



HARBECK-BERGHEIM HOUSE



MAY 2023

ACKNOWLEDGEMENTS

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IMAGE CREDITS

Current-day (2020) photographs provided by Mundus Bishop, RATIO, and JVA. Historic photographs (pre-2020) provided by the City of Boulder and from online archives at the Carnegie Branch Library for Local History and Boulder Historical Society Collection, unless otherwise noted.

STATEMENT

The report documents the history, significance, integrity and existing condition and provides treatment guidance for the resource. It does not evaluate for listing in the National Register of Historic Places. If the resource has been previously listed or evaluated it is referenced and footnoted.



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The content and opinions contained herein do not necessarily reflect the views or policies of History Colorado.

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Figure 1-1. Harbeck-Bergheim House within Beach Park in the University Hill neighborhood of Boulder, Colorado, 1938
 (Source: University of Colorado Boulder: Aerial Photographs of Colorado)

COMMON TERMINOLOGY

State/National Register Terminology^{1 2}

Area of Significance - an aspect of historic development in which a property made contributions for which it meets the National Register criteria, such as architecture, entertainment or recreation.

Character-Defining Features - the elements that account for the overall shape of the building, its materials, craftsmanship, decorative details, interior spaces and features, as well as the various aspects of its site and environment.

Compatible Feature - a prominent or distinctive aspect, quality, or characteristic of a cultural landscape that contributes significantly to its physical character. Land use patterns, vegetation, furnishings, decorative details and materials may be such features.

Contributing Resource - a building, site, structure, object, or feature adding to the significance of a property.

Designation Boundary - the boundary defined by the Landmarks Board and City Council that encompasses a historic property. This boundary represents a physical area in which any future alterations have historic preservation review associated with them.

Eligibility - ability of a property to meet the State/National Register criteria.

Evaluation Criteria - the established criteria for evaluating the eligibility of properties for inclusion in the State Register and National Register of Historic Places and its level of significance—local, state, or national.

Historic Context - information about historic properties based on a shared theme, specific time period and geographical area.

Landscape Characteristics - the tangible and intangible aspects of a landscape from a historic period; these aspects individually and collectively give a space its historic character and aid in understanding its historical importance.

Local Landmark - a local area or building that has been determined to have a special character and historic, architectural, or aesthetic or value to the city.

Period of Significance - the span of time in which a property attained the significance for which it meets the State and/or National Register criteria, and/or Local Landmarks criteria.

Property Type - a grouping of properties defined by common physical and associative attributes.

Integrity³

Integrity is the ability of a property to convey its significance. It is assessed to determine if the characteristics that shaped the property during the period of significance are present as they were historically.

Location is the place where the historic property was constructed or the place where the historic event occurred.

Setting is the physical environment of a historic property.

Design is the combination of elements that create the form, plan, space, structure, and style of a property.

Materials are the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property.

Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.

Feeling is a property's expression of the aesthetic or historic sense of a particular period of time.

Association is the direct link between an important historic event or person and a historic property.

1 United States Department of the Interior, National Park Service, "National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation" (Washington DC: Department of the Interior, National Park Service, 1997); Office of Archaeology and Historic Preservation, History Colorado. "How to Nominate a Property to the State Register." (Denver, CO: History Colorado, 2018).

2 Charles A. Birnbaum and Christine Capella Peters, *The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for the Treatment of Cultural Landscapes* (Washington DC: Department of the Interior, National Park Service, 1996).

3 Ibid.

PROPERTY OVERVIEW

Property Name: Harbeck-Bergheim House
Location: University Hills neighborhood; adjacent to Beach Park
Property Address: 1206 Euclid Avenue, Boulder, CO 80302
Latitude/Longitude: 40.0050 / -105.2771
Legal Property Description: Lot 1-15 & 31-44 BLK 13 University Place Park Historical Building
Parcel Tag: 146331315009

Acreage / Square Footage: 0.41 Acres / 17,786 SF
Date of Construction: House (1899), Adjacent Beach Park (1937)
Designer(s): Unknown

DESIGNATION, ELIGIBILITY, & CLASSIFICATION SUMMARY

Current Designation Level <input checked="" type="checkbox"/> Local Landmark <input type="checkbox"/> State Register of Historic Places (SRHP) <input type="checkbox"/> National Register of Historic Places (NRHP) State & National Register Eligibility ⁴ State Register of Historic Places <input type="checkbox"/> Determined Eligible <input type="checkbox"/> Delisted National Register of Historic Places <input checked="" type="checkbox"/> Determined Eligible <input type="checkbox"/> Delisted Recommended Period of Significance Date Range: <u>1900</u> to <u>1969</u> Property Types <input type="checkbox"/> District(s) <input type="checkbox"/> Sites(s) <input checked="" type="checkbox"/> Buildings(s) <input type="checkbox"/> Structure(s) <input type="checkbox"/> Object(s) <input type="checkbox"/> Feature(s) Individual Character-Defining Features of Property Types District(s) _____ _____ Site(s) _____ _____ Building(s) <u>Harbeck-Bergheim House</u> _____ Structure(s) _____ _____ Object(s) _____ _____ Feature(s) _____ _____ 	Ordinance & Listing Information City of Boulder Local Landmark No: <u>79-7</u> Ordinance No: <u>4454</u> Ordinance Date: <u>January 22, 1980</u> State ID: <u>5BL620</u> National Historic Landmark No: _____ Areas of Significance <u>Architecture</u> <u>Social History</u> <u>Community Planning and Development</u> Property Integrity: Aspects <input checked="" type="checkbox"/> Location <input checked="" type="checkbox"/> Setting <input checked="" type="checkbox"/> Design <input checked="" type="checkbox"/> Materials <input checked="" type="checkbox"/> Workmanship <input checked="" type="checkbox"/> Feeling <input checked="" type="checkbox"/> Association NRHP Evaluation Criterion ⁵ ____ Criterion A: The property is associated with event/s that have made a significant contribution to the broad patterns of our history ____ Criterion B: The property is associated with the lives of persons significant in our past ____ Criterion C: The property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components may lack individual distinction ____ Criterion D: The property has yielded, or may be likely to yield, information important in prehistory or history
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⁴ Colorado Historical Society, *Colorado Cultural Resource Management: Reevaluation Form for 5BL620* (Denver: Office of Archaeology and Historic Preservation, 1992).

⁵ Ibid. Evaluation is based on this document.

DESIGNATION BOUNDARY

Harbeck-Bergheim House is located in its original location. The designated boundary includes the building and its immediate surroundings.



Figure 1-2. Designation boundary for Harbeck-Bergheim House (blue), 2020 (source: Carnegie Library for Local History)

HISTORY & SIGNIFICANCE

Historic Context

Statement of Context

Harbeck-Bergheim House is associated with the themes of residential architecture and culture within the City of Boulder, as well as in the wider context of the United States. This house is significant for its eclectic mix of Colonial Revival and Edwardian Vernacular styles, both of which were popular during the late 19th and early 20th centuries. The residence is a finely crafted and well-preserved example of these styles. Harbeck-Bergheim House is significant for the role it has played in the social and cultural life of Boulder since 1899. The Harbeck and Bergheim families' commitment to the growth of Boulder's downtown and clothing market is still shared through the preservation of the Harbeck-Bergheim House.

Background History

Harbeck-Bergheim House was built between 1899 and 1900 by John H. Harbeck.⁶ Mr. Harbeck was a chain store owner and stockbroker from New York. Harbeck and his wife, Kate, lived in Boulder during the summers. After Harbeck's death in 1910, Mrs. Harbeck ordered that their pets' graves located in the backyard of the house were not to be disturbed even after her death, which occurred in 1931. As part of her will, Mrs. Harbeck donated \$50,000 to the Society for the Prevention of Cruelty to Animals in Boulder (now the Boulder Humane Society), which funded the construction of the Boulder Humane Society and became the final resting place for the Harbeck's pets years later.⁷ The house sold in 1936 to a local investor for fraternity or apartments, but the City denied this due to zoning restrictions.

The surrounding lots were sold to William Beach in 1937. Beach was a local businessman who donated the property to the city of Boulder to be repurposed as a park. Shortly after, Milton and Violet Bergheim purchased the house in 1939. Mr. Bergheim owned and operated a prominent clothing store along Pearl Street from 1891 until 1966. The Bergheims resided at the house until 1969, when they leased it with an option to buy to the City of Boulder. The City of Boulder completed the purchase of the property in 1979.⁸ The building was repurposed into for mixed-use accommodating classes, special events, and fundraising activities, etc. for more than 5 years until the property was leased to the Boulder History Museum in 1985.⁹ The building and property were maintained as a museum until 2018. Shortly after the museum relocated to a new property, the structure was leased to its current occupants in 2020—the Women's Wilderness Institute, a local non-profit organization.¹⁰

Definition of the Context

Harbeck-Bergheim House is associated with the themes of Architecture, Community Planning and development, as well as Social History within the City of Boulder. The building maintains high historic integrity and reflects both the Colonial Revival and Edwardian Vernacular styles, popular during the late 19th and early 20th century in the United States. The Harbeck and Bergheim families' collectively had an impact on the community development and social history by becoming the main benefactors of the Boulder Humane Society (Harbecks) and owning one of Downtown Boulder's first clothing stores (Bergheims). The Boulder Humane Society remains a major organization to the Boulder community, while the Bergheim clothing store remains located along Pearl street but operated by a different clothing company.

6 City of Boulder, History at a Glance (City of Boulder) 2019, 1.

7 Colorado Historical Society. 1206 Euclid Avenue Historic Building Inventory Records, 2.

8 Ibid.

9 City of Boulder, History at a Glance (City of Boulder) 2019, 1.

10 City of Boulder. Harbeck-Bergheim House.

Development of the Theme or Area of Significance

The introduction of Harbeck-Bergheim House within the University Hill neighborhood was impactful for its role in community planning and development, its unique architectural collaborative style, and the social history that would come from its ownerships. Until the last decade of the 19th century, the University Hill area was primarily undeveloped except for a few log cabins and pastureland owned by local farmers. The first large-scale development effort in this region was initiated in 1890 by the Denver and Boulder Land and Investment Company as University Place Addition. This 194-acre addition to the City of Boulder was located between College and Baseline Road - Sixth and Eighteenth Street. The area was platted into 1,820 lots.¹¹ One of these lots was allocated to the Harbeck Family who built their residence in 1899. With the growth of the University, construction of new homes in the University Hill area surged in the early 1900s. The area remains a prominent neighborhood within the City of Boulder today.

The University Hill area combined a wealth of residential architectural styles made popular across the nation during the late nineteenth and early twentieth centuries. During this period of community development, homes of the Bungalow style were most popularly built. However, the neighborhood also displayed a significant number of homes in the Edwardian Vernacular, Colonial Revival, Tudor Revival, English Cottage, and Craftsman styles.¹² The Harbeck-Bergheim House is a perfect eclectic example of the Edwardian Vernacular and Colonial Revival utilized for one residential structure. Some of the Edwardian Vernacular style characteristics seen at the Harbeck-Bergheim House include asymmetrical massing, lack of ornamentation, wrap-around porch, and classical details. In addition, some of the Colonial Revival characteristics seen at the residence include but are not limited to: a prominent entrance such as a portico, classic columns, dormers, and front doors with sidelights.

Although the Harbeck family kept to themselves for most of their summer stays in Boulder, they grew social roots with the Boulder community through a love of their dogs and animals.¹³ Without Mrs. Harbeck's generous donation to the Boulder Humane Society, the organization may not have had as much success in its early years or even today. Two generations of the Bergheim family owned and operated a prominent clothing store in the heart of downtown Boulder on Pearl Street.¹⁴ Their commitment to the growth of Boulder's downtown and clothing market is still shared through the preservation of the Harbeck-Bergheim House as well as their family-owned store on Pearl Street. With proper preservation of the residence, these stories can be shared with the University Hill neighborhood and Boulder community.

Associated Property Types

Harbeck-Bergheim House is an example of the Edwardian Vernacular and Colonial Revival architectural styles made prominent throughout the United States. The Colonial Revival held influence in residential communities from the 1880s to the 1940s, while the Edwardian Vernacular style had a short-lived prominence lasting from 1900 to 1914. Multiple properties of these styles are found throughout the University Hill neighborhood. Harbeck-Bergheim House uniquely stands out within its community for the way both styles were harmoniously combined at the residence. The house's eclectic architectural nature, as well as being bounded on two sides by Beach Park and elevated from the street sets it apart as a dominant and impressive local landmark in the University Hills neighborhood.

Physical Characteristics and Integrity

Harbeck-Bergheim House is a two-and-a-half-story building with an attic and garden level basement. The residence is characteristically a flared, hipped roof with overhanging eaves, decorative modillions, stone chimneys, a wood cornice with dentil trim, and dormers with cameo windows. Two sets of two-story bay windows are located on the front and side facades (northeast elevations). Each include one-over-one (1/1) light double-hung windows.¹⁵ A one-story portico with classical stone columns atop stone walls (that make up a wrap-around porch) with a cornice lined balustrade is located on the front facade. A curvilinear stone wall is located adjacent to the front portico.¹⁶ The main door is a solid wood dutch door flanked by leaded glass sidelight windows.

11 R. Laurie Simmons and Thomas H. Simmons, *University Hill Neighborhood History and Walking Tour*, 1992, 2.

12 *Ibid.*, 3-4.

13 Colorado Historical Society. 1206 Euclid Avenue Historic Building Inventory Records, 2.

14 *Ibid.*, 4.

15 *Ibid.*, 5.

16 *Ibid.*

This residence has remained in its original location since construction and retains much of its original character, design, and materials. The Harbeck-Bergheim House resides on seven (7) open lots (originally 27). The house is surrounded by a residential neighborhood in all directions. The University Hill neighborhood in which it resides is filled with homes of the Craftsman era and others built in succeeding decades. The overall design has remained primarily unchanged since its original construction. Most of the original materials have remained the same. Between 1991 to 2015, multiple but minor rehabilitations, building upgrades, and improvements took place. The workmanship is consistent with the combination of the Colonial Revival and Edwardian Vernacular architectural styles present in the United States at the time of its construction. With much of the first and second floor spaces having been maintained with original finishes, the feeling is authentic. The building maintains its associations with John and Kate Harbeck, benefactors of the Humane Society, and the Bergheim family, who for two generations owned a clothing store in downtown Boulder.

In 1972, the basement was modified to accommodate a caretaker's apartment. Between 1991 and 2015, various rehabilitations, building upgrades and improvements took place to preserve the structure's character and accessibility.

Relationship to the National Register Criteria

The Harbeck-Bergheim House meets the National Register criteria A and C for its association with Boulder's social history and development, as well as its unique architectural style. The Harbeck-Bergheim House is significant under Criterion A for the role it has played in the social and cultural life of Boulder since 1899. Harbeck and his wife, Kate, generally kept to themselves while they lived in Boulder during the summers. They were very close to their dogs, however, and upon Mrs. Harbeck's death, she donated \$50,000 to the Society for the Prevention of Cruelty to Animals in Boulder (now known and still standing today as the Boulder Humane Society). Through this occurrence, they grew social roots with the Boulder community through a love of their dogs and animals that would continue to present day. Milton and Violet Bergheim purchased the house in 1930. Mr Bergheim owned and operated a prominent clothing store along Pearl Street from 1891 until 1996. Their commitment to the growth of Boulder's Downtown and clothing market is still shared through the preservation of the Harbeck-Bergheim house as well as their family-owned store on Pearl Street.

The house is also eligible under Criterion C for its representation of the Colonial Revival and Edwardian Vernacular architectural styles made popular during the late-nineteenth and early-twentieth centuries in the United States. These styles are reflected in the Harbeck-Bergheim House's prominent classical details that set themselves apart from the remaining neighborhood by way of its setback and elevated location to the street.

Statement of Significance

Harbeck-Bergheim House is significant for its eclectic mix of Colonial Revival and Edwardian Vernacular styles. Both were popular during the late 19th and early 20th century in the United States and are reflected in the building's classical details, Ionic columns, one-story portico, wrap-around porch, and stacked bay windows.¹⁷ The building is a finely crafted and well preserved example of these styles working in harmony. The house's association with the former Harbeck and Bergheim residences, as well as its impressive architectural features, make the house a valued local landmark within the University Hill neighborhood of Boulder.

Harbeck-Bergheim House is significant for the role it has played in the social and cultural life of Boulder since 1899. Upon Mrs. Harbeck's death she donated \$50,000 to the Society for the Prevention of Cruelty to Animals in Boulder (present-day the Boulder Humane Society.) Milton and Violet Bergheim purchased the house in 1939. Mr. Bergheim owned and operated a prominent clothing store along Pearl Street from 1891 until 1966.¹⁸ Their commitment to the growth of Boulder's downtown and clothing market is still shared through the preservation of the Harbeck-Bergheim House as well as their family owned store on Pearl Street.

Harbeck-Bergheim House is significant for its representation of the Colonial Revival and Edwardian Vernacular architectural styles made popular during the late 19th and early 20th century in the United States. These styles are reflected in the Harbeck-Bergheim House's prominent classical details. Bounded on two sides by Beach Park, the Harbeck-Bergheim House is elevated from the street and is a dominant and impressive local landmark within the University Hill neighborhood.¹⁹

Recommended Period of Significance

The recommended period of significance for Harbeck-Bergheim House is 1900 to 1969 for the period in which it was a private residence. The period begins with the construction of the building and ends when the Bergheim family moved out the residence in 1969, after which it was leased to the City of Boulder.

¹⁷ Colorado Historical Society. 1206 Euclid Avenue Historic Building Inventory Records, 5.

¹⁸ Ibid, 2.

¹⁹ Ibid, 3.

Summary of Use

Historic and Current Use

Harbeck-Bergheim House was historically maintained as a private residence, located within the University Hill Neighborhood from the year it was erected in 1899 until 1969. John and Kate Harbeck resided in the house during the summer months until 1936. Many of the surrounding lots (lots 8-27) were sold to William Beach in 1937 (lots 8 to 27). Beach donated his property to the City of Boulder to be re-purposed as a park in 1937. Shortly after, Milton and Violet Bergheim purchased the house in 1939 and lived here until 1969, when they leased the house with an option to buy to the City of Boulder. The City of Boulder started planning the future use of the site and ultimately re-purposed the house for community events in 1979. In 1985 the building was leased to the Boulder History Museum who used the structure as a museum until 2018. The City of Boulder has maintained and owned the Harbeck-Bergheim House since 1969. The lots donated by William Beach to the city for a park are present-day Beach Park. Harbeck-Bergheim House is currently leased to Women's Wilderness Institute.²⁰

Date	Event
1899 to 1936	Home of John & Kate Harbeck
1936 to 1939	Home of Leonard Blystad
1937 to present	William Beach purchases and donates lots 8 to 27, known as Beach Park
1939 to 1969	Home of Milton & Violet Bergheim
1969 to present	City of Boulder Ownership
1970 to 1979	City of Boulder begins the purchase of the property
1979 to 1985	Community Center & Event Space used for community education and educational activities
1985 to 2018	Boulder History Museum
2020 to present	Women's Wilderness Institute in the current leasee

²⁰ City and County of Boulder. Harbeck-Bergheim House, City and County of Boulder

Construction & Alteration History

Date	Event	Source*
1899	House built by J. H. Harbeck.	"History at a Glance"
1936	Purchase of the property by Leonard Blystad from estate representatives with proposal to remodel it as a fraternity or as apartments, denied by the city due to zoning restrictions.	"History at a Glance"
1937	Blystad sold approximately 20 of the 27 lots to William Beach. Beach donated the 20 lots to the City of Boulder for park purposes (lots 8 to 27).	"History at a Glance"
1939	Property purchased by Milton Bergheim (lots 1 to 7) for use as a private residence.	"History at a Glance"
1970	Property leased to City of Boulder with the option to buy with suggested repurpose as a cultural center for events and activities for persons of all ages within the Boulder community.	"History at a Glance"
1970 to 1972	Caretaker apartment built in the basement.	"History at a Glance"
1972	Officially named the Harbeck-Bergheim House by the Boulder Parks and Recreational Advisory Board.	"History at a Glance"
1979	Property purchased by City of Boulder from estate of Milton N. Bergheim for use as classrooms, special events, fund raising activities, clubs, workshops, etc.	"History at a Glance"
1980	Harbeck-Bergheim House designated as a local Landmark by the City of Boulder.	City of Boulder Landmark. L-79-7
1985	Property leased to the Boulder History Museum for use as a museum (non-conforming use).	"History at a Glance"
1986	Fire suppression system installed.	"History at a Glance"
1991	Ramp installed (Landmark Alteration Certificate).	"History at a Glance"
1992	Back porch replaced in-kind and signage installed for the museum (Landmark Alteration Certificate).	"History at a Glance"
1996	Exterior lighting installed (Landmark Alteration Certificate).	"History at a Glance"
1999	Front porch reroofed and bay window roof metal cap replaced (Landmark Alteration Certificate).	"History at a Glance"
2002	Handrail installed at front sidewalk (Landmark Alteration Certificate).	"History at a Glance"
2005	Air conditioner, rooftop condenser unit, and new furnace installed (Landmark Alteration Certificate).	"History at a Glance"
2011	Front window replaced (Landmark Alteration Certificate).	"History at a Glance"
2013	Building reroofed with like materials (Landmark Alteration Certificate).	"History at a Glance"
2015	Attic insulated.	"History at a Glance"
2018	Museum of Boulder vacated the property and moved to a new location. City of Boulder began decision-making process for future use and ownership of Harbeck-Bergheim House.	"History at a Glance"
2018 to 2020	Stabilization and restoration of interior stained-glass window identified as a community and departmental priority. Window restored by Watkins Stained Glass Studio.	Harbeck-Bergheim House
2020	Parks and Recreation Advisory Boards and City Council approve the lease agreement of the Harbeck-Bergheim House to Women's Wilderness Institute.	Harbeck-Bergheim House

* Refer to resources at the end of this section for sources

INTEGRITY

The integrity of Harbeck-Bergheim House has been assessed to determine if the characteristics that shaped the original construction within its period of significance (1900 to 1969) are present as they were historically. Integrity is evaluated according to seven aspects or qualities: location, setting, design, materials, workmanship, feeling, and association. Harbeck-Bergheim House retains integrity in all seven aspects.

Location

The building has remained in its original location since construction.

Setting

The original property consisted of 27 lots with Harbeck-Bergheim House located on lots 1-7. The setting was modified in 1937 when William Beach bought the 20 lots surrounding the house and presented it to the city as Beach Park, which it remains today. The residence is surrounded by the University Hill residential neighborhood.

Design

Harbeck-Bergheim House retains architectural integrity as the design remains primarily unchanged since its original construction. Between 1970 and 1972, a caretaker apartment was added to the basement. Other alterations include the addition of an accessible ramp and handrail at the front sidewalk; replacement of the rear porch, roof material, and front window; the addition of a new furnace, air conditioner and condenser and insulation in the attic; and the addition of signage. The interior has been modified with office and storage spaces to accommodate museum uses.

Materials

Most original finish and architectural materials have remained. Between 1991 and 2015, multiple modifications, building upgrades and improvements replaced materials to match in-kind. Modifications to the interior included adding a mixed-use office space. Some finishes were altered at this time.

Workmanship

The workmanship is consistent with the combination of the Colonial Revival and Edwardian Vernacular architectural styles seen in the United States during the turn of the 20th century.

Feeling

The Harbeck-Bergheim House has retained its original character-defining features and has therefore maintained the feeling of authenticity.

Association

The building retains associations with John and Kate Harbeck, benefactors of the Humane Society, and the Bergheim family, who for two generations owned a clothing store in downtown Boulder.

EXISTING CONDITION

Landscape Condition

Summary of Landscape Characteristics

The Harbeck-Bergheim House's historic setting, features and spatial relationships remain similar to their appearance during the period of significance. The building is set on seven the original 27 lots in the University Hill neighborhood. The remaining 20 lots of Beach Park border the landscape along the west and south. The elevated building and open lawn face north to Euclid Avenue and remain an impressive local landmark in the University Hill neighborhood.

Topography

The building site is a sloped lawn that gradually slopes from south to north, with steep slopes at each right-of-way (Euclid Avenue and 12th Street) and at the driveway. The building is set at the high point of the site on a level terrace.

Spatial Organization

The historic setting and spatial organization remain intact since the period of significance. The building is oriented north and set back from Euclid Avenue. A large front lawn, bordered by trees along the property edges, accentuates the prominence of the building.

Circulation

Pedestrian circulation consists of sandstone paved sidewalks along Euclid Avenue and 12th Street, sandstone steps and sandstone paving leading to the main entry from Euclid Avenue, and a sandstone paved walk from 12th Street to building's rear entry. The stone paved sidewalk and steps are original features. A path to the main entry does not meet ADA requirements for accessibility. The sandstone paving ranges from poor to fair condition due to heaved stones, stones out of alignment, and cracked stones. A path does not exist to the front porch. The sandstone paved sidewalks on Euclid Avenue and 12th Street are within the city's right-of-way and are not maintained by Boulder Parks and Recreation.

A paved driveway connects the east side of the building with Euclid Avenue and includes a parking area. The driveway alignment is original, but the parking and asphalt paving are contemporary additions. The asphalt paving is crumbling and in poor condition. The parking includes an ADA-compliant parking space and wood ramp (installed in 1991 to provide access to the back entry of the building). The ramp is not ADA-compliant.

Small-Scale Features

Contemporary small-scale features a include trash bins and parking signs that support operational functions.



Figure 1-3. Sandstone steps and sandstone paving to main entry from Euclid Avenue, 2020 (source: Mundus Bishop)



Figure 1-4. Driveway and parking, 2020 (source: Mundus Bishop)

Vegetation

The original expanse of lawn remains along with mature deciduous trees that line Euclid Avenue and 12th Street. Ornamental and evergreen trees, shrubs, perennials, and vines surround the building's foundation. The plant material has been altered over the years. A perennial Memorial Garden at the southwest corner of the property is a contemporary addition that includes a brick paved path. The garden is maintained by volunteers.

Views and Viewsheds

Prominent views from Euclid Avenue to the building and southeastern views of the Boulder Flatirons from the lawn contribute to the significance of the Harbeck-Bergheim House.



Figure 1-5. Memorial Garden at southeast corner (source: Mundus Bishop)



Figure 1-6. Trees and shrubs at the north and west sides of the building, 2020 (source: Mundus Bishop)



Figure 1-7. View of Flatirons from the front lawn, and view of Harbeck-Bergeim House from Euclid Avenue, 2020. (source: Mundus Bishop)

Architectural Description

Harbeck-Bergheim House is a two-and-a-half-story dwelling with an attic and basement below grade. The exterior of the house consists of rusticated evenly-coursed stone walls and stone belt courses. A one-story portico with a wood balustrade and stone columns atop a stone wall is located at the main entrance. Adjacent and in front of the portico is the wrap-around porch that is constructed of stone walls and a concrete floor. A cornice lined balustrade is on the front facade (north elevation). Two sets of two-story bay windows are on the north and east elevations, each with one-over-one (1/1) light double-hung windows.²¹ The south and west elevations have a mix of double-hung and fixed windows. The house is topped by a flared hipped roof with overhanging eaves and modillions under the eaves. A wood cornice with dentil trim and dormers with cameo windows. The front entry door is a solid wood Dutch door flanked by leaded glass windows. A grand stair with wood treads, balusters and railings is inside the front entrance. All architectural features are character-defining and contribute to the significance the building.

Primary Materials

Character-defining materials include the exterior coursed sandstone with a quarry-faced surface, asphalt shingles, original windows and doors, decorative wood trims on the interior and exterior of the building, interior painted plaster walls and ceilings, original hardwood flooring, wood wainscoting, and decorative fireplaces. This masonry structure is primarily built of coursed sandstone with a quarry-faced surface.²² The roof consists of asphalt shingles. Exterior windows, doors, roof eaves, and portico have decorative wood trims. Wood is primarily utilized for floor and trim on the building's interior. The interior walls and ceilings are predominately painted plaster, and floors are hardwood. Wood wainscoting is present in multiple areas of the house. Most doors are solid wood. Several rooms feature fireplaces with decorative wood trim, ceramic tile surrounds, and cast-iron inserts.

Harbeck-Bergheim house retains its original character, design, and most of the original materials since its initial construction. The basement was modified to accommodate a caretaker's apartment. Between 1991 and 2015, alterations included addition of a ramp and handrail at the front sidewalk; replacement of the south elevation porch, roof material, and front window; the addition of a new furnace, air conditioner and condenser and insulation in the attic; and the addition of signage.



Figure 1-8. Harbeck-Bergheim House at 1206 Euclid Avenue, in the early 1900's (source: Carnegie Library for Local History)

²¹ Colorado Historical Society, 1979. 1206 Euclid Avenue Historic Building Inventory Records, 5.

²² CSC. Historic Structure Report: Building Condition Evaluation: Harbeck House Exterior. CSC, 5.

Architectural Condition

Concrete

The wrap-around porch and portico flooring is poured concrete and is positioned lower than the finished floor of the first level. The concrete flooring does not seem to be original to the building, but appears to be in good condition with no major damage or cracks.

Masonry - Stone

Front Porch: The walls surrounding the porch appear to be made of the same stone as the main building. Overall the stone is in fair shape with a few areas in poor condition. The primary areas of concern are on the interior faces of the wall on the north side, and around the main entry stair to the north. Significant wear to the stone and mortar is evident and large amounts of both weathered away, likely from use of salts and chemical deicers. Graffiti and its removal have damaged the stone at the walls at both the wrap-around porch and main building.

Walls appear to be a different type of stone at the wrap-around porch. This stone is in fair condition. Several capstones are covered with lichen. The entry steps to the porch were noted as Lyons sandstone in previous building evaluations, and appear to be in good condition with some uneven gaps due to ground settling. Four large stone columns support the porch roof and the stone appears to be in good condition. The mortar is in fair to poor condition and in need of repointing.



Figure 1-9. Porch transition at the main entry door, 2020 (source: Ratio)



Figure 1-10. Stone damage at the interior porch wall, 2020 (source: Ratio)



Figure 1-11. Porch stone walls near the main entry steps, 2020 (source: Ratio)



Figure 1-12. Main entry steps, 2020 (source: Ratio)



Figure 1-13. Porch columns, 2020 (source: Ratio)

North Facade: In general, the stone masonry on the north side of the building is in good condition. Some visible damage is on the stone just west of the main entry door. One of the headers over the bay windows just east of the main entry has a large crack.

East Facade: The east wall of the building is in good condition overall. However, the south end of the porch has considerable damage to the building masonry, which appears to have been caused by water damage and drainage issues as well as past at graffiti removal processes. Another area of damage is at the base of the shallow pilaster near the south east corner of the building.

South Facade: The masonry on the south wall is in good condition overall. A cracked stone is above the entry porch addition. The south-west building corner has vines growing on the stone, causing potential damage.



Figure 1-14. Efflorescence west of main entry, 2020 (source: Ratio)



Figure 1-15. Cracked header, 2020 (source: Ratio)



Figure 1-16. Stone damage at stair, 2020 (source: Ratio)



Figure 1-17. Stone damage at gutter, 2020 (source: Ratio)

West Facade: The stone overall appears to be in good condition on the west face. The stone detailing elevation below one window has evidence of water damage. Another area toward the bottom of the wall has significant amounts of lichen. A few stones have damaged stone faces or faces that are damaged or have weathered away.

Chimneys: The stonework on the chimneys appears to be in fair to poor condition. Many stones are very worn and weathered with portions of the stones missing, and significant mortar missing. Of the three chimneys, one, in the north east corner, appears to be in the worst condition.



Figure 1-18. Cracked stone, 2020 (source: Ratio)



Figure 1-19. Vines on stone masonry, 2020 (source: Ratio)



Figure 1-20. Stone detailing below window, 2020 (source: Ratio)

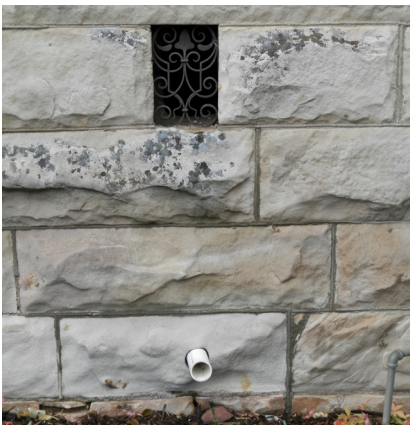


Figure 1-21. Lichen and weathered stone, 2020 (source: Ratio)



Figure 1-22. South east chimney, 2020 (source: Ratio)



Figure 1-23. North east chimney, 2020 (source: Ratio)

Masonry - Brick

Exposed brick is in the basement and attic. Overall, the brick is in fair condition. Primary areas of damage are those where ductwork or other penetrations have been made through the brick walls. The resulting openings left holes in the brickwork. The attempted sealing material between the ducts and the brick has not functioned properly, causing more damage to the surrounding bricks and impacting the integrity of the walls in those areas.

Glazing

The exterior window glazing is in good condition overall with no major cracks or missing panes. A few basement windows have had the glazing removed for ventilation of interior appliances. Stained glass in the building has been repaired and is in good condition



Figure 1-24. Basement brick masonry, 2020 (source: Ratio)



Figure 1-25. Eave attic masonry, 2020 (source: Ratio)



Figure 1-26. Stained glass at main north entry, 2020 (source: Ratio)



Figure 1-27. Stained glass at interior stairway, 2020 (source: Ratio)

Wood

Portico: As viewed from ground level, the wood portico appears to be in fair condition with evidence of cracking and paint peeling. Below the portico, the wood soffit shows evidence of cracking and warping. During the site visit, a substantial yellowjacket nest was located behind the soffit. The wood balustrade wraps around the top of the portico and is in poor condition with areas of major splintering, and multiple areas where the bare wood is exposed. An attempt at protecting the top of this wood was made at some point in the past with the addition of metal exterior roof caps that cover the tops of the rails.

In general, the portico roof eaves and soffits appear are in good condition. The brackets and wood detailing appears intact, with little evidence of rot or damage. The metal gutters and downspouts around the building are in poor to fair condition. The exterior wall finish around the attic is in fair condition. A few areas have paint missing, and some weathering, but most finishes have little to no damage.



Figure 1-28. Portico roof, 2020 (source: Ratio)



Figure 1-29. Portico balustrade on north elevation, 2020 (source: Ratio)



Figure 1-30. Attic exterior, 2020 (source: Ratio)

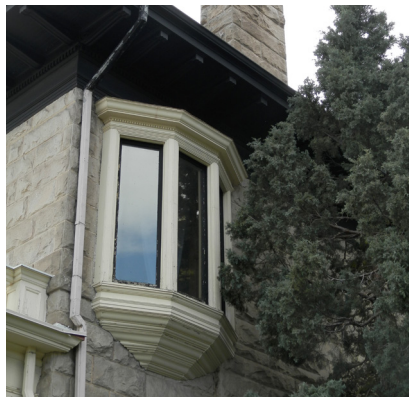


Figure 1-31. Wood window, 2020 (source: Ratio)



Figure 1-32. Roof soffits, 2020 (source: Ratio)

South Porch: The enclosed porch is used as the secondary entrance with a wood ramp providing an accessible entry. The porch walls are bead board and appear to be in fair condition with some warping and cracking. The flooring has been painted and is worn with signs of weathering, primarily near the exterior door. An entry ramp and staircase have been added to the south porch, and are not original to the building. These additions are in fair condition and have significant rust is on the metal elements that connect the ramp to the concrete slab below. Adjacent to the porch on the east side is a staircase leading to the basement. These stairs are covered by a plywood panel.

Foyer: The foyer has wood wall paneling, a wood fireplace surround, and wood detailing leading up to the main staircase. The majority of these decorative wood elements are in good condition. The front door is a Dutch door and is fully functioning. The detailing appears to be intact with minimal wear. Two primary areas of wear are around the window seat and at the exposed treads of the staircase.



Figure 1-33. South porch ramp, 2020 (source: Ratio)



Figure 1-34. South porch interior, 2020 (source: Ratio)



Figure 1-35. South porch staircase to basement, 2020 (source: Ratio)



Figure 1-36. Foyer wood paneling, 2020 (source: Ratio)



Figure 1-37. Main staircase, 2020 (source: Ratio)

Windows and Doors: The interior portion of the windows are in good condition. Many interior windowsills show significant wear, weathering, or water damage. Many of the circular and oval windows have significant cracking in their frames and sashes. In general, the doors are in fair condition. The hardware is worn, scratched, or scuffed. At some locations where the doors have been painted, the painted finish is scratched or peeling.

The exterior portion of the wood windows and doors vary from fair to poor condition based upon their locations. Many exterior frames, sills, and sashes have peeling and cracking paint over most exterior surfaces.



Figure 1-38. Oval attic window, 2020 (source: Ratio)



Figure 1-39. Interior sill at the south facing window in second floor bathroom, 2020 (source: Ratio)



Figure 1-40. Interior west facing circular window in first floor closet, 2020 (source: Ratio)

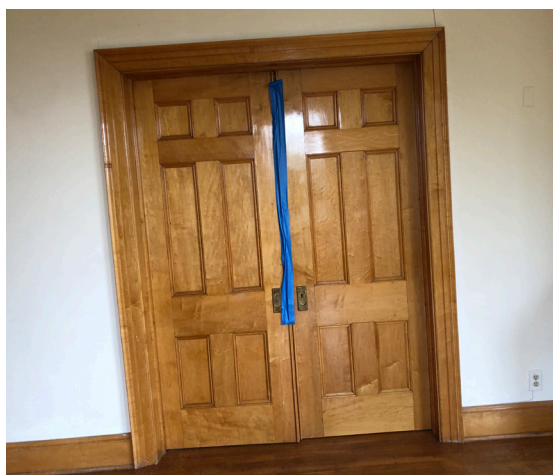


Figure 1-41. Interior wood pocket doors, 2020 (source: Ratio)



Figure 1-42. Painted interior door Ratio, 2020 (source: Ratio)



Figure 1-43. Door hardware, 2020 (source: Ratio)

Wood Flooring: Wood flooring throughout the building is in fair condition. Aside from a few areas where there are burn marks and water damage, most of the hardwood flooring has general wear and scratching. In the attic, wood flooring appears to be in worse condition than the rest of the building with gaps between boards, and noticeable scratching. The flooring does not appear to have the same quality or finish as the rest of the building.

Attic: The walls and ceilings in the attic are wooden bead boards, which is in fair condition overall, with some areas where the panels have been replaced. Water damage is visible below the exterior windows. The stairs to the attic are in fair condition but are severely worn and scratched on the risers and treads. Wood guardrails are in good condition with some minor scrapes and scuffs on the interior surfaces.



Figure 1-44. Wood flooring, 2020 (source: Ratio)



Figure 1-45. Attic flooring, 2020 (source: Ratio)



Figure 1-46. Attic finishes, 2020 (source: Ratio)

Miscellaneous Interior Wood Components: Wood fireplace surrounds are on both the first and second floors and are in good condition. A large built-in cabinet with stained glass doors and a mirrored back wall is on the first floor and is in good condition. Many second-floor closets have built in cabinetry and are in fair condition. One cabinet has a missing drawer, and most have small scratches and dents on the top surfaces.



Figure 1-47. Attic staircase, 2020 (source: Ratio)



Figure 1-48. Closet built-in cabinets, 2020 (source: Ratio)



Figure 1-49. Closet built-in cabinets, 2020 (source: Ratio)



Figure 1-50. Fireplace, 2020 (source: Ratio)



Figure 1-51. Fireplace, 2020 (source: Ratio)



Figure 1-52. Built-in cabinet, 2020 (source: Ratio)

Interior Finishing/ Detailing

Apart from some detailing on the one of the first-floor ceilings, the interior wall and ceiling finishes are a mix of painted and unpainted wallpaper. Previous attempts to remove the wallpaper were unsuccessful, and the wallpaper was painted over. Most finished surfaces are in good condition. A few areas have peeling wallpaper. A portion of the plaster finish has come off the wall in the second-floor closet.

Tiling: The basement kitchen and restrooms on each floor have tile floors. In the second level restroom the tile wainscot and floor are in good condition. Adjacent to the restroom is a separate shower that has tile walls and concrete flooring. The tile is in good condition but is not original to the building or in keeping with the character. The first-floor restroom was modified for accessibility. The floor tile is in good condition and matches the character of the building. The walls in the first-floor restroom are a bead board wainscot with wood trim that are in good condition. In the basement, the kitchen and restroom floor tiles are not original to the building, but are in fair condition. Portions of the grout need repair.

Roofing

Without roof access, the full condition of the roof could not be verified. Of what could be seen from ground level, the shingles are in fair condition. Some edges are weathered and torn. Metal flashing around the chimneys and roof penetrations are in fair condition as well with some areas in need of sealant repair. The small portion of the flat roof that can be accessed from the attic window has a membrane roofing system that is in good condition. This is not original to the structure. It is suggested that a roofing consultant be procured by the city as a separate scope in order to conduct a thorough analysis of the roof prior to any rehabilitation work.

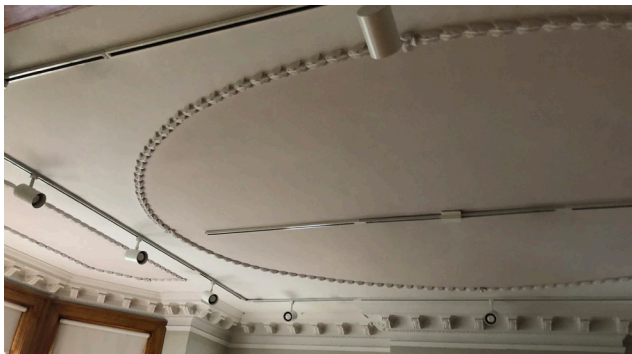


Figure 1-53. Ceiling detailing, 2020 (source: Ratio)



Figure 1-54. Peeling wallpaper, 2020 (source: Ratio)



Figure 1-55. Second floor restroom, 2020 (source: Ratio)

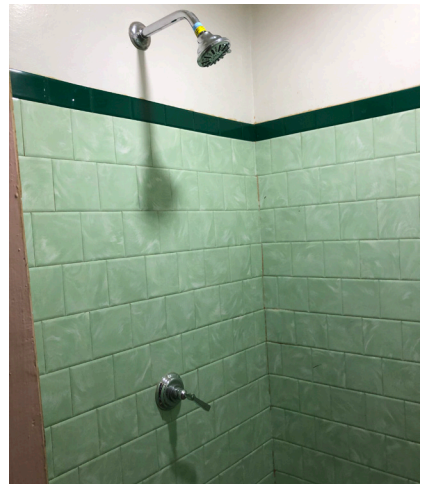


Figure 1-56. Shower tile, 2020 (source: Ratio)



Figure 1-57. First floor restroom, 2020 (source: Ratio)



Figure 1-58. Basement kitchen, 2020 (source: Ratio)

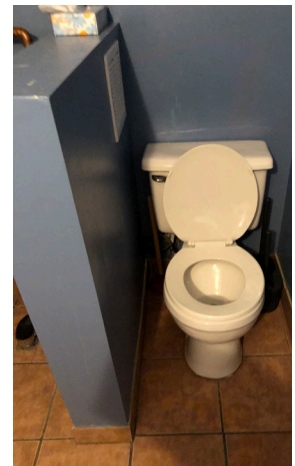


Figure 1-59. Basement restroom, 2020 (source: Ratio)

Mechanical

Most of the building is conditioned with radiators for heating and no method for cooling other than natural ventilation through the exterior windows. The attic has its own air conditioning system for heating and cooling. At the time of the site visit, all heating and cooling systems appeared to be in working order. A building systems engineer will need to be procured by the city to conduct a thorough analysis to confirm compliance and performance of existing systems.

Other

Basement Finishes: The basement kitchen has an acoustical tile ceiling that is in fair condition. Most of the basement flooring is concrete, which is in good condition other than a rough transition between two slabs at one of the doorways. The finished rooms of the basement, other than the kitchen and restroom, have carpeted floors that are in good condition but not original. These same rooms have doors that are not original to the building and appear to be hollow core construction. Exterior windows in the basement are in fair to poor condition with a few locations that have missing or broken hardware. Some windows have been nailed shut.

Exterior Basement Staircase: The exterior staircase is covered and inaccessible from the exterior. The steps are concrete. They appear to be in fair condition, though they do not appear to meet current code requirements regarding tread and riser dimensions.



Figure 1-60. Radiator, 2020 (source: Ratio)



Figure 1-61. Concrete floor transition, 2020 (source: Ratio)



Figure 1-62. Exterior basement staircase, 2020 (source: Ratio)



Figure 1-63. Basement finishes, 2020 (source: Ratio)

Structural Condition

Harbeck-Bergheim House is a stone masonry walled building with wood-framed roof and floor structures. Floor plans and elevations and a conditions report prepared by CSC in 1991 were available during this assessment; however, no structural drawings, original or otherwise, were available. The structural systems are described below based on our site observations and documentation of the structure.

Foundation

Harbeck-Bergheim House has a combination of coursed stone and rubble stone exterior bearing walls. The interior basement bearing walls are 3-wythe brick masonry that is constructed of red-clay brick units that are slightly larger than today's standard brick size. The foundation was not exposed or observed below grade, so the depth and presence of footings are unknown, however they are likely continuous masonry strip footings.

Overall, the foundation is in good condition with no indications of wide-spread settlement such as cracking in the walls above grade. Efflorescence was evident at the interior faces of the basement walls that is evidence of past water infiltration (Figure 1-59). The basement slab slopes near the southeast corner of the building, however this was likely intentional to allow the slab to drain and is not indicative of structural settlement. An exterior building condition evaluation was prepared by CSC in February 1991. Many of the eroded mortar joints and water infiltration issues identified in the report appear to have been addressed since the report was issued.

Roof Framing

The house has a steep hip roof with large, low-sloped eaves with hip-roofed dormers on three sides and a flat roof overhang over the front porch. The roof consists of 1 ¼" board sheathing supported by roof framing of 1 ½" x 5 ½" rafters spaced at 16". The ceiling framing of the attic consisted of 2x4 joists spaced at 16". Blown in insulation was evident above the ceiling, indicating that the structure currently has a cold roof above the occupied space.

The roof appears to be in good condition with no sagging or displacement to indicate any structural deficiencies. The areas of observed wood framing appear to be in good physical condition showing no signs of deterioration.



Figure 1-64. Efflorescence on basement walls, 2020
(source: JVA)

Floor Framing

The basement has a new concrete slab-on-grade with a french drain along the exterior walls, apparently installed following the recommendations of the 1991 report to address perimeter wall leakage issues. The first, second, and attic floor systems are wood framed systems with joists spanning between bearing walls. In the basement, areas of the first-floor framing were visible and consist of 2x12 joists spaced at 12" spanning in the north-south direction. The header visible at the masonry wall openings consisted of seven 2x12 members. The framing for the other floors was not exposed, however, they most likely also span in the north-south direction and consist of similar member sizes.

Overall the floor systems are in good condition; there is no sagging or displacement to indicate any structural deficiencies.

Wall and Construction

The structure has exterior stone bearing walls and interior multi-wythe brick bearing walls. The exterior walls have coursed rectangular ashlar units at the exterior with a rubble stone back-up at the interior. The stone is a buff-colored sandstone. The original mortar joints appear to be a soft lime-based mortar. There are several eras of repointing mortar on the building including a buff-colored mortar that appears to have similar strength to the original lime mortar as well as a grey colored mortar that has a high portland cement content and is harder than the original mortar.

Interior bearing walls on the first and second floor are wood framed but were not exposed during the site observation.

The exterior stone of the house is in overall good condition with the exception of typical weather-related deterioration (erosion) of the sandstone units in Boulder's freeze-thaw climate. The deterioration is more pronounced at the walls near grade at the porch and entry stair. There are isolated cracks including thermal movement-related cracking of mortar joints at the porch and cracked ashlar units near the front entry door jamb. Many of the eroded mortar joints and water infiltration issues identified in the 1991 report appear to have been addressed since the report was issued. Lichen growth is present on the coping stones of the porch however it does not appear to be causing material damage of structural concern to the ashlar units.

Lateral force resisting system (LFRS)

The LFRS of the house consists of masonry bearing walls and wood floor and roof diaphragms. The LFRS is in good condition. It has performed well over the lifetime of the structure.

Other Structural Features

The site includes three stone chimneys, two on the east and one the west side of the house. The porch railing and staircase are constructed of a stone similar to that used for the building. The weather-related erosion of stone units and mortar joints in the chimneys has progressed to the point that some stones appear loose and could dislodge from the chimney.



Figure 1-65. Erosion of stone at locations of graffiti removal, 2020 (source: JVA)



Figure 1-66. Deteriorated stone at chimney, 2020 (Source: JVA)



Figure 1-67. Thermal related cracking at header, 2020 (source: JVA)



Figure 1-68. Erosion of stone near grade and lichen growth at coping, 2020 (source: JVA)

Structural Condition Definitions

This structural condition assessment makes use of terms concerning the condition of building components that are defined as follows:

Good - A structural element, component or system is considered in good condition when it is undamaged, structurally sound or functionally operational, and performing as intended. No specific repairs are required, and only minor or routine maintenance is needed.

Fair - An element, component or system is considered in fair condition when there are signs of wear or deterioration, such as freeze-thaw deterioration, corrosion, or wood decay exceeding expectations based on the age and use of the element, that may be reducing the structural capacity of the member. Replacement or repair of the element may be required.

Poor - An element, component, or system is considered in poor condition when it no longer performs its intended structural purpose. Deterioration or damage reduced the load carrying capacity of the element and simple repairs cannot be justified or are not expected to be effective. The element may show signs of imminent failure. Major repair or replacement will be required.

Note: Condition ratings reported are based upon visual observations only. No material testing or exploratory observations have been made. Further investigation could result in modification to condition ratings.

Table 1-1: Condition Assessment of Architectural Features

Primary Features	Description of Primary Materials	Condition
Pavement	Concrete slab on grade	Good
Masonry	Stone, brick	Fair
Glazing	Single pane, stained glass	Good
Wood	Stained and painted wood	Fair
Finishes	Plaster, wall paper, tile	Good
Roofing	Asphalt shingles	Good
Additional Building Systems		
Mechanical	Radiators, Attic HVAC	Good
Fire Protection & Suppression		Not Assessed
Irrigation	(Backflow preventer, spray heads, etc.)	Not Assessed
Electrical	Lighting and power	Good
Plumbing		Good

Table 1-2: Condition Assessment of Structural Features

Primary Features	Description of Primary Materials	Condition
Foundation	Exterior Foundation Walls: coursed and rubble stone Interior Basement Walls: 3-wythe brick masonry Footing: Likely continuous masonry strip footing	Good
Roof Framing	Wood-framed system	Good
Floor Framing	Wood-framed system	Good
Wall Construction	Exterior: Stone bearing walls Interior: Multi-wythe brick basement bearing walls, wood-framed bearing walls	Good
Lateral Force Resisting System (LFRS)	Masonry bearing walls and wood floor and roof diaphragms	Good
Other Structural Features	Stone chimneys, porch railings, and exterior stairways	Poor

Contributing and Non-Contributing Features

Table 1-3: Contributing and Non-Contributing Features

Feature	Condition	Contributing/ Non-Contributing
Topography		
Sloped lawn	Good	Contributing
Level terrace (at Building)	Good	Contributing
Circulation		
Sandstone paved sidewalk along Euclid Avenue (city ROW)	Poor	Contributing
Sandstone paved sidewalk along 12th Street (city ROW)	Poor	Contributing
Sandstone steps and sandstone paving from Euclid Avenue to main entry	Fair	Contributing
Sandstone walk from 12th Street to rear entry	Poor	Contributing
Wood ramp at back entry	Poor	Non-Contributing
Driveway (asphalt paved)	Poor	Contributing
Parking (asphalt paved)	Poor	Non-Contributing
Buildings and Structures		
Harbeck-Bergheim House		Contributing
Vegetation		
Trees along Euclid Avenue	Fair	Contributing
Trees along 12th Street	Fair	Contributing
Trees, shrubs and perennials along building foundation	Good	Contributing
Memorial Garden (including brick paved path)	Fair to Good	Non-Contributing
Views and Viewsheds		
View to Boulder Flatirons from lawn	Good	Contributing
View from Euclid Avenue to building	Good	Contributing
Small-Scale Features		
Trash bins	Good	Non-Contributing
Signs	Good	Non-Contributing

ADDITIONAL IMAGES

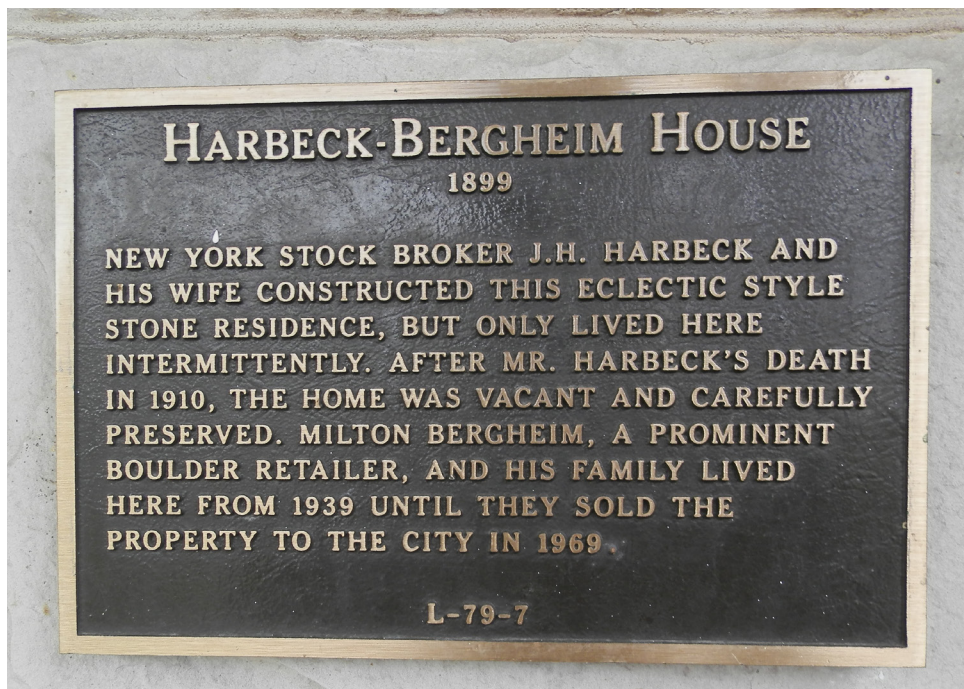


Figure 1-69. Harbeck-Bergheim House Landmark Designation plaque, 2020 (source: Ratio)



Figure 1-70. Front (north) elevation, 2020 (source: Ratio)



Figure 1-71. East elevation, 2020 (source: Ratio)



Figure 1-72. South elevation, 2020 (source: Ratio)



Figure 1-73. West elevation, 2020 (source: Ratio)



Figure 1-74. Basement window, 2020 (source: Ratio)



Figure 1-75. Attic exterior, 2020 (source: Ratio)



Figure 1-76. Second floor wood floor damage, 2020 (source: Ratio)



Figure 1-77. Second floor looking north, 2020 (source: Ratio)

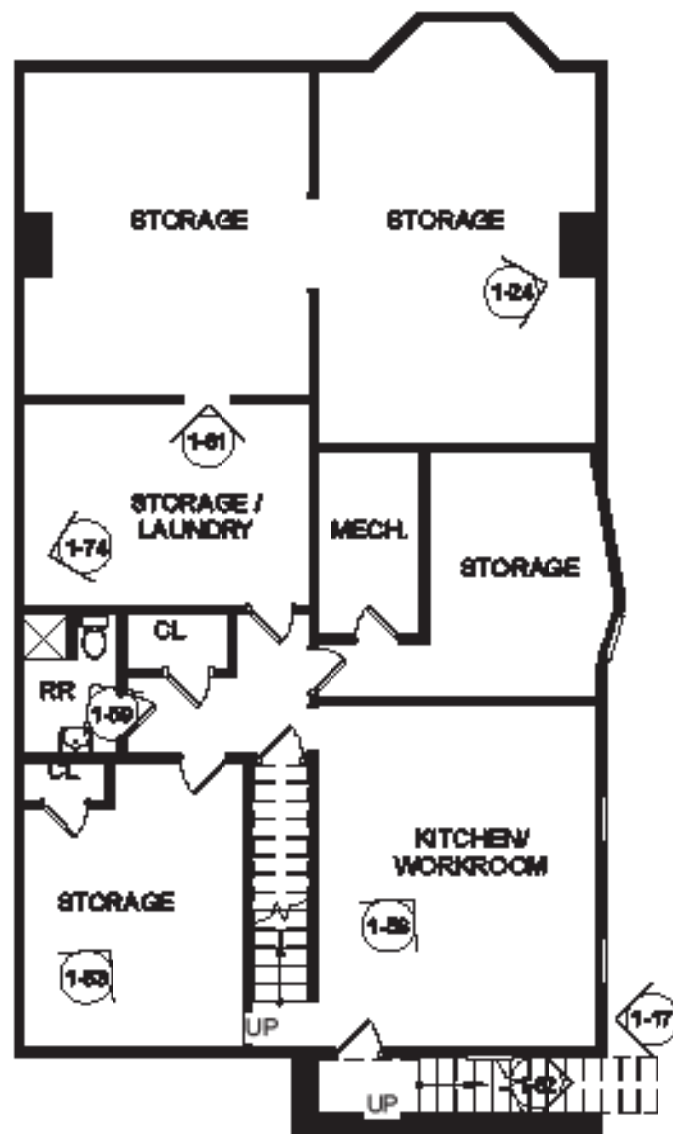


Figure 1-78. Interior arch detailing on second floor, 2020 (source: Ratio)



Figure 1-79. Wood detailing at stair, 2020 (source: Ratio)

SKETCHES



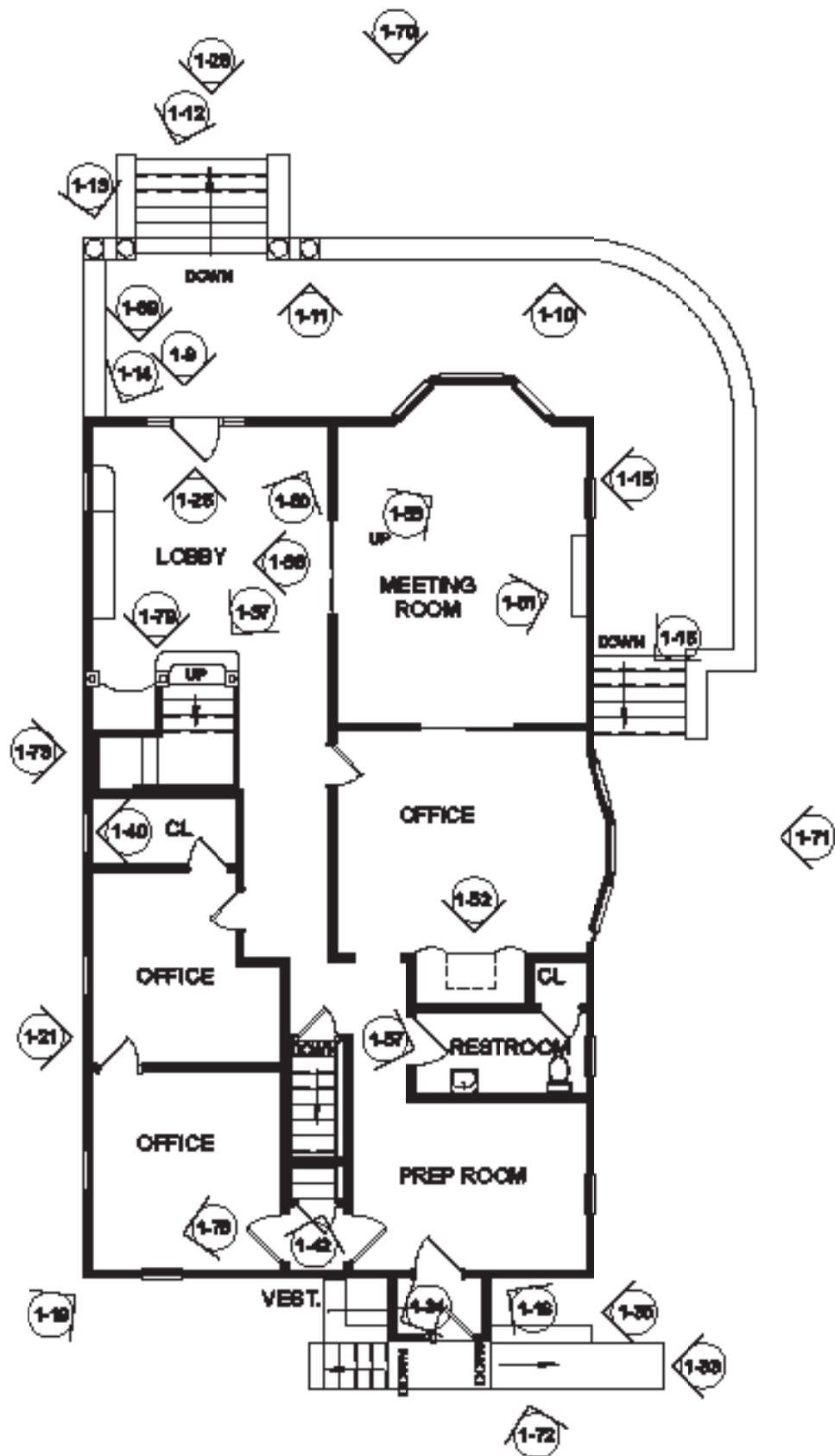
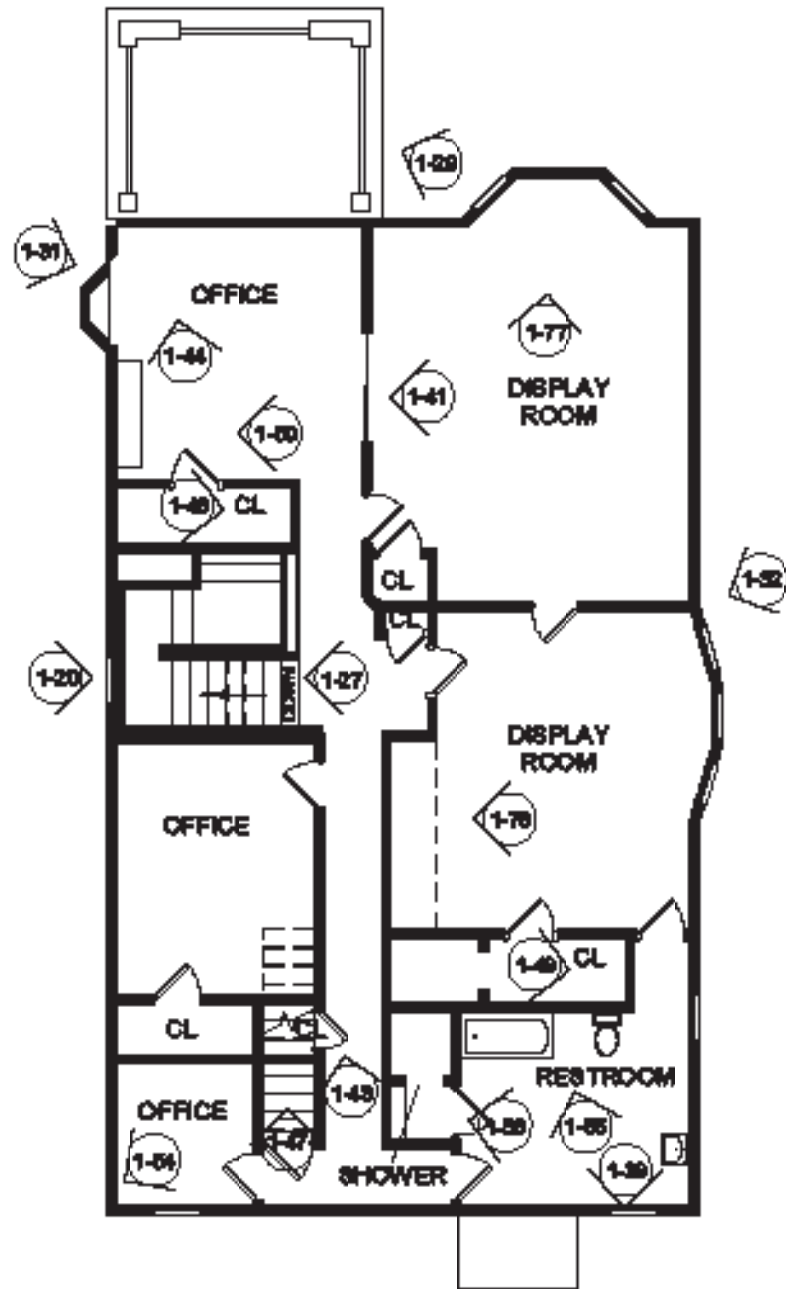


Figure 1-81. First Floor Plan, 2020 (source: Ratio)



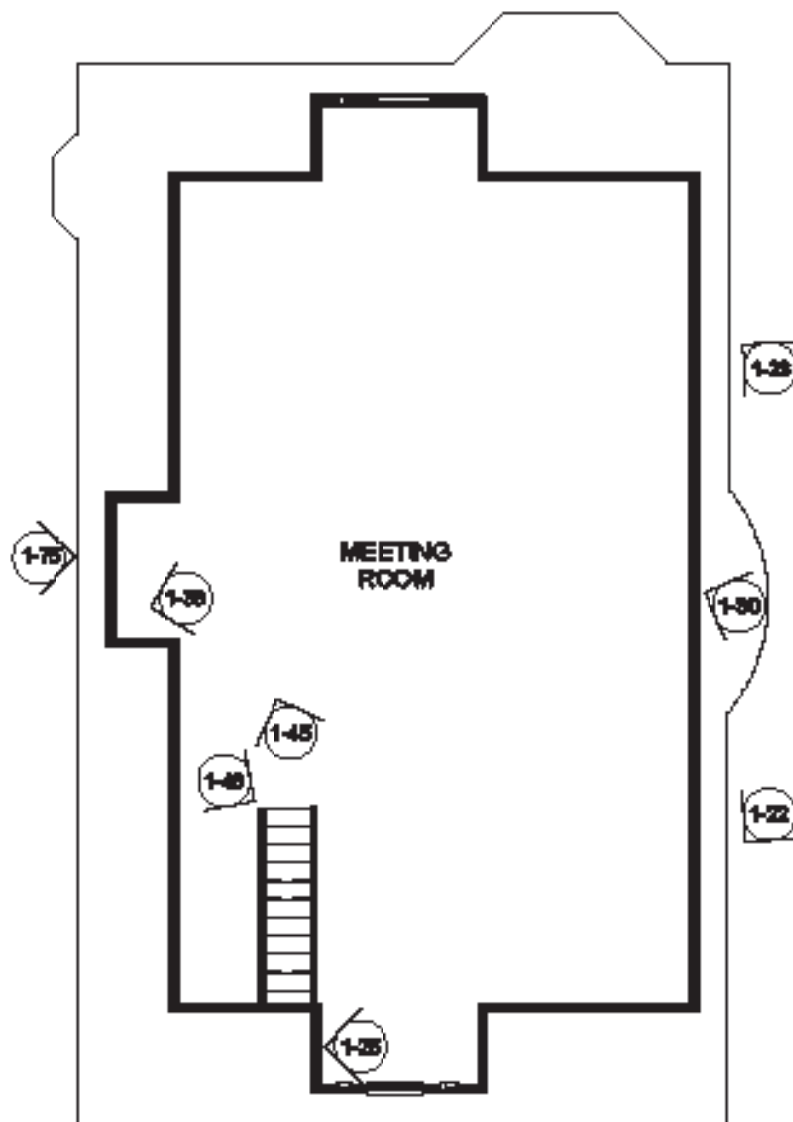


Figure 1-83. Attic Floor Plan, 2020 (source: Ratio)

TREATMENT

Introduction and Overview

Rehabilitation is the selected treatment approach for the Harbeck-Bergheim House. This approach emphasizes the preservation and repair of the property, as well as allowing for adaptive reuse to meet future contemporary needs. This section provides actions and recommendations to guide the holistic preservation and rehabilitation of the Harbeck-Bergheim House to ensure its future as a valued landmark.

Treatment guidance is based upon review of historic documentation, assessment of condition and integrity, and in support of current and planned future uses. This section provides treatment actions to protect character-defining features, and repair contributing features and the setting. Treatment recommendations identify where repair is needed to reveal historic features, retain character, and maintain integrity. Work planned for the Harbeck-Bergheim House shall be guided by *The Secretary of the Interior's Standards for the Treatment of Historic Properties*, and accomplished by using accepted preservation methods detailed by the National Parks Service, and Chapter 9-11 (Historic Preservation) of the Boulder Revised Municipal Code.

Treatment guidance assists in guiding repairs to improve the functionality of the Harbeck-Bergheim House for public use and for improved operations for the City of Boulder. Treatment guidance applies to the entirety of Harbeck-Bergheim House and property. The guidance should be followed when proposing modifications to the structure and property.

Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, or additions if those portions or features that convey its historic, cultural, or architectural values are preserved. Rehabilitation allows for new additions to be integrated within the study area in a manner that preserves established patterns and features. Additional actions include those that preserve, repair, and retain contributing features and qualities that contribute to the historic character.

Guiding Principles

The Harbeck-Bergheim House serves as a community center and event space for the City of Boulder Parks and Recreation Department. The architecturally and historically significant structure is characterized by its eclectic Colonial Revival and Edwardian Vernacular styles. The house's association with the former Harbeck and Bergheim residences, as well as its impressive architectural features, make the house a valued landmark within the University Hill neighborhood of Boulder.

Guiding Principles

- Preserve, protect, and repair the Harbeck-Bergheim House's contributing architectural and structural features including characteristics that contribute to its historic character on the interior and exterior of the residence.
- Maintain and enhance a variety of community uses in the interior of the structure, as well as outside with the surrounding landscape.
- Provide accessibility for all through exterior and interior modifications.

Treatment Guidance

Treatment guidance provides recommendations for the preservation and repair of Harbeck-Bergheim House. Treatment guidance is presented according to six landscape characteristics - topography, spatial organization, circulation, buildings and structures, small scale features, and vegetation.

Topography and Spatial Organization

Protect Harbeck-Bergheim House's site composition by maintaining the sloped and terraced topography, open front lawn and perimeter and street trees.

- Ensure future tree plantings or new additions do not diminish views to the Harbeck-Bergheim House or to the Boulder Flatirons.

Circulation

Protect Harbeck-Bergheim House's original features including sandstone steps, sandstone paving from Euclid Avenue to the main entry, and sandstone paving from 12th Street to the rear entry.

- Repair stone paving;
- Repair asphalt driveway and parking;
- Consider installing an ADA-compliant accessible route to the front porch and main entry.

Buildings and Structures

Rehabilitate, stabilize, and preserve the Harbeck-Bergheim House.

- Preserve and repair extant architectural features in-place including roofing, ceilings, walls, flooring, openings, and appendages.
 - Repair and replace damaged or missing exterior drainage;
 - Repoint exterior masonry walls and chimneys and replace disintegrating stones;
 - Conduct a trial of different stone consolidants on a discrete area of the building to determine the most appropriate coating to protect the masonry;
 - Conduct a trial of different anti-graffiti coatings on the walls to find a suitable coating for the building's masonry accessible for tagging;
 - Rehabilitate the wood porch portico in its entirety – wood balusters and soffits, stone masonry columns, stabilize and replace roofing material, etc.;
 - Replace broken or missing window and door components –window and door screens, hardware, and panes.
- Preserve and repair extant structural features in-place including the roof and floor framing, masonry walls, and other structural features.
 - Foundation Walls - Rake out deteriorated mortar joints of the exposed foundation walls and repoint with an appropriate mortar as determined by a mortar analysis of a sample of the original mortar. Remove the efflorescence with a poultice then monitor the interior of the basement walls for signs of water infiltration or return of efflorescence. Further water management treatments may be necessary.
 - Floor Framing - If the building will be utilized for a use other than residences or offices, further investigation and analysis of the floor framing configuration and capacity will be necessary to determine if the structure needs to be strengthened.
 - Roof Framing - The addition of insulation to the eaves in the attic will not require roof strengthening. Since the current roof structure is performing adequately and the majority of the attic is already insulated, insulating the eaves would not cause a significance to the roof snow load.
 - Walls - Repair the masonry walls as noted above to improve the structural longevity of the building.

- Preserve, repair, and replace extant architectural finishes to match in-kind.
 - Repair and refinish interior plastered surfaces and wood trims;
 - Protect interior wood finishes - install blinds/window coverings throughout;
 - Refinish all worn painted surfaces - consider conducting a paint analysis to inform original color schemes to use when repainting interior and exterior features;
- Provide mechanical, electrical, and plumbing upgrades as necessary.
- Provide insulation for attic HVAC ducts to improve system efficiency.
- Explore preventative plumbing/drainage based on 2018 inspection.
- Upgrade exterior lighting to appropriate lighting levels for safety and security.
- Provide upgrades for security and safety.
 - Upgrade all entry point locking for current and future usage needs.
 - Evaluate video/audio monitoring systems for security and safety.
- Consider ADA-compliant access across all four levels, possibly elevator access (either on exterior or interior) feasibility of

Vegetation

Original vegetation includes the lawn expanse with mature deciduous trees lining Euclid Avenue and 12th Street.

- Protect street trees along Euclid Avenue and 12th Street;
- Prune existing mature trees and replace missing or damaged trees using in-kind species similar to the original form, texture and species;
- Consider native and low water use and fire resistant species along bermed edges;
- Monitor trees and vegetation with close proximity of the foundation for moisture damages.

Top Priorities

The following actions to improve or repair physical features or landscape characteristics are the top recommended priorities. These actions meet the following criteria: impact for safety / stabilization; threat of loss of integrity; poor condition; potential impact due to enhancement; critical path / adjacency to other planned work; or relevancy to other current plans.

These priorities do not diminish the necessity to complete all recommendations to protect the structure over the long-term, but rather highlight the current highest priorities.

1 - Conduct repairs for the safety and stabilization of contributing and character-defining features.

- Assess structural integrity of chimneys based on visual inspection of deteriorate stones on the exterior. Undertake repairs as needed and rake and repoint mortar joints.
- Install window treatments to prevent uv damage to interior surfaces increase security, and provide energy efficiency.

2 - Conduct repairs to improve the condition of contributing and character-defining features of Harbeck-Bergheim House.

- Remove efflorescence from basement walls and further investigate water infiltration through foundation walls. Evaluate exterior grading for proper drainage and make improvements as needed.
- Repair wood windows casings and sills. Replace wood window casings and wood sills if repair is not adequate.

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