a half-round style, which replicates the gutter shapes in use when the Farmhouse was originally built. Both gutters and downspouts appear to be in good condition.



*Figure 1-15. Sliding barn door and infill wall, 2020 (source: Ratio)*



*Figure 1-16. Wood shingle dormers, 2020 (source: Ratio)*



*Figure 1-17. Asphalt shingle roof, 2020 (source: Ratio)*



*Figure 1-18. Half-round gutters, 2020 (source: Ratio)*

### *Additional Items*

**Tile Floors:** Both the kitchen and the restroom have tile floor finishes, and the restroom has tile wainscot on the wall. The tile work appears to be in good condition.

**Mechanical:** The swamp cooler and furnace for the building appear to be in working condition. They are located in the crawl space below the building, that is accessed behind the slatted wood screens below the porch.

**Attic:** On the upper level there are two wall panels that appear to be the access for the attic space below the eaves of the roof. In both access panels there is a hole cut into them. It is unclear the intent of the holes or if there is an infill panel or grille missing from these locations.



*Figure 1-19. Kitchen area with tile floor, 2020  
(source: Ratio)*



*Figure 1-20. Restroom tile finishes, 2020  
(source: Ratio)*



*Figure 1-21. Swamp cooler and furnace in the crawl space, 2020  
(source: Ratio)*



*Figure 1-22. Attic access panel, 2020  
(source: Ratio)*

## Structural Condition

Platt Farmhouse is a one and a half story wood framed farmhouse was built in 1908. In 2011 it was moved to a new location, much of the structure was replaced and a second level addition was removed. Structural drawings from the 2010 renovation were available during this assessment. The structural systems are described below based on our site observations, documentation of the structure, and observation of existing documentation.

### *Foundation*

The structure has new concrete foundation stem walls and concrete footings at frost depth. The foundation is in good condition; it is new and is performing as expected. It appears that the new concrete piers at the porch were coated in a finish coat to look like the original piers which had a honeycombed surface.

### *Roof Framing*

The farmhouse has a hip roof with curved eaves and a shed roof dormer on the front and back. The wrap around porch has a shed roof. Most of the roof framing was replaced with new lumber during the 2010 renovation. The roof is in good condition. It was strengthened during the 2010 renovation and is performing adequately.

### *Floor Framing*

The first-floor system consists of dimension lumber spanning between perimeter concrete stem walls and interior stem walls or steel beams. The second-floor framing spans between bearing walls or LVL headers. The original joists have been sistered or replaced with new lumber. The floor systems are in good condition. They were strengthened during the 2010 renovation and are performing adequately.

### *Walls and Framing*

The structure has wood framed stud walls and LVL headers. During the 2010 renovation the framing was updated to comply with current codes. The walls are in good condition. They were strengthened during the 2010 renovation and are performing adequately.

### *Lateral Force Resisting System (LFRS)*

The LFRS of the farmhouse consists of the wood framed and sheathed shear walls, the wood floor diaphragms, and wood roof sheathing and framing; it was updated to meet the ASCE 7-05 and 2006 IBC Codes for an office occupancy. The existing LFRS is in good condition. It was strengthened during the 2010 renovation and is performing adequately.

### *Porch and Ramp*

The farmhouse has a wrap-around front porch supported by wood columns. The rear entrance has an accessible concrete ramp. The porch and ramp are in good condition. The paint on the porches wood framing elements is failing. If not properly maintained, moisture can penetrate the paint layer and cause the wood material to deteriorate.





Figure 1-23. Front and west elevation of Platt Farmhouse, 2020 (source: JVA)



Figure 1-24. Back and east elevation of Platt Farmhouse, 2020 (source: JVA)



Figure 1-25. Porch piers wrapped in coating, 2020 (source: JVA)



## Structural Condition Definitions

This structural condition assessment makes use of terms concerning the condition of building components which are defined as follows:

**Good** - A structural element, component or system is considered in good condition when it is undamaged, structurally sound or functionally operational, and performing as intended. No specific repairs are required, and only minor or routine maintenance is needed.

**Fair** - An element, component or system is considered in fair condition when there are signs of wear or deterioration, such as freeze-thaw deterioration, corrosion, or wood decay exceeding expectations based on the age and use of the element, that may be reducing the structural capacity of the member. Replacement or repair of the element may be required.

**Poor** - An element, component, or system is considered in poor condition when it no longer performs its intended structural purpose. Deterioration or damage reduced the load carrying capacity of the element and simple repairs cannot be justified or are not expected to be effective. The element may show signs of imminent failure. Major repair or replacement will be required.

Note: Condition ratings reported are based upon visual observations only. No material testing or exploratory observations have been made. Further investigation could result in modification to condition ratings.

Table 1-1: Condition Assessment of Architectural Features

| Primary Features                   | Description of Primary Materials | Condition    |
|------------------------------------|----------------------------------|--------------|
| Concrete                           | Concrete slab on grade           | Good         |
| Wood                               | Stone, Brick                     | Fair         |
| Roofing                            | Single pane, Stained glass       | Good         |
| <b>Additional Building Systems</b> |                                  |              |
| Mechanical                         | Swamp cooler and furnace         | Good         |
| Electrical                         | Lighting and power               | Good         |
| Plumbing                           | Restroom and kitchen sink        | Good         |
| Fire Protection & Suppression      |                                  | Not Observed |

Table 1-2: Condition Assessment of Structural Features

| Primary Features                       | Description of Primary Materials   | Condition |
|--|--|-----------|
| Foundation                             | New foundation stem walls and concrete footings  | Good      |
| Roof Framing                           | Hip roof with curved eaves and shed dormer   | Good      |
| Floor Framing                          | Dimensional lumber   | Good      |
| Walls and Framing                      | Framed stud walls and LVL headers  | Good      |
| Lateral Force Resisting Systems (LFRS) | Wood framed and sheathed shear walls, the wood floor diaphragms, and wood roof sheathing and framing | Good      |
| Porch and Ramp                         | Wrap around porch and entrance ramp  | Good      |

## ADDITIONAL IMAGES



Figure 1-26. Platt Farmhouse Landmark Designation plaque, 2020 (source: Ratio)



Figure 1-27. North elevation, 2020 (source: Ratio)





Figure 1-28. West elevation, 2020 (source: Ratio)



Figure 1-29. South elevation, 2020 (source: Ratio)





Figure 1-30. East elevation, 2020 (source: Ratio)



Figure 1-31. Crawl space access, 2020 (source: Ratio)





Figure 1-32. Attic space, 2020 (source: Ratio)



Figure 1-35. Attic space, 2020 (source: Ratio)



Figure 1-33. South porch, 2020 (source: Ratio)



Figure 1-36. East porch, 2020 (source: Ratio)

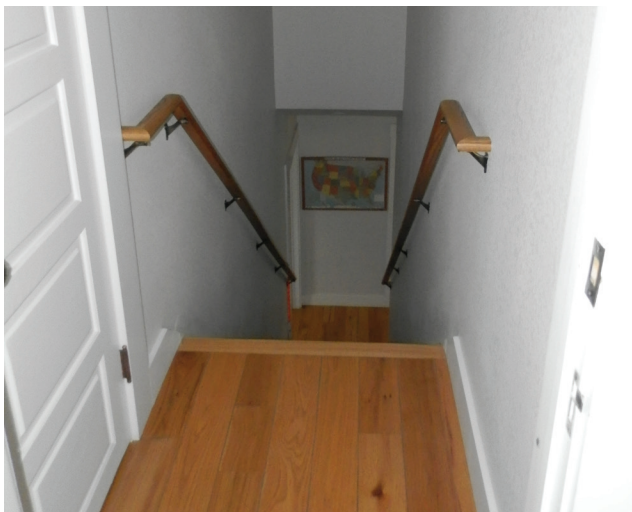
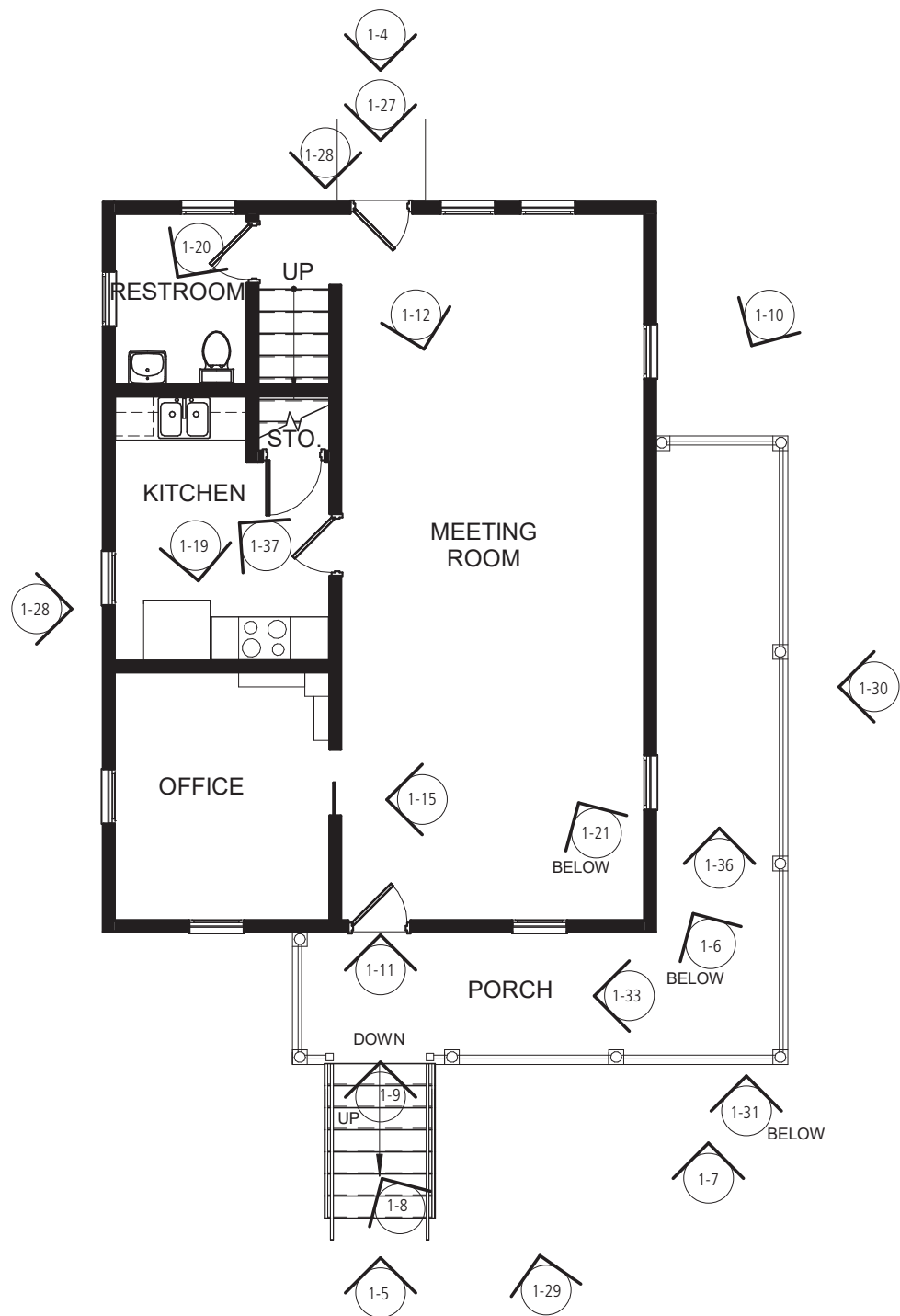


Figure 1-34. Interior stairway, 2020 (source: Ratio)



Figure 1-37. Kitchen, 2020 (source: Ratio)

SKETCHES



EXISTING FIRST FLOOR PLAN

1/8" = 1'-0"

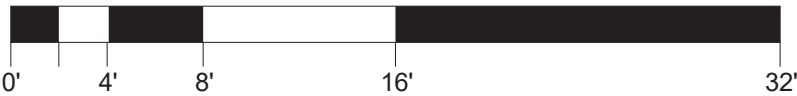
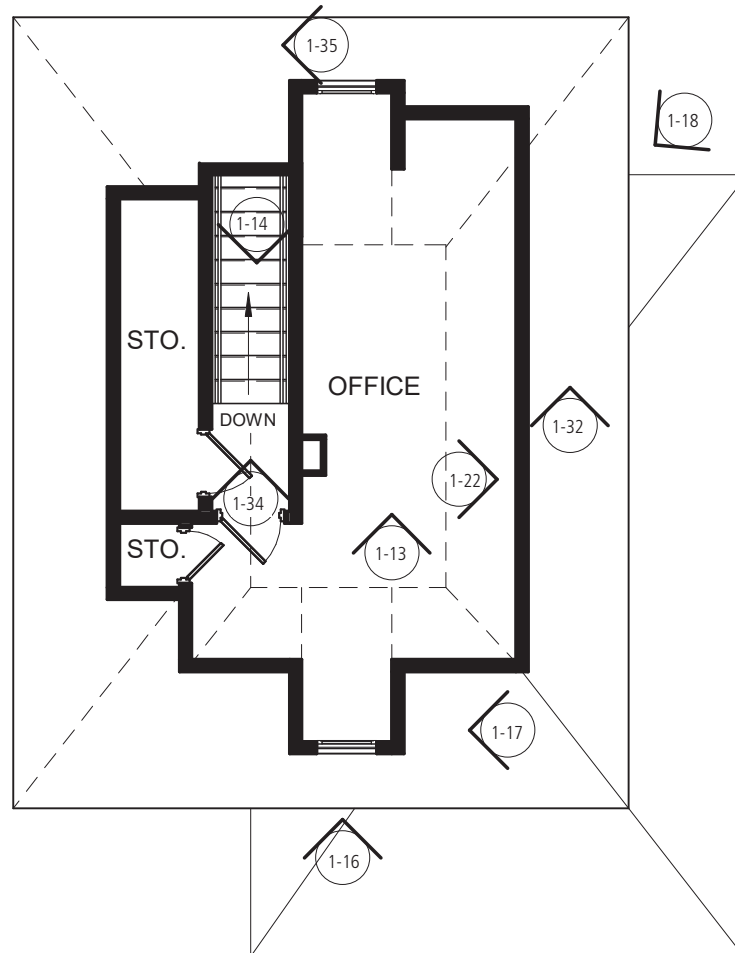


Figure 1-38. First Floor Plan, 2020 (source: Ratio)



## EXISTING SECOND FLOOR PLAN

1/8" = 1'-0"

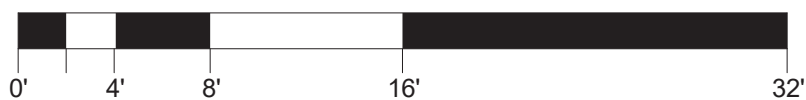


Figure 1-39. Second Floor Plan, 2020 (source: Ratio)

# TREATMENT

## Introduction and Overview

This section outlines treatment guidance for the current and future planning and design of the Platt Farmhouse based upon a rehabilitation approach. This approach emphasizes the preservation and repair of the property, as well as allowing for adaptive reuse, where appropriate. The following treatment guidance will provide actions and recommendations to guide the holistic preservation and rehabilitation of the Platt Farmhouse to ensure its future as a valued landmark.

Treatment guidance is based upon review of historic documentation, assessment of condition and integrity, and in support of current and planned futures uses. This section provides integral treatment actions that will protect significant cultural resources, repair contributing features and settings, and define parameters for contemporary additions. Treatment recommendations identify where repair is needed to reveal historic features, retain character, and maintain integrity. Future work planned for the Platt Farmhouse shall be guided by *The Secretary of the Interior's Standards for the Treatment of Historic Properties*.

Treatment guidance informs of necessary improvements and repairs that will provide improved functionality of the Platt Farmhouse for public use and for improved operations for the City of Boulder. Treatment recommendations do not include operations or property management actions, funding scenarios, partnership opportunities, programming, or future planning. Treatment recommendations do not include implementation strategies or cost estimating.

Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, or additions if those portions or features that convey its historic, cultural, or architectural values are preserved. Rehabilitation allows for new additions to be integrated within the study area in a manner that preserves established patterns and features. Additional actions include those that preserve, repair, and retain contributing features and qualities that contribute to the historic character.

## Guiding Principles and General Treatment Guidance

Platt Farmhouse is historically significant for its association with the Platt family and for their role in the agricultural development of east Boulder. The farmhouse is architecturally significant as an intact example of an early-twentieth century vernacular farmhouse. Platt Farmhouse is characterized by its hipped-box design, simple wood frame construction, and prominent wrap-around front porch. The house is significant for its proximity to the North Boulder Farmers Ditch and the Boulder and Lefthand Ditch, which played significant roles in the agricultural development of the Valmont community.

### *Guiding Principles*

- Preserve, protect, and repair the Platt Farmhouse's contributing architectural and structural features including characteristics that contribute to its historic character on the interior and exterior of the structure.
- Maintain and enhance current year-round use by leasing tenants and community rental spaces.

## Treatment Guidance

Treatment guidance provides recommendations for the preservation and repair of individual characteristics of Platt Farmhouse. Treatment guidance is presented for the building only as the site is not included within its designation boundary. This guidance is to be followed when proposing modifications to contributing features and to qualities that contribute to the historic integrity of the property, for new development within the landmark boundary.



## *Buildings and Structures*

Platt Farmhouse is a contributing building.

- Protect and preserve the farmhouse's contributing features in their original locations.
- Preserve and repair character-defining features including the central brick chimney, double hung windows with wood shutters, the asphalt shingle roof and dormers with wood shingle siding, as well as original hardwood flooring and the interior painted plaster ceiling and walls.
  - Replace porch and exterior stair wood flooring in its entirety.
- Review original design/plans for the moving, renovation and restoration to determine if there are any outstanding phases of work that weren't completed during the original renovation and restoration project.
- Preserve and repair extant structural features in-place including the roofing, ceilings, walls, flooring, openings, and appendages.
  - No structural recommendations at this time for the foundation, floor framing, roof framing, wall framing, or lateral force resisting system.
  - Maintain envelope to ensure wood framing is dry.
  - Keep vegetation away from the structure.
- Preserve, repair, and replace extant architectural finishes to match in-kind.
  - Repair and refinish all painted surfaces, plastered walls and ceilings, and wood wall paneling and flooring.
- Maintain contributing structures and objects through regular maintenance including the following:
  - Replace all extant lighting with LED bulbs.
  - Touch up all painted surfaces on a routine basis.
  - Cyclical repair and replacement of broken or missing architectural and structural features and finishes.
  - Provide and maintain weatherstripping of windows and doors.
  - Roof sealants and flashing should be reviewed yearly (biannually at a minimum) to ensure water tightness.

## Top Priorities

The following actions to improve or repair physical features or landscape characteristics are the top recommended priorities. These actions meet the following criteria: impact for safety / stabilization; threat of loss of integrity; poor condition; potential impact due to enhancement; critical path / adjacency to other planned work; relevancy to other current plans.

After considering all of the recommended treatments for the Platt Farmhouse, the following architectural and structural recommendations have been identified as the top priorities and are listed in order. Please note that this does not diminish the necessity to complete all of the listed recommendations to protect the structure over the long term, but rather highlights the building's current highest priorities.

- Porch and stair flooring
  - Safety / stabilization
- Planning & Programming
  - Upcoming Plans Resulting in Guidance, Policy, or Construction
- Cyclical Maintenance
  - Condition

Table 1-3: Platt Farmhouse Treatment Matrix

| Projects             | Fiscally Constrained  | Action   | Vision   |
|----------------------|---|--|--|
| Security & Lighting  |   |  |  |
| Structure            | <p>Cyclical repair and replacement of broken or missing architectural and structural features and finishes.</p> <p>Cyclical repainting and cleaning of exterior architectural features.</p> | <p>Replace porch and stair flooring in its entirety.</p> <p>Review and complete any outstanding rehabilitation and renovation items from the original relocation project</p> | Complete long-term planning and programming assessment for the building to determine future use and possible need for additional structures nearby |
| Circulation          | Revisit the existing reservation system for community use and determine an appropriate system to allow for community use/ access.   |  |  |
| Vegetation           | Cyclically trim foundation plantings  |  |  |
| Small Scale Features | Explore interpretive signage throughout Valmont North to educate on history of original location, Valmont agriculture, and new location/use.  | Implement interpretive signage.  | Connect site interpretation to Valmont South in some fashion once redeveloped.   |

## RESOURCES

East Boulder Working Group. East Boulder Inventory and Analysis Report, Boulder (Colo.) Office of Arts and Culture, 2020.

Holthouser, Neil and Ruth McHeyser. Memorandum for 5227 Valmont Road. City of Boulder Parks Department. September, 1 1999.

United States Department of the Interior, National Park Service. *How to Complete the National Registration Bulletin*. Washington DC: National Park Service Cultural Resources, 1997.

United States Department of the Interior, National Park Service. *The Secretary of the Interior's Standards for Treatment of Historic Properties with Guidelines for the Treatment of Cultural Landscapes*. Washington DC: Cultural Resource Stewardship and Partnerships, 1996.