



**CITY OF BOULDER  
BOARD OF ZONING ADJUSTMENT  
MEETING AGENDA**

**DATE:** Tuesday, April 11<sup>th</sup>, 2023

**TIME:** Meeting to begin at 4 p.m.

**PLACE:** Virtual Meeting

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NOTICE IS HEREBY GIVEN THAT A PUBLIC HEARING WILL BE GIVEN BY THE CITY OF BOULDER, BOARD OF ZONING ADJUSTMENT, AT THE TIME AND PLACE SPECIFIED ABOVE. ALL PERSONS, IN FAVOR OF OR OPPOSED TO OR IN ANY MANNER INTERESTED IN ANY OF THE FOLLOWING VARIANCES FROM THE LAND USE REGULATIONS, TITLE 9, BOULDER REVISED CODE 1981; MAY ATTEND SUCH HEARING AND BE HEARD IF THEY SO DESIRE. (APPLICANT OR REPRESENTATIVE MUST APPEAR AT THE MEETING.)

**1. CALL TO ORDER**

**2. APPROVAL OF MINUTES**

- A. [March 14<sup>th</sup>, 2023 BOZA minutes are set for approval.](#)

**3. BOARD HEARINGS**

**A. Docket No.: BOZ2023-00004**

**Address:** 1951 Alpine Avenue

**Applicant:** Kyle Akin & Amanda McKeon

**Setback Variance:** As part of a proposal to recognize and permit an approximately 72 square foot detached sauna structure within the property's front (south) yard, the applicants are requesting a variance to the front yard landscape setback standards for accessory structures in the RL-1 zoning district. The resulting front yard setback will be approximately 3.5 feet where 55 feet is required and 3.5 feet exists today. Section of the Land Use Code to be modified: Section 9-7-1, BRC 1981.

**4. GENERAL DISCUSSION**

**A. Matters from the Board**

**B. Matters from the City Attorney**

**C. Matters from Planning and Development Services**

**A. ADJOURNMENT**

For more information call Robbie Wyler ([wylerr@bouldercolorado.gov](mailto:wylerr@bouldercolorado.gov)), Brian Holmes ([holmesb@bouldercolorado.gov](mailto:holmesb@bouldercolorado.gov)) or Devin Saunders ([saundersd@bouldercolorado.gov](mailto:saundersd@bouldercolorado.gov)). Board packets are available after 4 p.m. Friday prior to the meeting, online at [www.bouldercolorado.gov](http://www.bouldercolorado.gov).

\*\*\* SEE REVERSED SIDE FOR MEETING GUIDELINES \*\*\*

**CITY OF BOULDER  
BOARD OF ZONING ADJUSTMENT  
MEETING GUIDELINES**

**CALL TO ORDER**

The board must have a quorum (three members present) before the meeting can be called to order.

**AGENDA**

The board may rearrange the order of the agenda or delete items for good cause. The board may not add items requiring public notice.

**ACTION ITEMS**

An action item requires a motion and a vote. The general format for hearing of an action item is as follows:

**1. Presentations**

- Staff presentation.\*
- Applicant presentation.\*Any exhibits introduced into the record at this time must be provided in quantities of seven to the Board Secretary for distribution to the board and admission into the record.
- Board questioning of staff or applicant for information only.

**2. Public Hearing**

Each speaker will be allowed an oral presentation.\*

- Speakers should introduce themselves, giving name and address. If officially representing a group, homeowners' association, etc., please state that for the record as well.
- Speakers are requested not to repeat items addressed by previous speakers other than to express points of agreement or disagreement. Refrain from reading long documents, and summarize comments wherever possible. Long documents may be submitted and will become a part of the official record. When possible, these documents should be submitted in advance so staff and the board can review them before the meeting.
- Speakers should address the Land Use Regulation criteria and, if possible, reference the rules that the board uses to decide a case.
- Any exhibits introduced into the record at the hearing must be provided in quantities of seven to the Board Secretary for distribution to the board and admission into the record.
- Citizens can send a letter to Planning and Development Services staff at 1739 Broadway, Boulder, CO 80302, two weeks before the board meeting, to be included in the Board packet. Correspondence received after this time will be distributed at the board meeting.

**3. Board Action**

- Board motion. Motions may take any number of forms. With regard to a specific development proposal, the motion generally is to either approve the project (with or without conditions), to deny it, or to continue the matter to a date certain (generally in order to obtain additional information).
- Board discussion. This is undertaken entirely by members of the board. The applicant, members of the public or city staff participate only if called upon by the Chairperson.
- Board action (the vote). An affirmative vote of at least three members of the board is required to pass a motion approving any action. If the vote taken results in a tie, a vote of two to two, two to one, or one to two, the applicant shall be automatically allowed a rehearing. A tie vote on any subsequent motion to approve or deny shall result in defeat of the motion and denial of the application.

**MATTERS FROM THE BOARD, CITY STAFF, AND CITY ATTORNEY**

Any board member, Planning and Development Services staff, or the City Attorney may introduce before the board matters, which are not included in the formal agenda.

**VIRTUAL MEETINGS**

For Virtual Meeting Guidelines, refer to <https://bouldercolorado.gov/boards-commissions/board-of-zoning-adjustments-boza-agenda> page for the approved Board of Zoning Adjustment Rules for Virtual Meetings.

\*The Chairperson, subject to the board approval, may place a reasonable time limitation on presentations.

**CITY OF BOULDER**  
**BOARD OF ZONING ADJUSTMENT**  
**ACTION MINUTES**  
**March 14, 2023**  
**Virtual Meeting**

**Board Members Present:** Jill Lester (Chair), Katie Crane,  
Nikki McCord, Jack Rudd

**Board Members Absent:** Marine Siohan

**City Attorney Representing Board:** Erin Poe

**Staff Members Present:** Robbie Wyler, Devin Saunders

**1. CALL TO ORDER:**

**J. Lester** called the meeting to order at 4:08pm

**2. APPROVAL OF MINUTES**

On a motion by **K. Crane**, seconded by **N McCord**, the Board of Zoning Adjustments voted 3-0 (**J. Rudd, M. Siohan** absent during vote) to approve the January 10, 2023 BOZA minutes.

**2. BOARD HEARINGS:**

**A. Docket No.:** BOZ2023-00002

**Address:** 1450 High Street

**Applicant:** Hugo Schumann

**Bulk Plane & Side Yard Wall Articulation Variances:** As part of a proposal to construct/reconstruct some walls and roofs as a part of a home renovation and addition, the applicant is requesting a variance to both the side yard bulk plane and side yard wall articulation standards for a principal structure in the RL-1 zoning district. For Bulk Plane: The resulting vertical encroachment for a portion of the east side wall will be approximately 4 feet 10 inches where a 2-foot 10-inch vertical encroachment exists today. For Side Yard Wall Articulation: The resulting horizontal exceedance along the east side wall will be approximately 10 feet where a 6-foot 11-inch exceedance exists today. The resulting horizontal exceedance along the west side wall will be approximately 7 feet 7 inches where a 3-foot 1-inch exceedance exists today. The setbacks and general bulk/appearance of the project depicted within this application were approved by BOZA on May 12, 2022 (BOZ2022-00008); bulk plane & side yard wall

articulation issues were discovered at a later time. Sections of the Land Use Code to be modified: Sections 9-7-9 & 9-7-10, BRC 1981.

**Staff Presentation:**

**R. Wyler** presented the item to the board.

**Board Questions:**

**R. Wyler** answered questions from the board.

**Applicant's Presentation:**

**J. Tucker with Woodcraft Design Co.**, representing the applicant, and **H. Schumann**, the applicant, presented the item to the board.

**Board Questions:**

**J. Tucker with Woodcraft Design Co.**, representing the applicant, and **H. Schumann**, the applicant, presented the item to the board.

**Public Hearing:**

No one from the public addressed the board.

**Board Discussion:**

- **J. Rudd** noted that he is generally in favor of the project but believed this variance does not meet the minimal relief. His main thought on this item is that this problem was not caused by the owner, therefore he has a favorable view of this project.
- **N. McCord** believed this is the minimal variance that affords relief to the owner. She believed this qualifies for the variance through qualifications A-D and therefore had a favorable view of this project. She thanked the owner for gathering the letters of support from neighbors.
- **K. Crane** thanked the applicant for the presentation and explanation, and indicated her support for this project.
- **J. Lester** believed this variance provides enough minimal relief for approval.

**Motion:**

On a motion by **K. Crane** and seconded by **J. Rudd**, the Board of Zoning Adjustment approved 4-0 (**M. Siohan** absent) the application (**Docket BOZ2023-00002**) as submitted.

**3. GENERAL DISCUSSION:**

**A. Matters from the Board**

There were no matters from the board.

**C. Matters from the City Attorney**

There were no matters from the City Attorney.

**D. Matters from Planning and Development Services**

There were no matters from the Planning and Development Services.

**4. ADJOURNMENT:**

There being no further business to come before the board at this time, BY MOTION REGULARLY ADOPTED, THE MEETING WAS ADJOURNED AT 5:31 P.M

APPROVED BY

\_\_\_\_\_  
Board Chair

\_\_\_\_\_  
DATE

DRAFT



**City of Boulder Planning and Development Services**  
 1739 Broadway, Third Floor • PO Box 791 • Boulder, CO 80306  
 Phone: 303-441-1880 • Web: boulderplandevlop.net

# BOARD OF ZONING ADJUSTMENT (BOZA) VARIANCE APPLICATION

**APPLICATION DEADLINE IS THE SECOND MONDAY OF EACH MONTH.  
 MEETING DATE IS 4:00 P.M. ON THE SECOND TUESDAY OF THE FOLLOWING MONTH.**

Submittal of inaccurate or incomplete information and materials may result in rejection of the application.

## GENERAL DATA

(To be completed in full by the applicant.)

- Street Address or General Location of Property: 1951 Alpine Avenue Boulder, CO
- Legal Description: Lot 5 Block 2 Subdivision Hillcrest (Or attach description.)
- Lot Size: 6417.7 SF
- Existing Use of Property: Single Family Residence
- Detailed Description of Proposal (Specific Variance[s] Requested Including All Pertinent Numerical Values (e.g.: Existing, Required and Proposed Setbacks for the Subject Setback Variance):  
We are requesting a variance to the accessory building setback as listed in BRC 9-7-2 Setback Standards for accessory buildings for a new 6.5'x11' structure. to be placed in the front yard setback.

*Total floor area existing: <u>2234</u>	*Total floor area proposed: <u>2304</u>
*Total building coverage existing: <u>2325</u>	*Total building coverage proposed: <u>2409</u>
*Building height existing: <u>28'</u>	*Building height proposed: <u>9' for new structure</u>

\*See definitions in Section 9-16-1, B.R.C. 1981.

- ◆ **Name of Owner:** Kyle Akin and Amanda McKeon Amanda's cell
- Address: 1951 Alpine Avenue Telephone: 603-817-2888
- City: Boulder State: CO Zip Code: 80304 Email: kyleakin@gmail.com
- ◆ **Name of Contact (if other than owner):** Ransom Beegles, R Design Landscape Architecture
- Address: 1200 Bannock St. Telephone: 970-402-9912
- City: Denver State: CO Zip Code: 80204 Email: ransomb@rdesignstudios.com

### STAFF USE ONLY

Doc. No. \_\_\_\_\_ Date Filed \_\_\_\_\_ Zone \_\_\_\_\_ Hearing Date \_\_\_\_\_  
 Application received by: \_\_\_\_\_ Date Fee Paid \_\_\_\_\_ Sign(s) Provided \_\_\_\_\_

**APPLICATION TYPES (Check All That Apply For This Application)**

- Setback (BRC 9-7-1)
- Porch Setback & Size (BRC 9-7-4)
- Building Separation (BRC 9-7-1)
- Bulk Plane (BRC 9-7-9)
- Side Yard Wall Articulation (BRC 9-7-10)
- Building Coverage (BRC 9-7-11 or BRC 9-10)
- Floor Area Ratio (BRC 9-8-2)
- Parking in Front Yard Landscape Setback (BRC 9-7-1 & 9-9-6)
- Size and Parking Setback Requirements for Accessory Units (BRC 9-6-3)
- Cumulative Accessory Building Coverage (BRC 9-7-8)
- Mobile Home Spacing Variance (BRC 9-7-13)
- Use of Mobile Homes for Non-Residential Purposes (BRC 10-12-6)
- Solar Exception (BRC 9-9-17)
- Sign Variance (BRC 9-9-21)
- Fence and Wall Variance (BRC 9-9-15)

**APPLICATION REQUIREMENTS**

All variance applications are electronic submittal and review. Visit the Planning & Development Services Online Center for additional information & guidance on the application process and how to apply. As a minimum, the following items **MUST** ultimately be provided for an application to be considered complete:

- A completed and signed BOZA Application Form;
- If applicant is other than owner(s), a written consent of the owner(s) of the property for which the variance is requested;
- A detailed written statement thoroughly describing the variance request(s) and addressing all pertinent review criteria for approval - see following pages;
- A signed and stamped Improvement Location Certificate or Site Improvement Survey and legal description by a registered surveyor;
- A site development plan including setbacks, building elevations, interior layout/floor plans and any other pertinent exhibits;
- A demolition plan clearly differentiating between existing/remaining and proposed portions of the structure(s);
- Any other information pertinent to the variance request (e.g. neighbor letters, photos, historic records/approvals, renderings, etc.);
- Sign Posting Acknowledgement Form - *see following page*.  
NOTE: The applicant is responsible for posting the property in compliance with city requirements. Obtaining sign(s) will be messaged to an applicant once it has been placed on an agenda. The applicant will be responsible for posting the required sign(s) within 10 days of the hearing date. Failure to post the required sign(s) may result in the postponement of the hearing date.
- A Board of Zoning Adjustment application fee (as prescribed in the current 'Schedule of Fees' which can be found at [bouldercolorado.gov/plan-developop](http://bouldercolorado.gov/plan-developop));

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**NOTE: SEE SECTION 9-2-3(I), B.R.C. 1981 FOR VARIANCE EXPIRATION INFORMATION**

Applicant Signature  Date March 13, 2023

Owner (if other than Applicant) Signature Kyle Akin, Owner Date \_\_\_\_\_



BOARD OF ZONING ADJUSTMENT VARIANCE APPLICATION  
-PROJECT DESCRIPTION

Date: March 19, 2023  
 TO: City of Boulder Planning and Development, Board of Zoning Adjustment  
 RE: Proposed Sauna at 1951 Alpine Ave. in Boulder, CO.

Dear Board of Zoning Adjustments

Thank you for considering our project for a zoning variance for the accessory structure setback requirements. Our project is located at 1951 Alpine Avenue in Boulder, CO which is a single family residential property with an existing residence. As part of the landscape renovation which includes new retaining walls, fences, steps, plantings and irrigation, the owners have purchased a pre-manufactured sauna. This structure is 6.5' x 11' x 9' tall and is constructed of high quality construction materials. Due to the unusual nature of this site, which has a large front yard that faces both Alpine Avenue to the south and Tyler Road to the north, the accessory structure setbacks limit the locations this element can be placed. Aside from the challenges with the geometry, the site is faced with extreme grading conditions particularly on the northwest side or rear yard which is one of the only locations within the accessory structure setbacks. The grading of the rear yard is not only extreme but re-grading could compromise the stabilization of the adjacent lot which sits higher in elevation than 1951 Alpine Avenue. We have submitted and been approved a retaining wall plan to provide a flat space for a usable yard south of the existing residence which is the most suitable location for the sauna structure to be placed.

Due to these existing conditions, the owners at 1951 Alpine are faced with a challenging lot which has very limited flat, buildable areas located on the south side of the property. This is the reason for the location we are proposing the sauna structure, on the southeast corner of the existing residence. We feel this is appropriate due to the hardship of the site and have developed a landscape plan which incorporates the sauna in a thoughtful manner that is respectful to the neighborhood. This structure is crafted of quality construction materials and architecturally compliments the house. It will also be set within a new fenced-in flat lawn area and hidden to the east through fencing and vegetation. Several neighbors have seen the plans and structure and have expressed their support of the design (we are gathering and will provide letters of support to the BOZA from adjacent lots). In order to ensure this design is an asset for the neighborhood, the landscape plan which includes retaining walls, fences, steps and new plantings will enhance the entire corner increasing curb appeal while complementing both the sauna structure and existing residence. In accordance with the BOZA variance criteria we feel this proposal satisfies all of the criteria. Below we have listed these in detail:

(1) Physical Conditions or disability:

(A) (i) There is unusual physical circumstances or conditions including, without limitation, irregularity, narrowness, shallowness of the lot, or exceptional physical conditions peculiar to the peculiar to the physical property.

**Response:** the unusual shape and extreme topography on the lot limit the ability for construction to an area located south of the residence, which is currently not in conformance of the accessory structure setbacks. The side yard setback on the east and west do not allow clearances from the adjacent property lines and the existing residence to provide adequate space for this structure. The northwest side of the property sits, in elevation, well below the adjacent property at 1965 Alpine Avenue and is currently retaining the grade of the adjacent property. Any disturbance of the existing slope could compromise the stability of the land on both the properties at 1965 Alpine Ave. and 1975 Balsam Drive.

(B) The unusual circumstances or conditions do not exist throughout the neighborhood or zoning district in which the property is located, and (see response to item C)

**Response:** This site is unique to both the neighborhood and zoning district in that it is a corner lot with a geometric alignment of the property lines which compresses what would appear to be the rear yard, has very shallow side yards and the front yard requires front yard setbacks on both the south and west sides because the lot is bordered by Alpine Avenue to the south and Tyler Road to the west. When offsetting the front yard property line by 12.5', side yards by 5' to the southeast and 10' to the northwest and 3' from the smaller rear property line there are no remaining areas in which an accessory structure of this size (the size considered acceptable as a shed (6.5'x11')) in which the proposed sauna can be placed and still conform with the offsets from the main residence. This is unique to the neighborhood as few sites of this size have the unique character of bordering two streets and having such a small size for the rear yard. The grading of this site is also unique to the neighborhood in that the rear yard has significant slopes but is also retaining the grade for the adjacent properties which side higher in elevation. There are no other lots within the neighborhood which feature both of these constraining factors.

BOARD OF ZONING ADJUSTMENT VARIANCE APPLICATION  
-PROJECT DESCRIPTION

Date: March 19, 2023  
 TO: City of Boulder Planning and Development, Board of Zoning Adjustment  
 RE: Proposed Sauna at 1951 Alpine Ave. in Boulder, CO.

C) Because of such physical circumstances or conditions the property cannot be reasonably be developed in conformity with the provisions of this chapter and (see response D):

Response: The existing residence which was constructed well before it was purchased by the homeowners is placed on the site in a location in which the maining rear yard is not large enough for this structure to be located within it while conforming to the accessory structure offsets from main residence (the largest distance from the main residence to the accessory structure setback line on the northwest is 14' which means the structure would sit 4' from the main residence. The side yards are both narrow (2'3" to the northwest and 6' on the southeast and the front yard wraps two sides of the residence, limiting the constructable area. The topography in this location also does not allow for the construction of a structure without requiring extensive retaining which may compromise the stabilization of the residences adjacent to the site. This site is unique to this condition as the usable remaining usable spaces on the site are the west and south sides of the property which are bordered by Tyler Rd on the west and Alpine Avenue on the south, which causes a larger "front yard" setback on both sides. This with the existing house creates a scenario in which there is no way to install an accessory structure on the site. Within this neighborhood these two factors together combine to make this is a unusual circumstance.

D) Any unnecessary hardship has not been created by the applicant.

Response: The existing conditions of this site were the conditions in place when the current owners purchased the property. The existing property lines which are causing the constraints with accessory structure setbacks and the topography is in the condition of the site as it was purchased. In addition, as a good faith effort, the owners are making a large investment in the beautification of the landscape in the front of the house by replacing aged retaining walls and walkways with new masonry walls placed to preserve the existing trees, vegetation, fencing and walkways and patios which will be a benefit to both the architecture and the neighborhood. The proposed location of the structure will have the least amount of impact to the grading and drainage and, combined with the new landscape which is under construction, will actually improve the setting and condition of the existing sites grading, drainage and richness of the public-facing facade of the project. The hardships was created from conditions that were established long before the homeowners purchased this property and the only modifications they have made are currently being constructed to help retain the slopes and improve the stabilization of the site.

## REQUIREMENTS FOR ALL VARIANCE APPROVALS:

(5) (A) Would not alter the essential character of the neighborhood or district in which the lot is located.

Response: The current neighborhood features an eclectic range of architectural styles and scale ranging from traditional design materials such as masonry and wood to stucco and glass modern homes. Many of the more attractive landscape materials in the neighborhood, which are an integral part of the streetscape experience, include wood fences, steel planters and perennials and grasses. All of these materials will be installed at 1951 Alpine Avenue as a part of the landscape renovation currently under construction. Traveling west along Alpine Avenue many of the sites have detached garages which face Alpine Avenue adding a smaller scale structure to the neighborhood experience. The proposed sauna structure, will be largely concealed behind a new fence and plantings but when viewed will harmonize with the home's color and is constructed of high quality materials which will enhance the texture of the streetscape. The scale of the sauna will also provide interest to a stretch of Alpine Avenue that is somewhat sterile and unfriendly for both pedestrians and vehicular experience.

(B) Would not substantially or permanently repair the reasonable use and enjoyment of the development of adjacent property

Response: The homeowners at 1951 Alpine have spoken with the neighbors who are within the closest proximity of the location of the sauna structure for which the variance is being requested. The neighbor to the east 1965 Alpine, and two neighbors to the south (1996 Alpine Avenue and 2001 Mesa Drive). These neighbors have reviewed the proposed variance and design and will provide written documentation supporting the variance. The structure itself is only 9 feet tall and will be concealed behind a 6' fence. The neighboring property to the east is the only property directly adjacent to the proposed structure and is currently concealed from it by a large existing Pine tree. The structure itself because of its location will also have no impact on the solar of any of the adjacent neighbors.

BOARD OF ZONING ADJUSTMENT VARIANCE APPLICATION  
-PROJECT DESCRIPTION

Date: March 19, 2023  
 TO: City of Boulder Planning and Development, Board of Zoning Adjustment  
 RE: Proposed Sauna at 1951 Alpine Ave. in Boulder, CO.

(C) Would be the minimum variance that would afford relief and would be the least modification of the applicable provisions of this title.

**Response:** The design team considered all of the possible locations for the proposed sauna and every possible location would require a variance due to the unique constraints of the site. The location to the northeast of the house, the "Rear Yard" may require multiple variances due to the minimal space from the house to the accessory structure setback. The grading as well would require extensive retaining walls and without terracing would require variances to retain the height needed in order to create a surface large enough for the structure. The proposed location is the most logical placement on this site and requires the least modification of the applicable provisions as we are asking for an exemption from the front yard accessory structure setback only and have provided additional screening and design elements which will express the intent of the front yard setback by screening the sauna from the sidewalk level and providing a "setting" for the structure which gives it intention. This location also requires the least use of resources, regrading and retaining.

(D) Would not conflict with the provisions of Section 9-9-17, Solar Access B.R.C. 1981

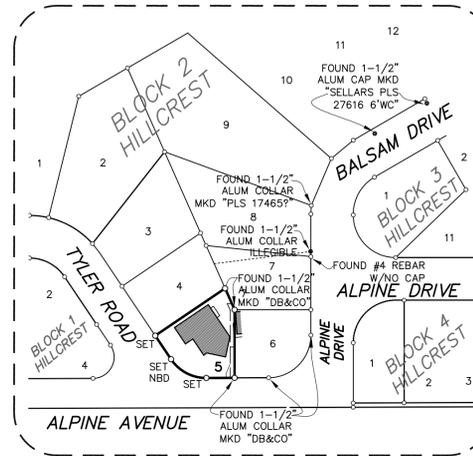
**Response:** Within section 9-9-17 of the B.R.C. this lot is considered located in SA Area I (the site is zoning district RL-1) and "No person shall erect an object or structure on any other lot that would shade a protected lot in SA Area I to a greater degree than the lot would be shaded by a solar fence twelve feet in height, between two hours before and two hours after local solar noon on a clear winter solstice day" In the solar access worksheet it states "If the proposed construction consists exclusively of building elements that are shorter than the solar fence in Question, no solar analysis is required. Our Zone district is protected by a 12' solar fence and our structure is 9' in height so we are below the required height required for a solar analysis.

Please see the attached plans and diagrams which illustrate the information on the sauna and depict the landscape renovation which has been permitted and is currently under construction. We look forward to reviewing this with you and providing any additional information you may request.

Best regards,

Ransom Beegles, Principal  
 R Design Landscape Architecture Inc.

Representing Kyle Akin and Amanda McKeon, homeowners 1951 Alpine Avenue, Boulder, CO.



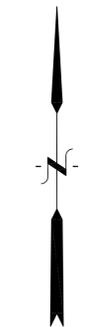
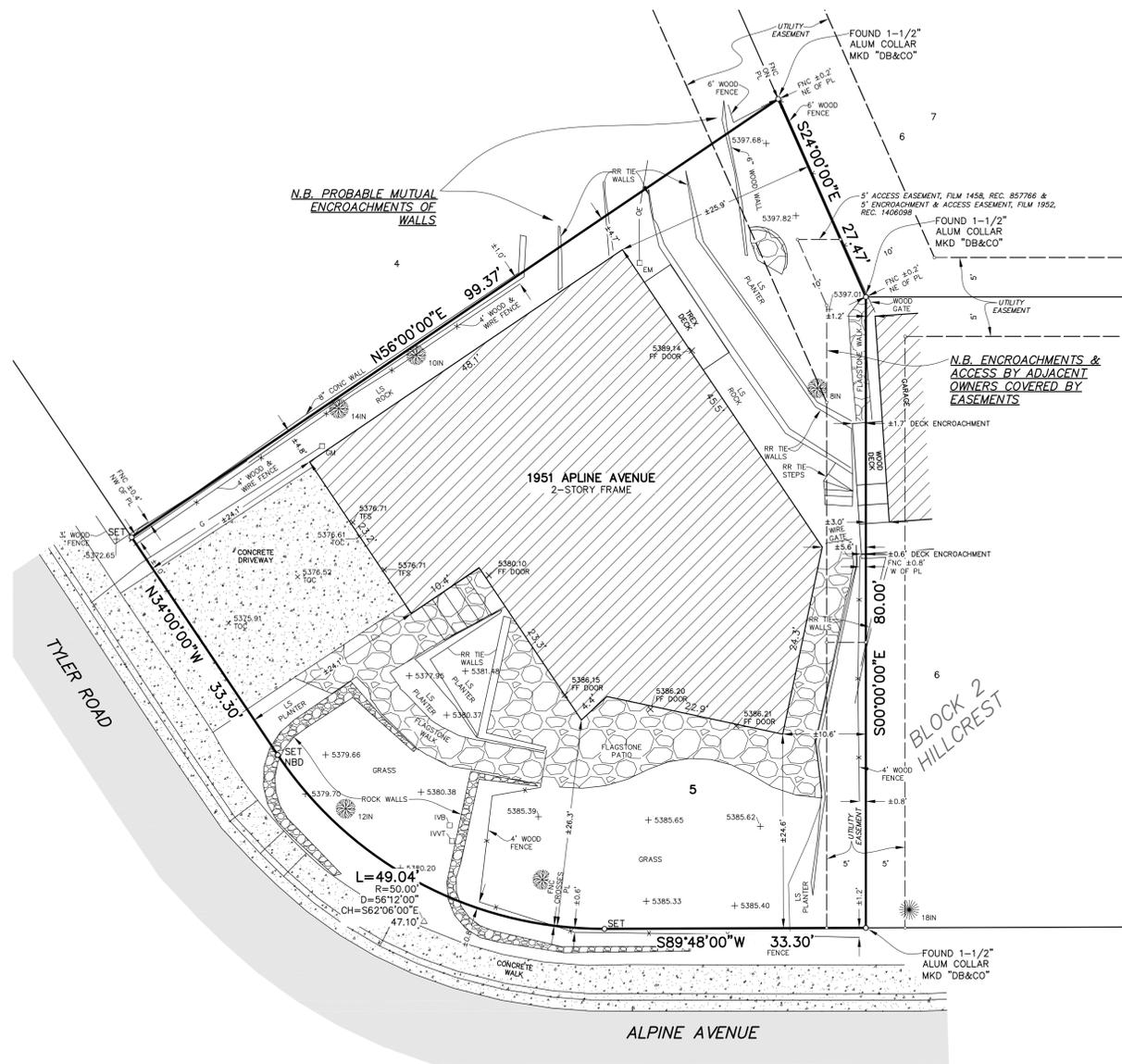
**CONTROL MAP**  
SCALE: 1"=100'

**STREET ADDRESS**  
1951 ALPINE AVENUE  
BOULDER, COLORADO 80304

**LEGAL DESCRIPTION**  
LOT 5, BLOCK 2, HILLCREST,  
COUNTY OF BOULDER, STATE OF COLORADO

**NOTES**

1. BEARINGS ARE BASED ON THE EASTERLY LINE OF LOT 5 BEARING S00°00'00"E AS MONUMENTED AND SHOWN HEREON.
2. EASEMENTS OF RECORD ARE SHOWN FROM THE RECORDED PLAT OF HILLCREST. NO ADDITIONAL RESEARCH WAS COMPLETED.
3. MONUMENTS FOUND AS NOTED. SET #5 REBAR 18" LONG W/ 2" ALUMINUM CAP MARKED "CIVILARTS PLS 25379" FLUSH WITH GROUND WHERE NOTED "SET". SET NAIL AND 1" BRASS TAG MARKED "CIVILARTS PLS 25379" FLUSH WITH GROUND WHERE NOTED "SET NBD". NO MONUMENT FOUND WHERE NOTED "NFS"
4. ALL LINEAL MEASUREMENTS SHOWN HEREON ARE IN U.S. SURVEY FEET.
5. EXTERIOR HOUSE DIMENSIONS AND PROPERTY LINE TIES THERETO ARE MEASURED TO THE NEAREST 0.1-FOOT ALONG AND TO THE FOUNDATION AND NOT ANY PART OF THE BUILDING FASCIA.
6. BOUNDARY ESTABLISHED BY LEAST SQUARES BEST FIT CALIBRATION OF MONUMENTS FOUND IN THE AREA AS SHOWN ON THE CONTROL DIAGRAM.
7. ONLY SURFACE FEATURES OF UTILITIES ARE SHOWN ON THIS MAP. NO UNDERGROUND LINES WERE LOCATED.
8. THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE COMMITMENT AND AT THE REQUEST OF THE CLIENT. ONLY THOSE EASEMENTS IN EVIDENCE OR OTHERWISE KNOWN TO THE LAND SURVEYOR ARE SHOWN. LEGAL DESCRIPTION IS BASED ON THE DEEDS OF THE SUBJECT PROPERTY WHICH WERE PROVIDED BY THE CLIENT. ADEQUATE ADDITIONAL RESEARCH WAS DONE BY THIS OFFICE TO CONFIRM THE ACCURACY AND SUFFICIENCY OF THE DEEDS.



SCALE: 1"=10'



- LEGEND**
- AC = ALUMINUM CAP
  - AG = ABOVE GRADE LEVEL
  - BG = BELOW GRADE LEVEL
  - CHIS = CHISELED
  - CONC = CONCRETE
  - EM = ELECTRICAL METER
  - F = FLUSH WITH GRADE LEVEL
  - FNC = FENCE
  - GM = GAS METER
  - ILLEG = ILLEGIBLE
  - LP = LEAD PLUG
  - LS = LANDSCAPING
  - MKD = MARKED
  - OVH = OVERHANG
  - PL = PROPERTY LINE
  - ROW = RIGHT-OF-WAY
  - WC = WITNESS CORNER
  - WCS = WATER CURB STOP
  - YPC = YELLOW PLASTIC CAP
  - FENCE
  - OE = ELECTRIC OVERHEAD LINE
  - OL = TELEPHONE OVERHEAD LINE
  - ASPHLT = ASPHALT
  - CONC = CONCRETE
  - CONC PAV = CONCRETE PAVERS
  - FLAGSTONE = FLAGSTONE

**NOTICE**

ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVERED SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

**SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY TO AMANDA MCKEON THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE, BASED ON FIELD WORK COMPLETED OCTOBER 28, 2021; THAT THE REAL PROPERTY SURVEYED IS LOCATED IN THE COUNTY OF BOULDER, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS SHOWN ON THIS MAP; THAT, TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THIS MAP OR PLAT OF THE SURVEY CORRECTLY AND ACCURATELY SHOWS THE BOUNDARY LINES, PROPERTY LINES, AND THE LOCATION OF THE IMPROVEMENTS, IF ANY, AND THAT THE LOCATIONS AND DIMENSIONS OF ALL BOUNDARIES, LOT LINES, PROPERTY LINES, BUILDINGS, IMPROVEMENTS, EASEMENTS, STREETS, AND RIGHTS-OF-WAY IN EVIDENCE OR KNOWN TO ME AND ENCROACHMENTS BY OR ON THE PREMISES ARE ACCURATELY SHOWN. THIS CERTIFICATION IS NOT A GUARANTY OR WARRANTY, EITHER EXPRESSED OR IMPLIED.

*Peter D. Steger*  
PETER D. STEGER  
COLORADO REGISTERED PROFESSIONAL  
LAND SURVEYOR NO. 25379  
DATE: JANUARY 13, 2022

**1951 ALPINE AVENUE**  
IMPROVEMENT SURVEY PLAT OF LOT 45, BLOCK 9,  
FITZGERALD'S SUBDIVISION OF LOT 5, BLOCK 2,  
HILLCREST, LOCATED IN THE COUNTY OF BOULDER,  
STATE OF COLORADO.  
FOR: AMANDA MCKEON

		ENGINEERING P 303.682.1131 1500 Kansas Avenue, Suite 2-E PLANNING F 303.682.1149 Longmont, CO 80501 SURVEYING
DATE: JANUARY 13, 2022	DRAWN BY: ETH	JOB NO: 1621-0
SCALE: 1"=10'	CHECKED BY: PDS	DRAWING NO: 16210-ISP
REVISIONS - DATE, BY:	REVISIONS - DATE, BY:	REVISIONS - DATE, BY:

PLOTTED: THU 01/13/22 01:48PM BY: EILEEN HEINS  
 MODIFIED: 20/12/2022  
 DRAWING: Z:\1626-0\_L\_C3D\_1626-0\DWG\16260-ISP.DWG

CALL UTILITY NOTIFICATION  
CENTER OF COLORADO

811

CALL 2 BUSINESS DAYS IN ADVANCE  
BEFORE YOU DIG, GRADE, OR EXCAVATE  
FOR THE MARKING OF UNDERGROUND  
MEMBER UTILITIES

**SHEET INDEX**

L000	GENERAL NOTES
L100	EXISTING CONDITIONS PLAN
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L400	SAUNA SITE PLAN
L500	OVERALL SITE PLAN
L600	PERSPECTIVE IMAGERY
L601	PERSPECTIVE IMAGERY & SUPPORTIVE NEIGHBORS LOCATION MAP

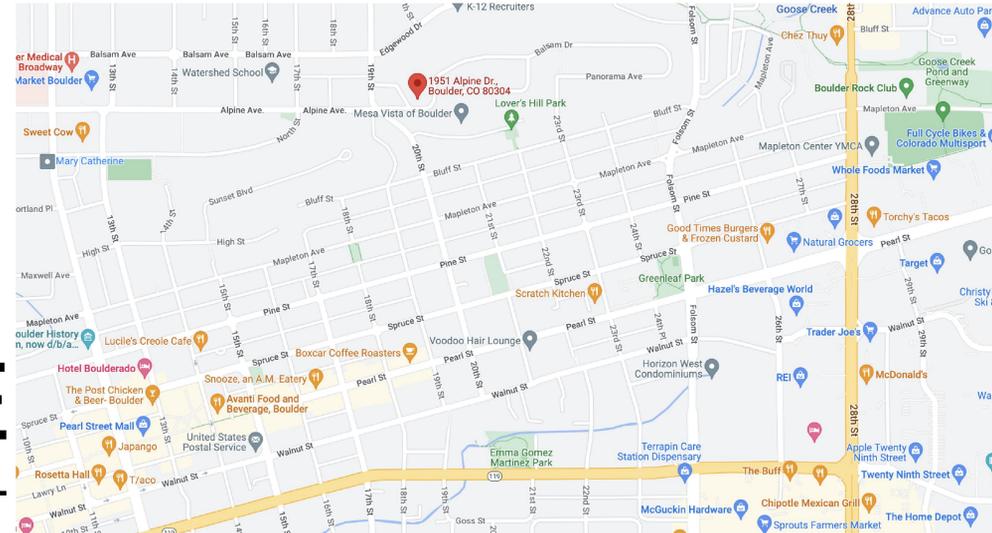
**PROJECT INFORMATION**

STREET ADDRESS:  
1951 ALPINE AVE, BOULDER, CO 80304

ZONING:  
RL-1 (RESIDENTIAL-LOW 1)

JURISDICTION:  
CITY OF BOULDER

**VICINITY MAP**



# 1951 ALPINE AVENUE

BOZA SUBMITTAL SET

OWNER:  
KYLE AKIN & AMANDA MCKEON

ARCHITECT:  
N/A

LANDSCAPE ARCHITECT:  
R DESIGN

SURVEY INFO PROVIDED BY:

BUILDER:  
N/A

ALPINE AVENUE

1951 ALPINE AVE, BOULDER, CO 80304

NOT FOR  
CONSTRUCTION  
DRAFT SET

ISSUE: DATE:

PARCEL #:  
14633011402

DRAWN BY: CHECKED BY:  
BK RB

DATE:  
MARCH 10, 2023

SHEET TITLE:  
PROJECT  
INFORMATION

SHEET NO.:  
CVR

**GENERAL NOTES**

1. PRIOR TO ANY DEMOLITION, THE CONTRACTOR SHALL CONFIRM AND LOCATE ALL EXISTING UTILITY LOCATIONS, GRADE SPOT ELEVATIONS, WATER LINES, ELECTRIC POWER LINES, GAS LINES, ETC.
2. IRRIGATION TO BE DESIGN BUILD. VERIFY LOCATION OF EQUIPMENT AND VALVE BOXES WITH LANDSCAPE ARCHITECT AND CONTRACTOR PRIOR TO INSTALLATION.
3. ALL MATERIALS MUST BE APPROVED BY A REPRESENTATIVE OF R DESIGN LANDSCAPE ARCHITECTURE PRIOR TO INSTALLATION. ANY MATERIAL APPROVED WITHOUT THE LANDSCAPE ARCHITECTS CONSENT MAY BE REMOVED AT THE CONTRACTORS EXPENSE.
4. ALL CONSTRUCTION METHODS MUST FOLLOW THE APPROPRIATE MUNICIPAL GUIDELINES AND CODE INFORMATION.
5. CONTRACTOR MUST PROVIDE TREE PROTECTION FOR EXISTING TREES TO BE PRESERVED DURING CONSTRUCTION AND SHALL ENSURE TREE IS IN GOOD HEALTH UPON PROJECT COMPLETION. CONTRACTOR SHALL REPAIR OR REPLACE ANY AND ALL EXISTING TREES DAMAGED DURING CONSTRUCTION.
6. THESE PLANS REPRESENT DESIGN BUILD DOCUMENTS. CONSULT A LICENSED STRUCTURAL ENGINEER FOR ANY NECESSARY FOOTING DESIGN AND A LICENSED CIVIL ENGINEER FOR ANY GRADING AND DRAINAGE SPECIFICATIONS.

**MOCK UP AND SUBMITTALS**

1. VERIFY WITH SITE MOCK UP, THE LAYOUT OF ALL PATIOS, FIRE PIT LOCATION, WALKWAYS, STEPS, WALLS, CURB ALIGNMENTS OR ANY OTHER PROPOSED STRUCTURAL ELEMENT (TRELIS, PERGOLA, ARCHITECTURAL SCREEN, ETC.) PRIOR TO CONSTRUCTION.
2. PROVIDE LAYOUT OF ALL PATIOS, WALKWAYS AND EDGING SHOWING VERTICAL AND HORIZONTAL LAYOUT PRIOR TO INSTALLATION OF ANY HARDSCAPE.
3. PROVIDE SAMPLES OF EDGING, AND INSTALL 8' LENGTHS FOR REVIEW WITH THE LANDSCAPE ARCHITECT AND HOMEOWNER PRIOR TO INSTALLATION.
4. PROVIDE SAMPLES OF MULCHES, SOIL AMENDMENTS, CRUSHED STONE, DECORATIVE STONE, AND BLUESTONE PAVERS TO HOMEOWNER AND LANDSCAPE ARCHITECT FOR REVIEW. INSTALL 2'X4' RECTANGLE OF ANY AND ALL PROPOSED PAVERS ON SITE TO REVIEW COLOR RANGE.
5. PROVIDE SOILS SAMPLE TESTING RESULTS FOR PLANTING SOIL AMENDMENT.
6. LANDSCAPE ARCHITECT TO APPROVE ALL PLANT MATERIAL AT SUPPLIERS LOCATION PRIOR TO PURCHASE.
7. PRIOR TO FINAL GRADING WALK THROUGH AND FIELD VERIFY SLOPES AND FINISHED GRADE RELATIONS.
8. LAYOUT PLANTS ACCORDING TO PLAN FOR APPROVAL BY HOMEOWNER AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

**MULCH AND DECORATIVE STONE SPECIFICATIONS**

1. IN ALL PLANT BEDS PLACE A 2"-3" LAYER OF ¾" BLACK GRANITE. DO NOT USE WEED FABRIC UNLESS OTHERWISE SPECIFIED ON THE PLANS. PROVIDE SAMPLES OF CRUSHED BLACK GRANITE TO HOMEOWNER FOR REVIEW BEFORE PURCHASE OF ANY MATERIAL.
2. ALL STREET TREES TO HAVE A2"-3" LAYER MIN. 3" DARK BROWN CEDAR MULCH SQUARE. PROVIDE SAMPLES OF MULCH TO HOMEOWNER FOR REVIEW BEFORE PURCHASE OF ANY MATERIAL.
3. REFER TO PLAN FOR EXTENTS OF PLANT BEDS AND DECORATIVE CRUSHED STONE

**EDGING SPECIFICATIONS**

1. ALL EDGING SHALL BE BLACK PRO-EDGE OR APPROVED EQUAL. SUBMIT EDGING SAMPLE TO LANDSCAPE ARCHITECT AND HOMEOWNER FOR APPROVAL PRIOR TO PURCHASE.
2. REFER TO DETAILS FOR EDGING TYPES. PROVIDE SHOP DRAWINGS AS NEEDED AND MATERIAL SAMPLES OF ALL EDGING PRIOR TO INSTALLATION.
3. EDGING TO BE INSTALLED STRAIGHT AND FLUSH, NO BENDING OR LUMPY EDGING INSTALLATION WILL BE ACCEPTABLE.
4. PROVIDE STRINGLINE LAYOUT OF EDGING FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

**CONCRETE NOTES**

1. REFER TO PLANS AND DETAILS FOR ALL CONCRETE TEXTURES.
2. ALL CONTROL JOINTS TO BE SAW CUT IF NEEDED. IF CONTROL JOINTS ARE NEEDED, FIELD VERIFY CONTROL JOINT ALIGNMENT WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
3. PROVIDE A MIN. SLOPE OF 2% ON ALL HARDSCAPE AREAS.
4. LANDSCAPE ARCHITECT TO APPROVE STRINGLINES OF ALL LAYOUT FOR WALLS, PATIOS, STEPS AND SLABS PRIOR TO INSTALLATION.

**WALL AND FENCE NOTES**

1. REVIEW CONDITION OF FENCE WITH HOMEOWNER PRIOR TO FINAL BIDDING.
2. PROVIDE STRINGLINE MOCK UP OF ALL TOPS OF FENCES AND WALLS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
3. PROVIDE REINFORCEMENT AS NEEDED FOR ALL GATES AND FENCE POSTS.
4. HOMEOWNER TO SELECT COLORS FOR ALL NEWLY INSTALLED FENCES.

**SOD AND SEEDED GRASS NOTES**

1. ALL TURFGRASS SOD TO BE KENTUCKY BLUEGRASS WITH 100% HEAD-TO-HEAD IRRIGATION COVERAGE TURFMASTERS SOD OR APPROVED EQUAL. CONTACT SUPPLIER FOR ALL INSTALLATION, SOIL PREP, MAINTENANCE AND WATER REQUIREMENTS.
2. CONFIRM SOIL AMENDMENT WITH COLORADO STATE UNIVERSITY EXTENSION OFFICE SOILS TEST LABORATORY. APPLY SOILS AMENDMENT PER RECOMMENDATIONS FROM SOILS TEST.

**IRRIGATION NOTES**

1. FINAL IRRIGATION DESIGN BUILD PROVIDED BY OTHERS, REFER TO FINAL IRRIGATION PLANS FOR DESIGN.
2. VERIFY WITH HOMEOWNER CONTROL AND ZONING OF IRRIGATION SYSTEM.
3. PROVIDE 100% HEAD-TO-HEAD COVERAGE ON ALL TURFGRASS SOD AREAS.
4. SUBMIT ZONING PLAN AND MAINTENANCE INSTRUCTIONS TO HOMEOWNER UPON COMPLETION.
5. PROVIDE DRIP IRRIGATION TO ALL LANDSCAPE BEDS, CONCEAL ALL DRIP LINES
6. VERIFY WITH LANDSCAPE ARCHITECT THE LOCATIONS OF ALL VALVE BOXES ON SITE BEFORE IRRIGATION CONSTRUCTION.

**PLANTING NOTES**

1. THE CONTRACTOR IS RESPONSIBLE TO VERIFY ALL PLANT QUANTITIES PRIOR TO ORDERING AND PLANT MATERIAL, NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES FROM THE QUANTITIES INDICATED ON THE PLANS.
2. ALL PLANT MATERIAL IS TO BE APPROVED BY THE HOMEOWNER PRIOR TO INSTALLATION, ANY MATERIAL INSTALLED WITH OUT HOMEOWNERS APPROVAL MAY BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
3. ENSURE ALL TREES ARE PLANTED OUT OF DRAINAGE ROUTES AND ADEQUATE GRADE FOR ROOTBALLS AND TREE PITS ARE PROVIDED.
4. PROTECT ALL EXISTING PLANT MATERIAL TO REMAIN THROUGH CONSTRUCTION.
5. COORDINATE PRUNING OF ALL EXISTING TREES AND SHRUBS WITH LANDSCAPE ARCHITECT AND HOMEOWNER.
6. DRIP IRRIGATION TO BE USED FOR ALL TREES AND SHRUBS..
7. ALL KENTUCKY BLUEGRASS SOD TO HAVE 100% HEAD-TO-HEAD COVERAGE SPRAY IRRIGATION WITH POP UP SPRAY EMITTERS.
8. R DESIGN RECOMMENDS INSTALLING PLANTS BETWEEN MAY 15TH AND JULY 1ST OR AFTER AUGUST 15TH THROUGH OCTOBER 30TH.
10. TO DETERMINE SOIL AMENDMENTS FOR PLANT BEDS, TURFGRASS, AND ATICE SEED AREAS CONTACT THE SOIL, WATER AND PLANT TESTING LABORATORY AT COLORADO STATE UNIVERSITY EXTENTION (970) 491-5061 AND SUBMIT SOILS SAMPLE TO BE ANALYZED.
11. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE TO WARRANTY ALL PLANT MATERIAL FOR A MINIMUM OF ONE YEAR AFTER DATE OF INSTALLATION.
12. PROVIDE THE HOMEOWNER WITH MAINTENANCE GUIDELINES FOR REVIEW FOR ALL PLANTINGS, TURFGRASSES, NATIVE GRASSES, IRRIGATION SYSTEM AND OTHER LANDSCAPE MATERIALS.
13. THE LANDSCAPE ARCHITECT SHALL APPROVE THE PLACEMENT OF ALL TREES PRIOR TO INSTALLATION.
14. SUBMIT IRRIGATION PLANS FOR APPROVAL BE THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. VERIFY ALL VALVE BOX LOCATIONS PRIOR TO FINALIZING IRRIGATION DESIGN.
15. COORDINATE ALL CONDUIT FOR UTILITIES, DRAINAGE, AND IRRIGATION WITH HARDSCAPE LAYOUT PRIOR TO INSTALLATION;
16. ALL TREES TO BE STAKED A MINIMUM OF 1 YEAR.
17. USE A PLANTERS MIX, SOIL BLEND IN ALL BED AND SOD AREAS CONTAINING A TOP SOIL, HUMMUS, COMPOST AND BARK FINES BLEND AS RECOMMENDED BY SOILS TEST RESULTS.

**MATERIALS LEGEND**

	EXISTING CONCRETE
	KENTUCKY BLUEGRASS SOD WITH 100% SPRAY IRRIGATION
	WOOD MULCH/PLANT BED
	FINE GRAVEL
	MEDIUM ROCK
	COBBLESTONE ROCK
	SEEDED AREA/NATIVE
	STONE PAVING
	DECKING
	(NEW MATERIAL 1)
	(NEW MATERIAL 2)
	(NEW MATERIAL 3)

**SYMBOLS**

	EXISTING TREE DECIDUOUS
	EXISTING TREE CONIFEROUS
	REMOVALS
	EXISTING TREES TO BE REMOVED
	PROPERTY LINE
	LIMITS OF WORK
	SILT FENCE
	CONSTRUCTION FENCE
	CENTER LINE ↖
	BREAK LINE
	GRID
	MATCH LINE/CONTROL LINE
	REVISION
	POINT OF BEGINNING
	ALIGN SURFACES
	PARALLEL SURFACES
	ELEVATION
	SECTION
	DETAIL
	EXISTING SPOT ELEVATION
	SPOT ELEVATION
	SPOT ELEVATION @ TOP AND BOTTOM OF WALL
	SPOT ELEVATION @ POINT OF REFERENCE
	SPOT ELEVATION @ SECTION
	SLOPE @ SURFACE
	PAVING TYPE
	SITE ELEMENT TYPE
	WALL TYPE
	LIGHTING TYPE
	EQUIPMENT TYPE
	EDGING TYPE
	PLANTING REFERENCE
	KEYNOTE

**ABBREVIATIONS**

ADA	AMERICANS WITH DISABILITIES ACT
ALG	ALIGN
ADJ	ADJACENT
ALUM	ALUMINUM
ANNOD	ANNODIZED
ARCH	ARCHITECT
BLDG	BUILDING
BOT	BOTTOM
BOF	BOTTOM OF FOOTING
BOS	BOTTOM OF STAIRS
BOW	BOTTOM OF WALL
C+P	COEN+PARTNERS LANDSCAPE ARCHITECTS
CB	CATCH BASIN
CJ	CONTROL JOINT
CL, ↖	CENTER LINE
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
CIVIL	CIVIL ENGINEER
DIA	DIAMETER
DN	DOWN
DWGS	DRAWINGS
(E) EXTG	EXISTING
EJ	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRICAL
EQ	EQUAL
EX	EXISTING
EXP	EXPOSED
EXT	EXTERIOR
F.F.	FILTER FABRIC
FFE	FINISHED FLOOR ELEVATION
FG	FINISH GRADE
FND	FOUNDATION
GA	GAGE
GALV	GALVANIZED
GEO	GEOTECHNICAL
HB	HOSE BIB
HC	HOUSE CORNER
HOR	HORIZONTAL
HP	HIGH POINT
I.D.	INSIDE DIAMETER
INSUL	INSULATION
LA	LANDSCAPE ARCHITECT
LP	LOW POINT
MAS	MASONRY
MATL	MATERIAL
MAX	MAXIMUM
MFR	MANUFACTURER
MIN	MINIMUM
MTL	METAL
NIC	NOT IN CONTRACT
N.F.C.	NOT FOR CONSTRUCTION
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
OH	OVERHEAD
PAR	PARALLEL
P.A.	PLANTING AREA
PL, ↖	PROPERTY LINE
PLYWD	PLYWOOD
POB	POINT OF BEGINNING
QTY	QUANTITY
R	RISER
(R)	RADIUS
RD	ROOF DRAIN
REM	REMOVE
REQD	REQUIRED
SF	SQUARE FEET
SIM	SIMILAR
SS	STAINLESS STEEL
STRUCT	STRUCTURAL
SY	SQUARE YARD
T	TREAD
TBD	TO BE DETERMINED
TOC	TOP OF CURB, TOP OF CONCRETE
TOD	TOP OF DECK
TOP	TOP OF PAVING SURFACE
TOS	TOP OF STAIRS
TOW	TOP OF WALL
TYP	TYPICAL
VAR	VARIES
VERT	VERTICAL
VIF	VERIFY IN FIELD
W.P.M.	WATER PROOF MEMBRANE
W.PT	WORKING POINT
WO	WITHOUT
#	NUMBER, POUND
&	AND
@	AT
°	DEGREES
±	PLUS / MINUS
Ø	DIAMETER

CRITICAL SHEET NOTES:

- C1 CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE EXTENTS OF ALL LANDSCAPE ELEMENTS PROPOSED FOR REMOVAL WITH THE LANDSCAPE ARCHITECT OR OWNER PRIOR TO CONSTRUCTION. C2 CONTRACTOR IS RESPONSIBLE FOR THE PRESERVATION OF ALL EXISTING TREES TO REMAIN IN ACCORDANCE WITH THE CITY OF BOULDER TREE PRESERVATION GUIDELINES. C3 ANY CONCERN WITH EXISTING TREE HEALTH SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY UPON DISCOVERY. C4 CONTRACTOR SHALL CONFIRM EXTENTS OF EXISTING TREES TO BE LIMBED UP WITH LANDSCAPE ARCHITECT PRIOR TO REMOVAL. C5 REFER TO STRUCTURAL PLAN AND DETAILS FOR ADDITIONAL INFORMATION ON PROPOSED WALLS. C6 SOUTH FACE OF WALL SHALL ALIGN WITH ARCHITECTURE A MINIMUM OF 6" BEYOND EXISTING WINDOW. C7 CONTRACTOR SHALL PROVIDE GCFI OUTLET FOR POWER TO SAUNA. OUTLET TO BE LOCATED ON BACKSIDE OF RETAINING WALL. ALL WIRES TO BE HIDDEN WITHIN GRAVEL BED. C8 PROPOSED CONCRETE BAND SHALL HAVE MINIMAL IMPACT ON EXISTING TREE ROOT ZONE. C9 ONLY RUN GAPS BETWEEN PAVERS, ELIMINATE SECONDARY GAPS C10 ALLOW A MIN. OF 6" FROM TREE UNDISTURBED BY WALL FOOTER.

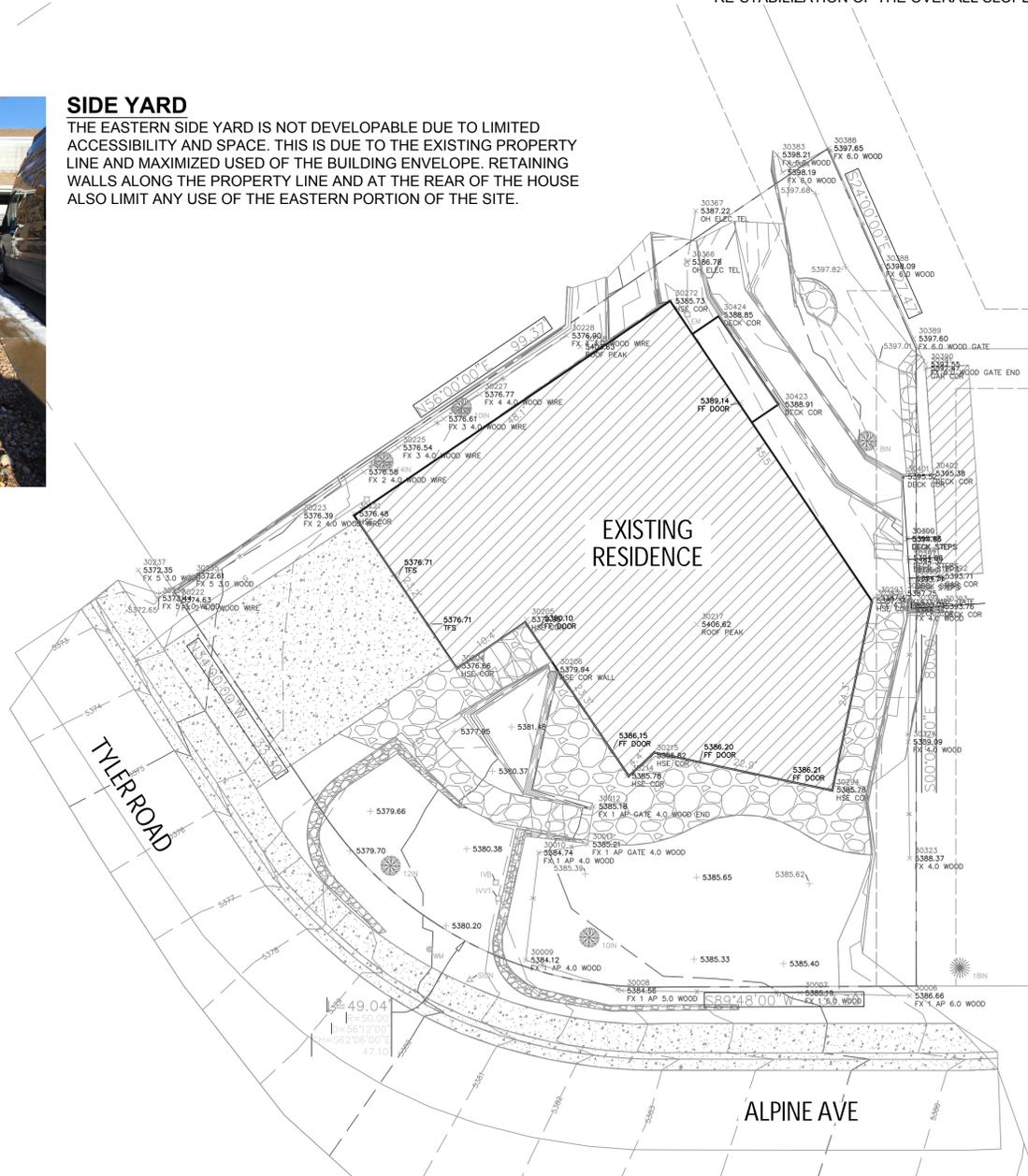


SIDE YARD

THE EASTERN SIDE YARD IS NOT DEVELOPABLE DUE TO LIMITED ACCESSIBILITY AND SPACE. THIS IS DUE TO THE EXISTING PROPERTY LINE AND MAXIMIZED USE OF THE BUILDING ENVELOPE. RETAINING WALLS ALONG THE PROPERTY LINE AND AT THE REAR OF THE HOUSE ALSO LIMIT ANY USE OF THE EASTERN PORTION OF THE SITE.

REAR YARD

THE REAR YARD OF THE SITE CONTAINS SIGNIFICANT RETAINING WALLS ASSOCIATED WITH THE PROJECT SITE ITSELF AS WELL AS NUMEROUS SURROUNDING PROPERTIES. DISTURBANCE OF THESE WALLS WOULD PUT SURROUNDING ARCHITECTURE AT A STRUCTURAL RISK, REQUIRE REPLACEMENT IN THEIR ENTIRETY AND RE-STABILIZATION OF THE OVERALL SLOPE.



MATERIALS LEGEND

- M01.1 - REGULAR GRAY CONCRETE WITH LIGHT BROOM FINISH
M01.2 - REGULAR GRAY CONCRETE WITH SANDSCAPE FINISH
M02 - BLUEGRASS SOD LAWN WITH 100% COVERAGE SPRAY IRRIGATION
M03 - WOOD MULCH/PLANTING BED
M04 - 2"-3" LAYER OF 3/8" CRUSHED IRREGULAR BLACK GRANITE
M05 - 2"-3" LAYER OF 1/2" CRUSHED IRREGULAR BLACK GRANITE
M06 - COBBLESTONE ROCK
M07 - ARKANSAS VALLEY SEED NATIVE WONDER SEED MIX WITH 70% COVERAGE SPRAY IRRIGATION
M08 - STONE UNIVERSE JUMBO GRAY MIST BLUESTONE PAVER - ASHLAR PATTERN
M09 - 4" WIDE IPE WOOD DECKING
M10 - COOPER STONE CORDOVA CREAM STONE VENEER



FRONT YARD

THE FRONT OF THE PROPERTY IS THE PREDOMINANT DEVELOPABLE AREA ON THE SITE. NECESSARY SITE RETAINING WALLS SEGMENT THE FRONT OF THE PROPERTY INTO THREE DISTINCT TERRACES. THE TERRACES DISRUPT ANY COHESIVE USE OF THE SPACE AND LIMIT THE OWNER'S USE OF THE PROPERTY TO PRIMARILY THE RESIDENCE ITSELF.

SYMBOLS LEGEND

- PROPERTY LINE
EASEMENT LINE

EXISTING CONDITIONS PLAN



1" = 10' - 0"

NORTH



SHEET NOTES:

GENERAL NOTES:

- 01 THIS IS A CONCEPTUAL LANDSCAPE PLAN ONLY. ALL DIMENSIONS AND EDGES ARE FOR GENERAL REFERENCE ONLY AND WILL NEED TO BE FIELD VERIFIED WITH EXISTING SITE MEASUREMENTS, ALIGNMENT, AND DIMENSIONS OF PROPOSED PATIOS, WALKWAYS, DOORS, AND STRUCTURES. ALIGNING EDGES OF PATIOS AND WALKWAYS WITH PROPOSED EDGES IS MORE IMPORTANT THAT ACTUAL DIMENSIONS ON THIS PLAN. LAYOUT MUST BE FIELD VERIFIED. CONTACT LANDSCAPE ARCHITECT WITH ANY DISCREPANCIES.
02 ANY SPOT ELEVATIONS ON THIS PLAN ARE CONCEPTUAL ONLY. ANY FINAL GRADING OR DRAINAGE SHALL BE PROVIDED BY A CIVIL ENGINEER, IF REQUIRED. R DESIGN IS NOT LIABLE FOR ANYTHING CONSTRUCTED BY REFERENCING THESE PLANS. THE CONTRACTOR SHALL FIELD VERIFY ALL GRADES AND MEASUREMENTS ON SITE. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
03 ALL LAYOUT AND GRADING SHALL BE IN CONFORMANCE WITH ANY AND ALL CITY OR MUNICIPAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAINAGE, LAYOUT, SETBACK OR EASEMENT REQUIREMENTS PRIOR TO INSTALLATION. R DESIGN IS NOT RESPONSIBLE FOR ANYTHING CONSTRUCTED BASED UPON THESE PLANS.
04 PROVIDE MINIMUM SLOPES AS REQUIRED ON ALL HARDSCAPE SURFACES. WOOD DECKING IS TO REMAIN LEVEL ACROSS AS IT IS CONSIDERED A PERVIOUS STRUCTURE. PROVIDE MINIMUM SLOPES AS REQUIRED UNDER DECKING STRUCTURE. CONFIRM SLOPES WITH A CIVIL ENGINEER BEFORE CONSTRUCTION. ANY CLARIFICATION SHALL BE CONFIRMED BY A LICENSED CIVIL ENGINEER AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

ISSUE: DATE:

PARCEL #: 14633011402

DRAWN BY: BK CHECKED BY: RB

DATE: MARCH 10, 2023

SHEET TITLE: EXISTING CONDITIONS PLAN

SHEET NO.: L100

**NOT FOR  
CONSTRUCTION  
DRAFT SET**

ISSUE: DATE:

PARCEL #:  
14633011402

DRAWN BY: CHECKED BY:  
BK RB

DATE:  
MARCH 10, 2023

SHEET TITLE:  
**SETBACK PLAN**

SHEET NO.:  
**L200**

**CRITICAL SHEET NOTES:**

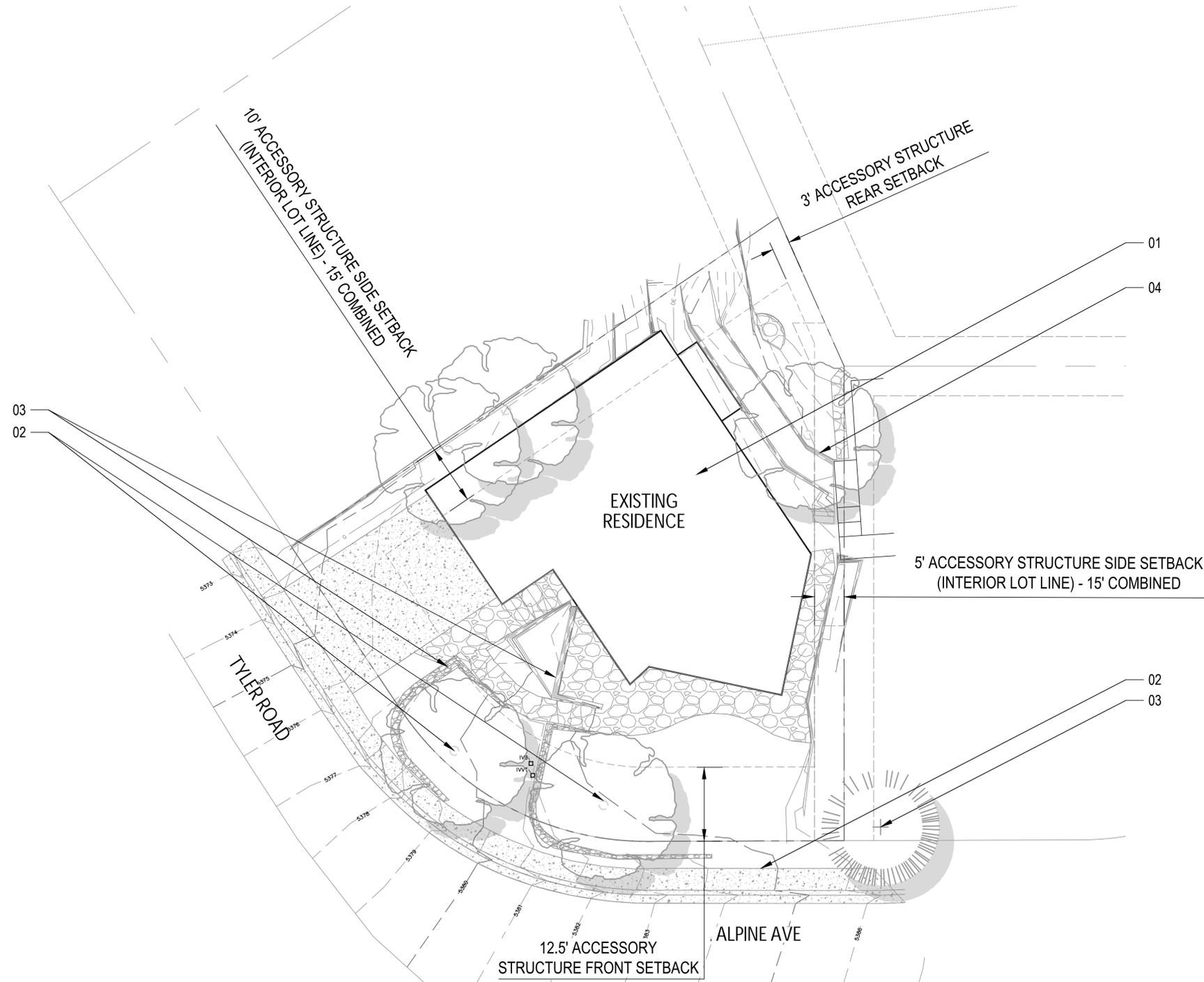
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- C2 CONTRACTOR IS RESPONSIBLE FOR THE PRESERVATION OF ALL EXISTING TREES TO REMAIN IN ACCORDANCE WITH THE CITY OF BOULDER TREE PRESERVATION GUIDELINES.
- C3 ANY CONCERN WITH EXISTING TREE HEALTH SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY UPON DISCOVERY.
- C4 CONTRACTOR SHALL CONFIRM EXTENTS OF EXISTING TREES TO BE LIMBED UP WITH LANDSCAPE ARCHITECT PRIOR TO REMOVAL.
- C5 REFER TO STRUCTURAL PLAN AND DETAILS FOR ADDITIONAL INFORMATION ON PROPOSED WALLS.
- C6 SOUTH FACE OF WALL SHALL ALIGN WITH ARCHITECTURE A MINIMUM OF 6" BEYOND EXISTING WINDOW.
- C7 CONTRACTOR SHALL PROVIDE GCFI OUTLET FOR POWER TO SAUNA. OUTLET TO BE LOCATED ON BACKSIDE OF RETAINING WALL. ALL WIRES TO BE HIDDEN WITHIN GRAVEL BED.
- C8 PROPOSED CONCRETE BAND SHALL HAVE MINIMAL IMPACT ON EXISTING TREE ROOT ZONE.
- C9 ONLY RUN GAPS BETWEEN PAVERS, ELIMINATE SECONDARY GAPS
- C10 ALLOW A MIN. OF 6" FROM TREE UNDISTURBED BY WALL FOOTER.

**MATERIALS LEGEND**

- M01.1 - REGULAR GRAY CONCRETE WITH LIGHT BROOM FINISH
- M01.2 - REGULAR GRAY CONCRETE WITH SANDSCAPE FINISH
- M02 - BLUEGRASS SOD LAWN WITH 100% COVERAGE SPRAY IRRIGATION
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- M04 - 2"-3" LAYER OF 3/8" CRUSHED IRREGULAR BLACK GRANITE
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- M10 - COOPER STONE CORDOVA CREAM STONE VENEER

**SYMBOLS LEGEND**

- PROPERTY LINE
- EASEMENT LINE



**SETBACK PLAN**



1" = 10' - 0"



CALL UTILITY NOTIFICATION  
CENTER OF COLORADO

**811**

CALL 2 BUSINESS DAYS IN ADVANCE  
BEFORE YOU DIG, GRADE, OR EXCAVATE  
FOR THE MARKING OF UNDERGROUND  
MEMBER UTILITIES



**01** CONCEPTUAL PERSPECTIVE IMAGERY - Cedar+Stone Nordic Sauna  
SCALE: N.T.S

**Build Overview:**

**THE AKIN CUSTOM SAUNA**

- Standard sauna package | Starting at 35.5k
- 4 person capacity sauna
- Wide benches for seating and laying down, stretching

**Build type:**

- Full Custom CLT

**Size:**

- Exterior Footprint: **6.5' x 8'**
- Sauna Hot Room: **5.5' x 7'**

**Heating Source:**

- Electric
- Stove Model: HUUM Drop 9kW (Wall Mounted | Wifi Enabled w/ Glass
- Guards around a stove (included)

**Electrical:**

- Wired for plug-in ready

**Lighting:**

- Under-bench soft warm LED lighting in hot room
- Wall-mounted sconce for additional lighting in hot room

**Water and Drainage:**

- Fully drainable floor assembly, hose out and go.

**Siding:**

- Richlite: matte slate black on exterior sauna walls
- Arborwood Pine (vertical) on entry porch wall and soffit

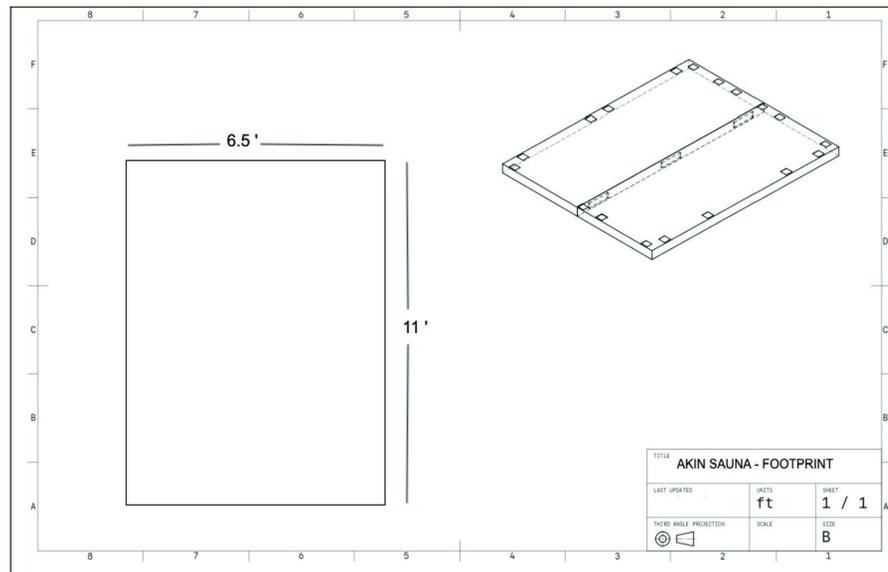
**Windows:**

Window Type	Size	Quantity
Custom Direct Set Glass Panel	4' x 3'	1
Custom Direct Set Glass (Sloped)	4' x 3' > 2'	1

**Site Prep:** Onsite grading and gravel work will be coordinated by client.

**Electrical:** Electrical wiring to site will be coordinated by client

**Water:** Water plumbing to site will be coordinated by client



**DiamondPier**  
FOUNDATION SYSTEM

**PRODUCT MATRIX**

**Single-Bolt Diamond Pier Models**

Model >	DP-50	DP-75	DP-100E	DP-200E
Weight (lb)	56	74	96	210
Concrete Head Limit (lb)	4500	6500	9000	18000
Pin Outside Diameter (in.)	1.315	1.67	1.9	2.375
Pin Lengths (in.)	36, 42, 50	50, 63	42, 50, 63, 84, 126	50, 63, 84, 126
Bolt Diameter (in.)	1/2	5/8	5/8	5/8, 3/4
Bolt Height (in.) ±1/8 in.	3/4	7/8	7/8	7/8
Pin Orientations	Right of Center	Right of Center	Right of Center	Left of Center
Plinth Size (sq. in.)	5-5/8 x 5-5/8	5-5/8 x 5-5/8	5-7/8 x 5-7/8	9 x 9
Plinth Orientation	Rotated 19° CCW	Rotated 19° CCW	Rotated 19° CCW	Rotated 19° CW
Inspection Plugs	Available	Available	Special Order	Not Available
Caps	Standard, Sealable	Standard, Sealable	Standard, Sealable	Raised, Not Sealable
Tamping Plate	Not Available	Special Order	Special Order	Not Available
Driving Bit	Standard from PFI	Standard from PFI	Standard from PFI	Heavy Duty*
Piers per Pallet	45	24	18	8
Weight per Pallet (lb)	2600	1900	2000	1800

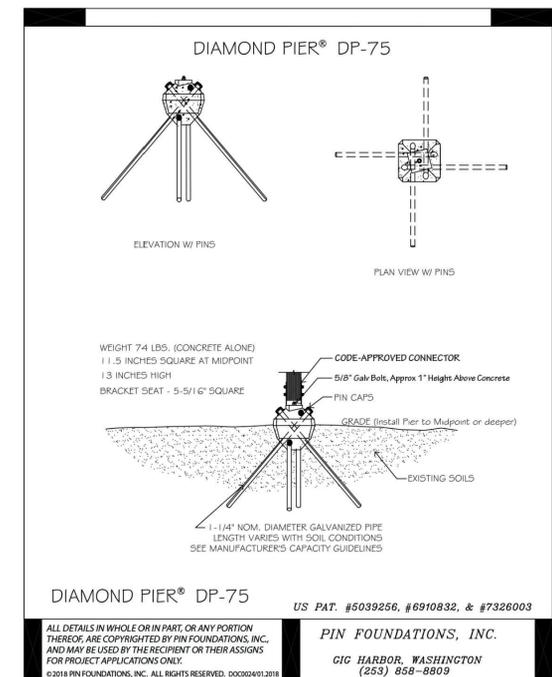
**Four-Bolt (4B) Diamond Pier Models**

Model >	DP-50	DP-75	DP-100E	DP-200E
Bolt Diameter (in.)	Not Available	1/2	5/8	5/8, 3/4
Bolt Height (in.) ±1/8 in.	Not Available	7/8	2-3/8	3-1/8
Bolt Spacing (in.)	Not Available	4-1/2 OC	5-1/4 OC	7-1/2 OC

\*Bit may be procured from Pin Foundations, Inc., or by contacting Brunner & Lay, 847-678-3232, model # B31-863.

**Notes:**

- All bolts are hot dipped galvanized steel. Stainless steel bolts are an option as a custom run on all models except DP-50.
- Where possible, custom bolt spacing, depth, and increased height are also available by special order.
- Concrete head limits do not indicate design loads; actual pier capacity is determined by soil strength only.



ALPINE AVENUE

1951 ALPINE AVE, BOULDER, CO 80304

NOT FOR  
CONSTRUCTION  
DRAFT SET

**02** SAUNA SPECIFICATIONS - Cedar+Stone Nordic Sauna



**03** EXISTING SAUNA IMAGERY

ISSUE: DATE:

PARCEL #:  
14633011402

DRAWN BY: BK  
CHECKED BY: RB

DATE:  
MARCH 10, 2023

SHEET TITLE:  
**SAUNA SPECIFICATIONS & IMAGERY**

SHEET NO.:

**L300**

**NOT FOR  
CONSTRUCTION  
DRAFT SET**

ISSUE: DATE:

PARCEL #:  
14633011402

DRAWN BY: CHECKED BY:  
BK RB

DATE:  
MARCH 10, 2023

SHEET TITLE:  
**SAUNA  
SITE PLAN**

SHEET NO.:  
**L400**

SHEET NOTES:

- 01 EXISTING TREE TO REMAIN, TYP.
- 02 EXISTING RETAINING WALL  
RE: SHEET L400
- 03 6'X11' SAUNA (BY OTHERS)  
RE: SHEET L300
- 04 GFCI OUTLET LOCATION

GENERAL NOTES:

- 01 THIS IS A CONCEPTUAL LANDSCAPE PLAN ONLY. ALL DIMENSIONS AND EDGES ARE FOR GENERAL REFERENCE ONLY AND WILL NEED TO BE FIELD VERIFIED WITH EXISTING SITE MEASUREMENTS, ALIGNMENT, AND DIMENSIONS OF PROPOSED PATIOS, WALKWAYS, DOORS, AND STRUCTURES. ALIGNING EDGES OF PATIOS AND WALKWAYS WITH PROPOSED EDGES IS MORE IMPORTANT THAT ACTUAL DIMENSIONS ON THIS PLAN. LAYOUT MUST BE FIELD VERIFIED. CONTACT LANDSCAPE ARCHITECT WITH ANY DISCREPANCIES.
- 02 ANY SPOT ELEVATIONS ON THIS PLAN ARE CONCEPTUAL ONLY. ANY FINAL GRADING OR DRAINAGE SHALL BE PROVIDED BY A CIVIL ENGINEER, IF REQUIRED. R DESIGN IS NOT LIABLE FOR ANYTHING CONSTRUCTED BY REFERENCING THESE PLANS. THE CONTRACTOR SHALL FIELD VERIFY ALL GRADES AND MEASUREMENTS ON SITE. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- 03 ALL LAYOUT AND GRADING SHALL BE IN CONFORMANCE WITH ANY AND ALL CITY OR MUNICIPAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAINAGE, LAYOUT, SETBACK OR EASEMENT REQUIREMENTS PRIOR TO INSTALLATION. R DESIGN IS NOT RESPONSIBLE FOR ANYTHING CONSTRUCTED BASED UPON THESE PLANS.
- 04 PROVIDE MINIMUM SLOPES AS REQUIRED ON ALL HARDSCAPE SURFACES. WOOD DECKING IS TO REMAIN LEVEL ACROSS AS IT IS CONSIDERED A PERVIOUS STRUCTURE. PROVIDE MINIMUM SLOPES AS REQUIRED UNDER DECKING STRUCTURE. CONFIRM SLOPES WITH A CIVIL ENGINEER BEFORE CONSTRUCTION. ANY CLARIFICATION SHALL BE CONFIRMED BY A LICENSED CIVIL ENGINEER AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

CRITICAL SHEET NOTES:

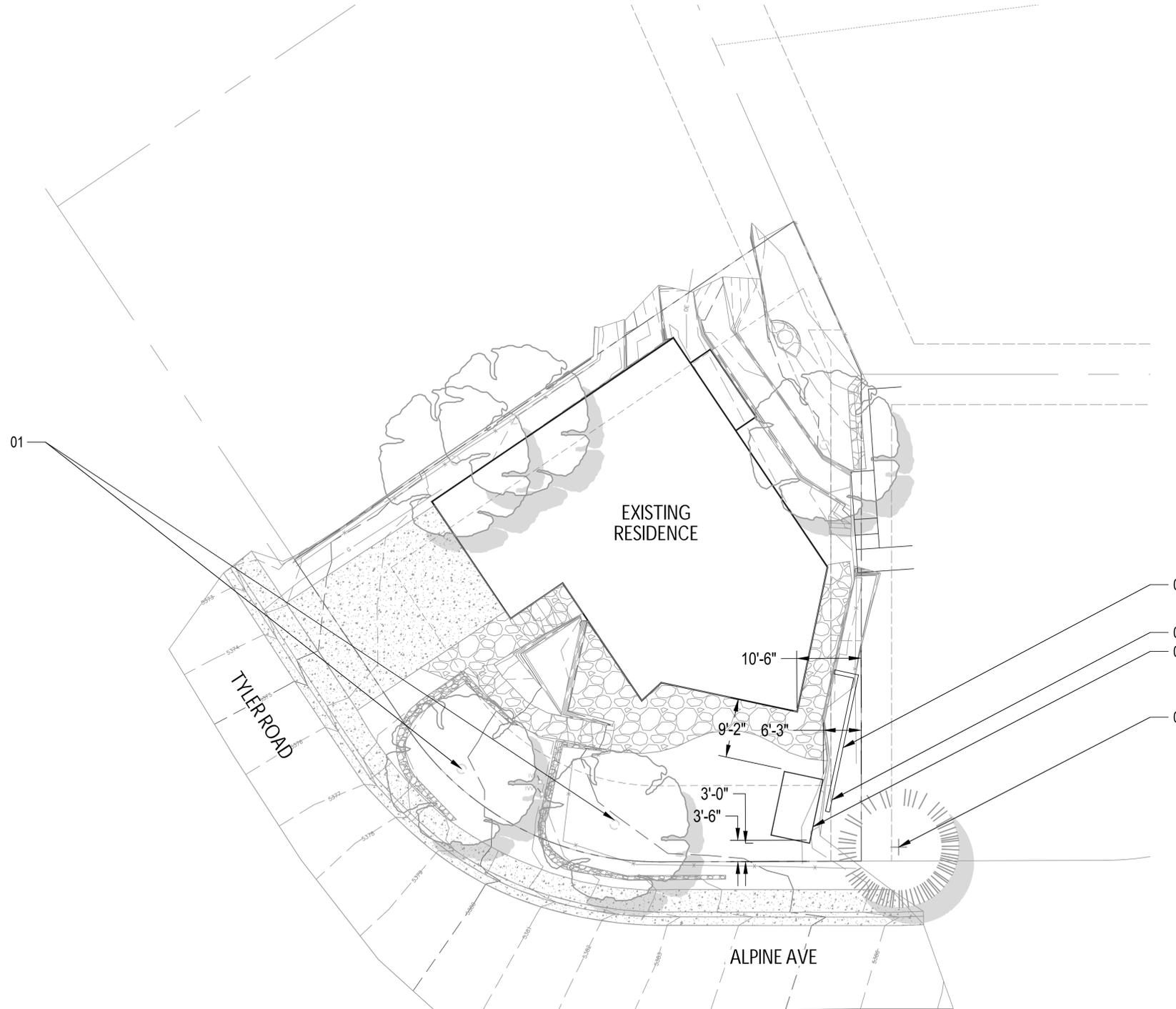
- C1 CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE EXTENTS OF ALL LANDSCAPE ELEMENTS PROPOSED FOR REMOVAL WITH THE LANDSCAPE ARCHITECT OR OWNER PRIOR TO CONSTRUCTION.
- C2 CONTRACTOR IS RESPONSIBLE FOR THE PRESERVATION OF ALL EXISTING TREES TO REMAIN IN ACCORDANCE WITH THE CITY OF BOULDER TREE PRESERVATION GUIDELINES.
- C3 ANY CONCERN WITH EXISTING TREE HEALTH SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY UPON DISCOVERY.
- C4 CONTRACTOR SHALL CONFIRM EXTENTS OF EXISTING TREES TO BE LIMBED UP WITH LANDSCAPE ARCHITECT PRIOR TO REMOVAL.
- C5 REFER TO STRUCTURAL PLAN AND DETAILS FOR ADDITIONAL INFORMATION ON PROPOSED WALLS.
- C6 SOUTH FACE OF WALL SHALL ALIGN WITH ARCHITECTURE A MINIMUM OF 6" BEYOND EXISTING WINDOW.
- C7 CONTRACTOR SHALL PROVIDE GFCI OUTLET FOR POWER TO SAUNA. OUTLET TO BE LOCATED ON BACKSIDE OF RETAINING WALL. ALL WIRES TO BE HIDDEN WITHIN GRAVEL BED.
- C8 PROPOSED CONCRETE BAND SHALL HAVE MINIMAL IMPACT ON EXISTING TREE ROOT ZONE.
- C9 ONLY RUN GAPS BETWEEN PAVERS, ELIMINATE SECONDARY GAPS
- C10 ALLOW A MIN. OF 6" FROM TREE UNDISTURBED BY WALL FOOTER.

MATERIALS LEGEND

- M01.1 - REGULAR GRAY CONCRETE WITH LIGHT BROOM FINISH
- M01.2 - REGULAR GRAY CONCRETE WITH SANDSCAPE FINISH
- M02 - BLUEGRASS SOD LAWN WITH 100% COVERAGE SPRAY IRRIGATION
- M03 - WOOD MULCH/PLANTING BED
- M04 - 2"-3" LAYER OF 3/8" CRUSHED IRREGULAR BLACK GRANITE
- M05 - 2"-3" LAYER OF 3/4" CRUSHED IRREGULAR BLACK GRANITE
- M06 - COBBLESTONE ROCK
- M07 - ARKANSAS VALLEY SEED NATIVE WONDER SEED MIX WITH 70% COVERAGE SPRAY IRRIGATION
- M08 - STONE UNIVERSE JUMBO GRAY MIST BLUESTONE PAVER - ASHLAR PATTERN
- M09 - 4" WIDE IPE WOOD DECKING
- M10 - COOPER STONE CORDOVA CREAM STONE VENEER

SYMBOLS LEGEND

- PROPERTY LINE
- EASEMENT LINE



SAUNA SITE PLAN



1" = 10' - 0"



**NOT FOR  
CONSTRUCTION  
DRAFT SET**

ISSUE: DATE:

PARCEL #:  
14633011402

DRAWN BY: BK CHECKED BY: RB

DATE:  
MARCH 10, 2023

SHEET TITLE:  
**OVERALL  
SITE PLAN**

SHEET NO.:  
**L500**

SHEET NOTES:

- 01 LIMITS OF WORK
- 02 CONCRETE DRIVE TO BE REMOVED
- 03 CONCRETE SIDEWALK TO REMAIN
- 04 EXISTING UTILITY TO BE RELOCATED - FIELD LOCATE WITH LANDSCAPE ARCHITECT
- 05 EXISTING TREE TO REMAIN, TYP.
- 06 REAR LANDSCAPE TO REMAIN
- 07 FLOATING STEPS - STONE (M08)
- 08 CONCRETE WALL WITH STONE VENEER (M10)
- 09 BLACK HORIZONTAL STEEL SPINDLE FENCE
- 10 WOOD PRIVACY FENCE
- 11 FENCE GATE
- 12 NEW CONCRETE PLANK DRIVEWAY (M01)
- 13 FLOATING STEPS - CONCRETE (M01)
- 14 CONCRETE PAD (M01)
- 15 12" RAISED STEEL VEGETABLE GARDEN
- 16 2"X1" STEEL HANDRAIL
- 17 STONE PAVING - MORTAR SET (M08)
- 18 18" HT. STEEL BASE BENCH W/WOOD DECKING (M09)
- 19 SAUNA ON CONCRETE PIERS (BY OTHERS)
- 20 STEEL BLADE RETAINING WALL
- 21 STONE STEPPING PAD (M08)
- 22 STEEL EDGING, TYP.
- 23 CONCRETE BAND (M01)
- 24 STONE SLAB STEP (M11)

GENERAL NOTES:

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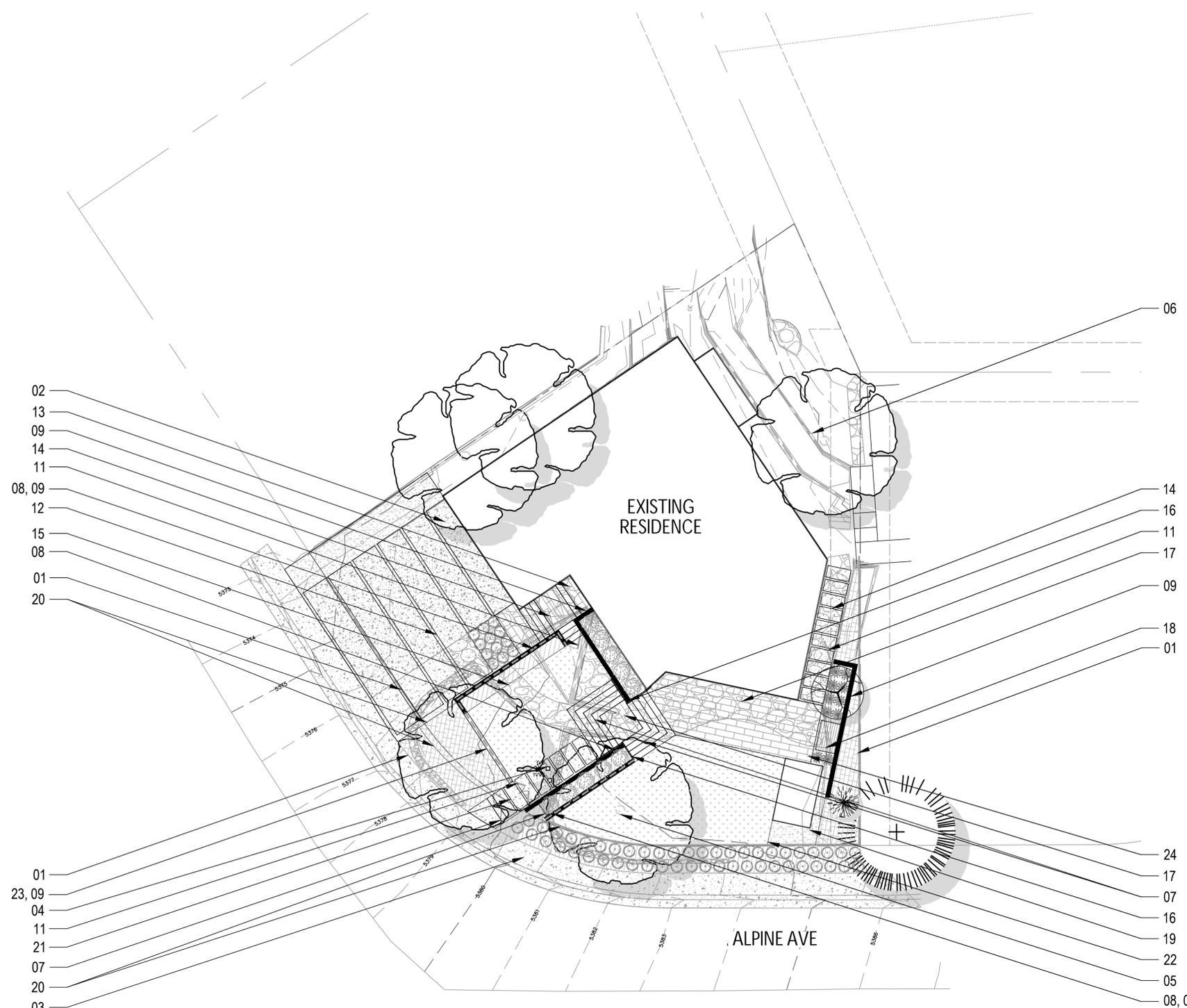
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- M10 - COOPER STONE CORDOVA CREAM STONE VENEER

SYMBOLS LEGEND

- PROPERTY LINE
- EASEMENT LINE



OVERALL SITE PLAN



1" = 10' - 0"



CALL UTILITY NOTIFICATION  
CENTER OF COLORADO

811

CALL 2 BUSINESS DAYS IN ADVANCE  
BEFORE YOUR GROUND OPERATIONS  
FOR THE MARKING OF UNDERGROUND  
MEMBER UTILITIES.

ALPINE AVENUE

1951 ALPINE AVE, BOULDER, CO 80304

NOT FOR  
CONSTRUCTION  
DRAFT SET

ISSUE: DATE:

PARCEL #:  
14633011402

DRAWN BY: BK  
CHECKED BY: RB

DATE:  
MARCH 10, 2023

SHEET TITLE:  
3D PERSPECTIVE  
IMAGERY

SHEET NO.:  
L600



- FROM TYLER LOOKING NORTHEAST -



- FROM TYLER LOOKING NORTH -



- FROM ALPINE LOOKING NORTH -

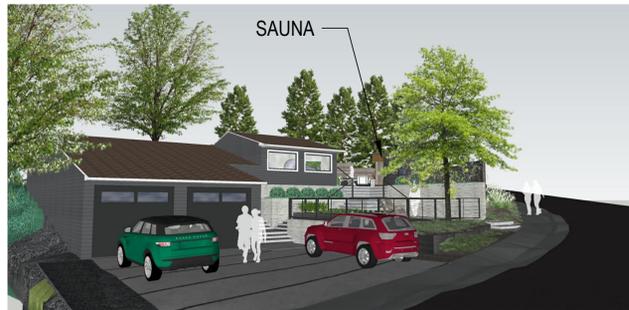


- FROM ALPINE LOOKING NORTHWEST -

**01** CONCEPTUAL PERSPECTIVE IMAGERY - OVERALL SITE  
SCALE: N.T.S



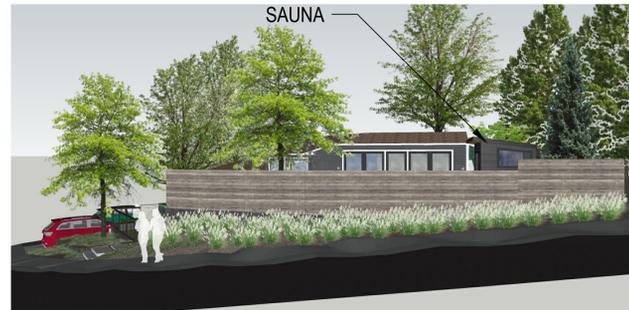
**02** CONCEPTUAL PERSPECTIVE IMAGERY - FROM SIDEWALK  
SCALE: N.T.S



- FROM TYLER LOOKING NORTHEAST -



- FROM TYLER LOOKING NORTH -



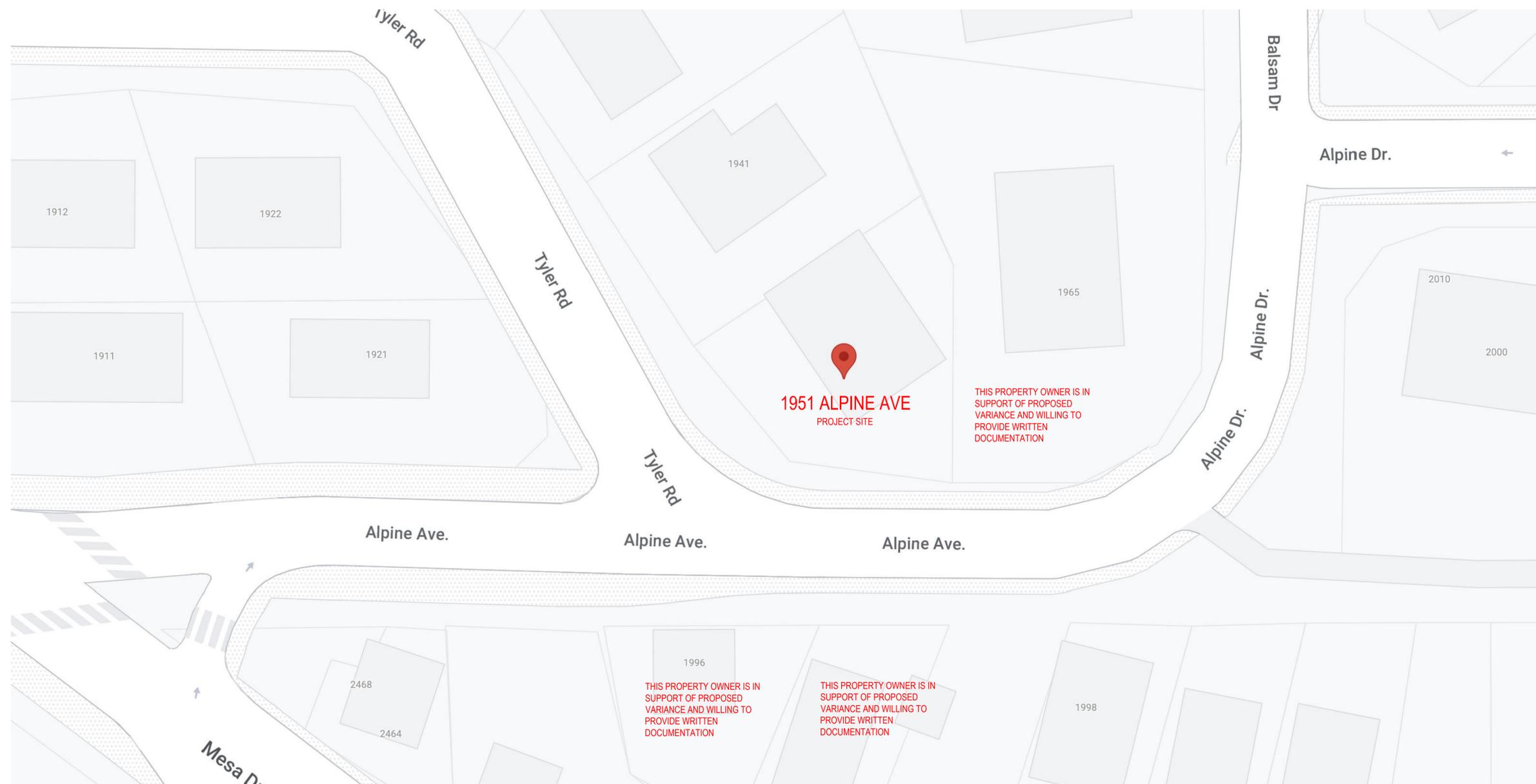
- FROM ALPINE LOOKING NORTH -



- FROM ALPINE LOOKING NORTHWEST -

# 01 CONCEPTUAL PERSPECTIVE IMAGERY - OVERALL EXTERIOR VIEWS

SCALE: N.T.S



# 02 SUPPORTIVE NEIGHBORS LOCATION MAP

SCALE: N.T.S

ALPINE AVENUE

1951 ALPINE AVE, BOULDER, CO 80304

NOT FOR  
CONSTRUCTION  
DRAFT SET

ISSUE: DATE:

PARCEL #:  
14633011402

DRAWN BY: BK CHECKED BY: RB

DATE:  
MARCH 10, 2023

SHEET TITLE:  
3D PERSPECTIVE  
IMAGERY

SHEET NO.:

L601

Jim and Maura Gordon 1941 Tyler Road Boulder, CO 80304 March 20, 2023

City of Boulder Board of Zoning Adjustment 1777 Broadway Boulder, CO 80302

Re: Support for Zoning Variance Request at 1951 Alpine Ave, Boulder, CO 80304

Dear Members of the Board of Zoning Adjustment,

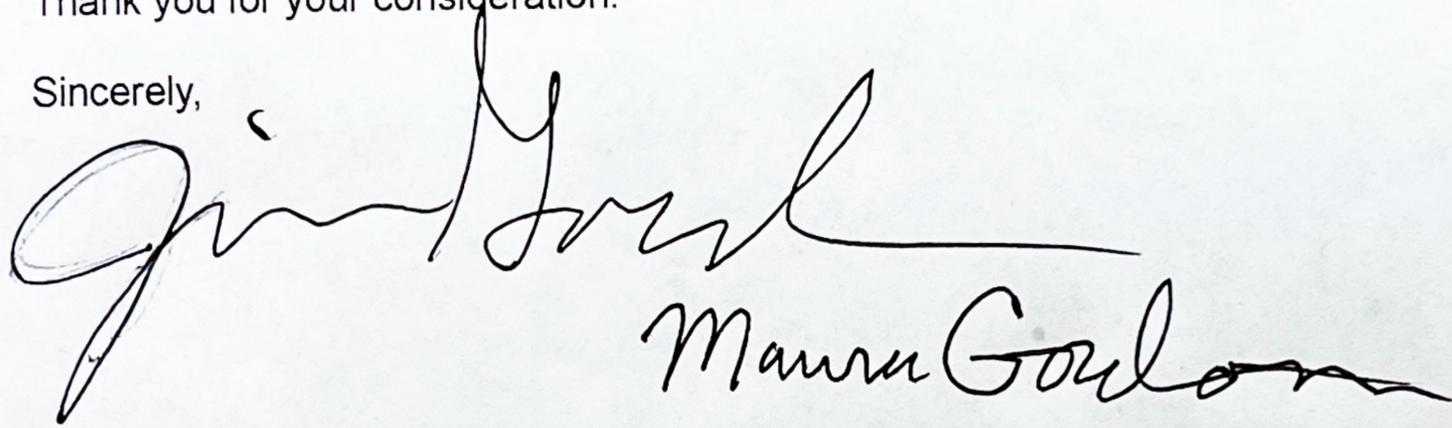
I am writing to express my wholehearted support for the zoning variance requested by my neighbor, Kyle Akin, the homeowner of 1951 Alpine Ave, Boulder, CO 80304, regarding the construction of a sauna on his property.

As a long-time resident and homeowner in the neighborhood, I appreciate the importance of adhering to local zoning regulations, which are designed to ensure that our community retains its unique character and remains a pleasant and attractive place to live. However, I also believe that it is crucial to consider the specific circumstances and context of each case when evaluating the merits of a zoning variance request.

In the case of Mr. Akin's proposed sauna, I am convinced that granting the variance will not adversely impact the neighborhood. We are writing to support Mr. Akin's request for a zoning variance request.

Thank you for your consideration.

Sincerely,

Handwritten signatures of Jim Gordon and Maura Gordon. The signature for Jim Gordon is on the left, and the signature for Maura Gordon is on the right, overlapping slightly.

Jim Gordon & Maura Gordon

Lisa and Jeff Kasher 2001 Mesa Drive Boulder, CO 80304 March 20, 2023

City of Boulder Board of Zoning Adjustment 1777 Broadway Boulder, CO 80302

Re: Support for Zoning Variance Request at 1951 Alpine Ave, Boulder, CO 80304

Dear Members of the Board of Zoning Adjustment,

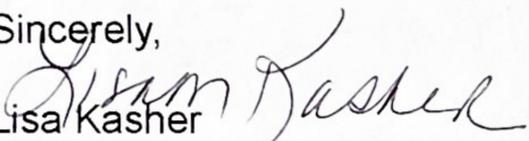
I am writing to express my wholehearted support for the zoning variance requested by my neighbor, Kyle Akin, the homeowner of 1951 Alpine Ave, Boulder, CO 80304, regarding the construction of a sauna on his property.

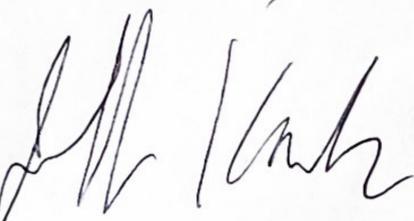
As a long-time resident and homeowner in the neighborhood, I appreciate the importance of adhering to local zoning regulations, which are designed to ensure that our community retains its unique character and remains a pleasant and attractive place to live. However, I also believe that it is crucial to consider the specific circumstances and context of each case when evaluating the merits of a zoning variance request.

In the case of Mr. Akin's proposed sauna, I am convinced that granting the variance will not adversely impact the neighborhood. We are writing to support Mr. Akin's request for a zoning variance request.

Thank you for your consideration.

Sincerely,

  
Lisa Kasher

  
Jeff Kasher

2001 mesa Drive  
Boulder, CO 80304

**Laura Magowan  
1965 Alpine Ave  
Boulder, CO 80304**

**March 30, 2023**

**City of Boulder Board of Zoning Adjustment  
1777 Broadway  
Boulder, CO 80302**

**Re: Support for Zoning Variance Request at 1951 Alpine Ave, Boulder, CO 80304**

**Dear Members of the Board of Zoning Adjustment,**

**I am writing to express my support for the zoning variance requested by my nextdoor neighbor, Kyle Akin, the homeowner of 1951 Alpine Ave, Boulder, CO 80304, regarding the construction of a small sauna on his property.**

**As a long-time resident and homeowner, I appreciate the value of local zoning regulations.**

**Nonetheless, it is important to consider the specific circumstances and context of each case when evaluating the merits of a zoning variance request.**

**In the case of Mr. Akin's proposed sauna, granting the variance will not in any way adversely impact the neighborhood or the property line we share.**

**His request is reasonable and in keeping with the varied look of architecture in our neighborhood.**

**Sincerely,**



**Laura Magowan**

Sandra Harriss  
1996 Alpine Ave  
Boulder, CO 80304

March 20, 2023  
City of Boulder Board of Zoning Adjustment  
1777 Broadway  
Boulder, CO 80302

Re: Support for Zoning Variance Request at 1951 Alpine Ave, Boulder, CO 80304

Dear Members of the Board of Zoning Adjustment,

I am writing to express my wholehearted support for the zoning variance requested by my neighbor, Kyle Akin, the homeowner of 1951 Alpine Ave, Boulder, CO 80304, regarding the construction of a sauna on his property.

As a long-time resident and homeowner in the neighborhood, I appreciate the importance of adhering to local zoning regulations, which are designed to ensure that our community retains its unique character and remains a pleasant and attractive place to live. However, I also believe that it is crucial to consider the specific circumstances and context of each case when evaluating the merits of a zoning variance request.

In the case of Mr. Akin's proposed sauna, I am convinced that granting the variance will not adversely impact the neighborhood. We are writing to support Mr. Akin's request for a zoning variance request.

Thank you for your consideration.

Sincerely,

A handwritten signature in black ink that reads "Sandy Harriss". The signature is written in a cursive, flowing style with a long horizontal stroke at the end.

Sandy Harriss