



CHAUTAUQUA PARK

COLORADO CHAUTAUQUA NHL



MAY 2023

ACKNOWLEDGEMENTS

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History Colorado, State Historical Fund*

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IMAGE CREDITS

Current-day (2020, 2021, 2022) photographs provided by Mundus Bishop and JVA. Historic photographs (pre-2020) provided by the City of Boulder and from online archives at the Carnegie Branch Library for Local History and Boulder Historical Society Collection, unless otherwise noted.

STATEMENT

The report documents the history, significance, integrity and existing condition and provides treatment guidance for the resource. It does not evaluate for listing in the National Register of Historic Places. If the resource has been previously listed or evaluated it is referenced and footnoted.



*This project is / was paid for in part by a History Colorado State Historical Fund grant.
The content and opinions contained herein do not necessarily reflect the views or policies of History Colorado.

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COMMON TERMINOLOGY

State/National Register Terminology^{1 2}

Area of Significance - an aspect of historic development in which a property made contributions for which it meets the National Register criteria, such as architecture, entertainment or recreation.

Character-Defining Features - the elements that account for the overall shape of the building, its materials, craftsmanship, decorative details, interior spaces and features, as well as the various aspects of its site and environment.

Compatible Feature - a prominent or distinctive aspect, quality, or characteristic of a cultural landscape that contributes significantly to its physical character. Land use patterns, vegetation, furnishings, decorative details and materials may be such features.

Contributing Resource - a building, site, structure, object, or feature adding to the significance of a property.

Designation Boundary - the boundary defined by the Landmarks Board and City Council that encompasses a historic property. This boundary represents a physical area in which any future alterations have historic preservation review associated with them.

Eligibility - ability of a property to meet the State/National Register criteria.

Evaluation Criteria - the established criteria for evaluating the eligibility of properties for inclusion in the State Register and National Register of Historic Places and its level of significance—local, state, or national.

Historic Context - information about historic properties based on a shared theme, specific time period and geographical area.

Landscape Characteristics - the tangible and intangible aspects of a landscape from a historic period; these aspects individually and collectively give a space its historic character and aid in understanding its historical importance.

Local Landmark - a local area or building that has been determined to have a special character and historic, architectural, or aesthetic or value to the city.

Period of Significance - the span of time in which a property attained the significance for which it meets the State and/or National Register criteria, and/or Local Landmarks criteria.

Property Type - a grouping of properties defined by common physical and associative attributes.

Integrity³

Integrity is the ability of a property to convey its significance. It is assessed to determine if the characteristics that shaped the property during the period of significance are present as they were historically.

Location is the place where the historic property was constructed or the place where the historic event occurred.

Setting is the physical environment of a historic property.

Design is the combination of elements that create the form, plan, space, structure, and style of a property.

Materials are the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property.

Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.

Feeling is a property's expression of the aesthetic or historic sense of a particular period of time.

Association is the direct link between an important historic event or person and a historic property.

- 1 U.S. Department of the Interior, National Park Service, "National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation" (Washington DC: Department of the Interior, National Park Service, 1997); Office of Archaeology and Historic Preservation, "How to Nominate a Property to the State Register." (Denver, CO: History Colorado, 2018).
- 2 Charles A. Birnbaum and Christine Capella Peters, *The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for the Treatment of Cultural Landscapes* (Washington DC: Department of the Interior, National Park Service, 1996).

PROPERTY OVERVIEW

Property Name: Chautauqua Park—BPR-owned and managed property within Colorado Chautauqua NHL
Location: 900 Baseline Road, Boulder, CO 80302
Property Address: Baseline Road and 9th Street, Boulder, CO 80302
Latitude/ Longitude: 39.5957 / -105.1653
Legal Property Description: PT NE 1/4 1-1S-71 75 AC M/L Land Under Chautauqua Park
Parcel Tag(s): 157901100001
Acreage / Square Footage: 14 Acres / 609,262 SF (city-managed property)

Date of Construction:
Designer(s): Land purchased for Chautauqua (1898); Arbor (1908); Chautauqua Green (1910); Loop Road (1912); Shelter House, Queen's Gate & King's Gate (1917)
W.W. Parce, Landscape Architect

DESIGNATION, ELIGIBILITY, & CLASSIFICATION SUMMARY**

Current Designation Level <input checked="" type="checkbox"/> Local Landmark (Local Historic District) <input type="checkbox"/> State Register of Historic Places (SRHP) <input checked="" type="checkbox"/> National Register of Historic Places (NRHP) <input checked="" type="checkbox"/> National Historic Landmark (NHL)		Ordinance & Listing Information City of Boulder Local Landmark No: <u>HD-78-2</u> Ordinance No: <u>4382</u> Ordinance Date: <u>September 5, 1978</u> State ID: <u>5BL361</u> National Historic Landmark No: <u>78000830</u>																							
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** Summary is for the Chautauqua Green and inclusive of the City of Boulder managed property within the National Historic Landmark.

4 Martha Vail, "The Colorado Chautauqua," National Historic Landmark Nomination Form (Washington, DC: U.S. Department of the Interior, National Park Service, 2005), 46.

5 Ibid. Evaluation is based on this document.

DESIGNATION BOUNDARY

Chautauqua Park is within the 14-acres of property managed by the City of Boulder in the Colorado Chautauqua National Historic Landmark (NHL). Chautauqua Park is the property managed by Boulder Parks and Recreation (BPR) and includes Chautauqua Green, Clematis Drive, Sumac Drive, The Arbor, The Shelter House, Lincoln Street Steps (Queen's Gate), Entrance Gate (King's Gate), and the playground, tennis court, natural area and parking. The remainder of the 14-acres includes the Ranger Cottage, grounds and parking managed by City of Boulder Open Space and Mountain Parks (OSMP). The remaining twenty-six acres of the Colorado Chautauqua NHL are managed by the Colorado Chautauqua Association (CCA), and includes multiple cottages, the Auditorium, Dining Hall, Academic Hall, and several gardens and features south of Clematis Drive. The CCA manages and preserves this portion of the site for lodging, programming, and venues for private events.

The designation boundary of the property, Colorado Chautauqua National Historic Landmark, "includes all the resources that were historically part of the Colorado Chautauqua and that maintain historic integrity."⁵

The HiPP addresses property managed by BPR known as Chautauqua Park in this document.



Figure 1-1. Designation boundary, Colorado Chautauqua NHL in white and city-managed property outlined in blue, known as Chautauqua Park. The HiPP addresses Chautauqua Park and excludes the Ranger Cottage and its grounds and parking (source: Mundus Bishop)

⁵ Vail, "The Colorado Chautauqua," 64.

The property was designated by the City of Boulder as Chautauqua Historic District, Ordinance Number 4382, on September 5, 1978. It was listed in the National Register of Historic Places on March 21, 1978. The property was designated a National Historic Landmark on February 10, 2006.

HISTORY & SIGNIFICANCE

Historic Context

Statement of Context

Chautauqua Park and environs and structures managed by the Boulder Parks and Recreation are part of the Colorado Chautauqua National Historic Landmark (NHL). The NHL is associated with the themes of “Creating Social Institutions and Movements” and “Expressing Cultural Values,” with a period of significance for that begins with its founding as the Texas-Colorado Chautauqua in 1898 and ends in 1930 when the National Chautauqua Movement reached its nadir.⁶ The boundary of the NHL corresponds with the City’s historic district and includes the historic chautauqua grounds and all its resources.⁷ Colorado Chautauqua NHL is nationally significant as an outstanding representative of the Chautauqua Movement, America’s first truly national mass educational and cultural movement.⁸

Background History

Prior to 1898, the land that was to become the chautauqua was originally Batchelder Ranch, which consisted of agricultural lands and a ranch property. Development of the chautauqua began in 1898 with construction of multiple buildings including the Auditorium and Dining Hall, as well as an entrance at Baseline Road (known as Park Avenue at the time). Several roads were graded at this time, including Clematis Drive (Texas Avenue) and Kinnikinic Road (Chautauqua Avenue).⁹ The land that would become Chautauqua Park served as horse and carriage parking during the early development of the chautauqua.¹⁰

In 1901 the Boulder Improvement Association hired W.W. Parce to complete a plan for the area that included plans for Chautauqua Green (known as Tennis Park). Between 1908 and 1910 The Arbor was built along the north-south pedestrian route and Chautauqua Green was seeded with grasses. In 1912 Sumac Drive was connected to Clematis Drive to create a one-way loop road around the central oval lawn. Later improvements included construction of the original playground (1913), Shelter House, Lincoln Street Steps (Queen’s Gate), Entrance Gate (King’s Gate), and stone retaining walls connecting these structures (1917).¹¹

Between 1930 and the early 1960s, Chautauqua Green remained relatively unchanged. In 1964, a tennis court and a parking lot were installed east of the playground. Forty acres of the chautauqua, including the Chautauqua Park, were designated as a City of Boulder Historic District and listed in the National Register of Historic Places (NRHP) in 1978.

The most significant change following the site’s 1978 listing in the NHRP was modification of the loop road within Chautauqua Green to provide additional parking. The roadways were narrowed, several gutters were altered, the entrance road altered, and two interior greenspaces were removed. In addition to these roadway alterations, the Ranger’s Cottage and west parking lot were built.¹² Following its designation as a National Historic Landmark, relatively few changes occurred within Chautauqua Park except for improvements along Baseline Road (2017) and an upgrade to the playground equipment (2020).

Definition of the Context

As part of the Colorado Chautauqua NHL, which is associated with the themes of “Creating Social Institutions and Movements” and “Expressing Cultural Values,” Chautauqua Park is associated with the chautauqua movement and the values expressed by the people who participated. The Chautauqua Movement developed in the late 19th century to spread adult education to rural and semi-rural areas throughout the United States. In addition to bringing educational opportunities to regions with limited access to post-secondary education, chautauquas offered music and entertainment that allowed for further expression of cultural values within rural communities.¹³

6 Vail, “The Colorado Chautauqua,” 4, 45.

7 Ibid., 64.

8 Ibid., 46.

9 Mundus Bishop, *Chautauqua Park Historic District: Cultural Landscape Assessment and Plan* (Boulder, CO: Colorado Chautauqua Association, 2004), 8.

10 Vail, “The Colorado Chautauqua,” 6-7.

11 Mundus Bishop, *Chautauqua Park Historic District*, Appendix B.

12 Vail, “The Colorado Chautauqua,” 8.

13 Mundus Bishop, *Chautauqua Park Historic District*, 27.

Development of the Theme or Area of Significance

Colorado Chautauqua NHL developed as a response to the national Chautauqua Movement. The founders of the Texas-Colorado Chautauqua located the site within a mountain setting provide a western chautauqua that would allow for healthy living and access to recreational opportunities.

Associated Property Types

Hundreds of towns across the United States have parks or districts with the name 'Chautauqua.' This name serves as a reminder to the original land use for many of these spaces. Many included large green spaces where a chautauqua gathering would have occurred. However, few continue to offer Chautauqua-style programming. Only six chautauquas remain in operation, including with the Colorado Chautauqua NHL, which displays the highest degree of integrity of site, structures, and setting. The property exemplifies the unique western expression of the Chautauqua Movement and remains the only continuously operational chautauqua west of the Mississippi River.¹⁴

Physical Characteristics and Integrity

Several of Chautauqua Park's features retain integrity. These include Chautauqua Green and its oval lawn and mature trees, The Arbor, Shelter House, Entrance Gate (King's Gate), Lincoln Street Steps (Queen's Gate), stone rubble walls and stone gutters, and several landscape characteristics including natural systems and features, topography, vegetation, spatial organization, circulation, and views and viewsheds.

Relationship to the National Register Criteria

Chautauqua Park Historic District was listed in the National Register of Historic Places in 1978. The property was deemed significant for its association with the national Chautauqua Movement and importance in the development of culture within Boulder. In 2005 the property was designated as Colorado Chautauqua National Historic Landmark, with significance as "an outstanding representation of America's first truly national mass educational and cultural movement."¹⁵

14 "Chautauqua Movement History," The Colorado Chautauqua Online, accessed February 25, 2021, <https://www.chautauqua.com/2021/chautauqua-movement-history>.

15 Vail, "The Colorado Chautauqua," 27.

Statement of Significance

Chautauqua Park, as part of the Colorado Chautauqua (NHL), is an outstanding representation of the Chautauqua Movement. Colorado Chautauqua NHL is significant under NRHP Criterion A and NHL Criterion 1 for its association with the Chautauqua Movement. Colorado Chautauqua's landscapes are "an outstanding representation of America's first truly national mass educational and cultural movement. Chautauqua brought post-secondary education to millions and teacher training to thousands at a time when less than two percent of adult Americans held high school degrees, when primary and secondary teacher training was rudimentary, unsystematic, or non-existent. Chautauqua, also brought prominent speakers, high culture, and popular entertainments to non-urban areas that had never had such opportunities. While cities were growing more congested, chautauqua emphasized the benefits of outdoor life. Between the founding of the Chautauqua Movement in 1874 and its nadir in 1930, perhaps 45 million Americans had attended a chautauqua.¹⁶

Period of Significance

The period of significance for Chautauqua Park is the same as for Colorado Chautauqua NHL, 1898 to 1930. The period begins in 1898 with founding of the Texas-Colorado Chautauqua and ends in 1930 when the national Chautauqua Movement reached its nadir.

Summary of Use

Historic and Current Use

The area associated with Chautauqua Park was historically used as pasture of Batchelder Ranch and as horse and carriage parking for Colorado Chautauqua. Chautauqua Green was built in 1910 and is considered Boulder's oldest public park. The park was historically used as the site of educational, recreational, and cultural programming.¹⁷

Colorado Chautauqua NHL is currently used as a site for educational, recreational, and cultural programming, and lodging. Chautauqua Green is a neighborhood park and trailhead heavily used by residents, students, and visitors. Chautauqua Green hosts events throughout the year including festivals, outdoor classes and demonstrations, and lecture series with close proximity to Chautauqua Meadow Trailhead and other trails leading to the Boulder Flatirons, Chautauqua Park is often used for parking and gatherings for recreational trips.

16 Vail, "The Colorado Chautauqua," 46.

Colorado Chautauqua is the only one of its kind that was founded as an independent institution and it continues to operate as a chautauqua open to the general public. "It remains the only continuously operating chautauqua west of the Mississippi River and is now the nation's only continuously operating chautauqua with grounds open and free for public enjoyment. Colorado Chautauqua is a living document of the Movement's ideals - learning for all, uplifting entertainment, and leisure in a natural and inspiring setting. The Colorado Chautauqua displays more historic integrity than any other extant chautauqua property."

17 Vail, "The Colorado Chautauqua," 7.

Construction & Alteration History

Date	Event	Source
1898	City of Boulder purchased 171 acres of land for the chautauqua.	Chautauqua Land-scape Guidelines, 7
	Chautauqua Green land served as a horse and carriage parking and entrance into the site during early chautauquas.	Chautauqua NHL Nomination, 6-7
1899	Boardwalk built within Chautauqua Green for access from Baseline Road.	Chautauqua NHL Nomination, 6
1901	The Boulder Improvement Association hired W. W. Parce to complete a plan for Colorado Chautauqua, including Chautauqua Green (originally named "Tennis Park").	Chautauqua NHL Nomination, 6
1908	The Arbor built on the north-south walk at the top of a steep grade, as a rest stop for travelers arriving by trolley on Baseline Road.	Chautauqua NHL Nomination, 8
	The road into Chautauqua widened and improved.	Chautauqua CLA, Appendix
1910	Chautauqua Green's oval plowed and seeded with grasses.	Chautauqua CLA, Appendix
1911	Carriage and pedestrian gateway built at 10th Street and Baseline Road.	Chautauqua CLA, Appendix
1912	Vehicular entrance relocated to Grant Place, loop road built within Chautauqua Green, and northeast entrance became a pedestrian only entrance.	Chautauqua CLA, Appendix
1913	Playground built.	Chautauqua NHL Nomination, 8
1917	Shelter House, King's Gate, and Lincoln Street Steps (Queen's Gate) built. King's Gate replaced the gateway built in 1911.	Chautauqua NHL Nomination, 6
	Stone walls built along Baseline Road and at the vehicular entrance at Grant Place.	Chautauqua CLA, Appendix
1930s	Original twelve light-fixed windows in Shelter House removed, and openings left open.	Chautauqua NHL Nomination, 6
1954	Rock Miners Memorial installed near the vehicular entrance.	Chautauqua NHL Nomination, 8
1964	Tennis court built east of the playground and lower parking lot area graded.	Chautauqua NHL Nomination, 8
1978	Chautauqua Park Historic District designated a local historic district by the City of Boulder.	Chautauqua CLA, Appendix
	Chautauqua Park Historic District listed in the National Register of Historic Places (NRHP).	Chautauqua NRHP Nomination, 1978
1981	Rose garden installed near Rock Miners Monument.	Chautauqua NHL Nomination, 8
1985	Chautauqua Green Master Plan prepared by the City of Boulder.	Chautauqua CLA, Appendix
1987	Clematis Drive and Sumac Drive narrowed to provide more parking and modified to add green space. Two rounded interior corners eliminated. A section of stone gutter on the east side replaced with a sloped gutter with sandstone pieces set in concrete.	Chautauqua NHL Nomination, 7
	Ranger Cottage and parking area built.	Chautauqua CLA, 54

Date	Event	Source
1990s	A stone slab bench, shrubs, ornamental trees, and a wooden two-post entrance sign installed at Grant Place.	Chautauqua NHL Nomination, 7
1995	Original playground structures replaced with contemporary structures.	Chautauqua NHL Nomination, 8
1998	Reproduction lamp post installed along walkway from King's Gate to Dining Hall. Child-sized replica of Chautauqua Auditorium built at the playground to function as a playhouse.	Chautauqua NHL Nomination, 8
2002	Peace Garden installed at the southeast corner of the Chautauqua Green across from the Dining Hall.	Chautauqua NHL Nomination, 8
2003	Log beams and rafters on the roof of The Arbor replaced.	Chautauqua CLA, 54
2006	Colorado Chautauqua designated a National Historic Landmark.	Chautauqua NHL Certification
2017	Stone retaining walls and a new sidewalk built along Baseline Road.	Mundus Bishop drawings, 2017
2020	New equipment and play features installed at the playground. Sidewalks resurfaced to meet ADA standards.	Field notes, 2020

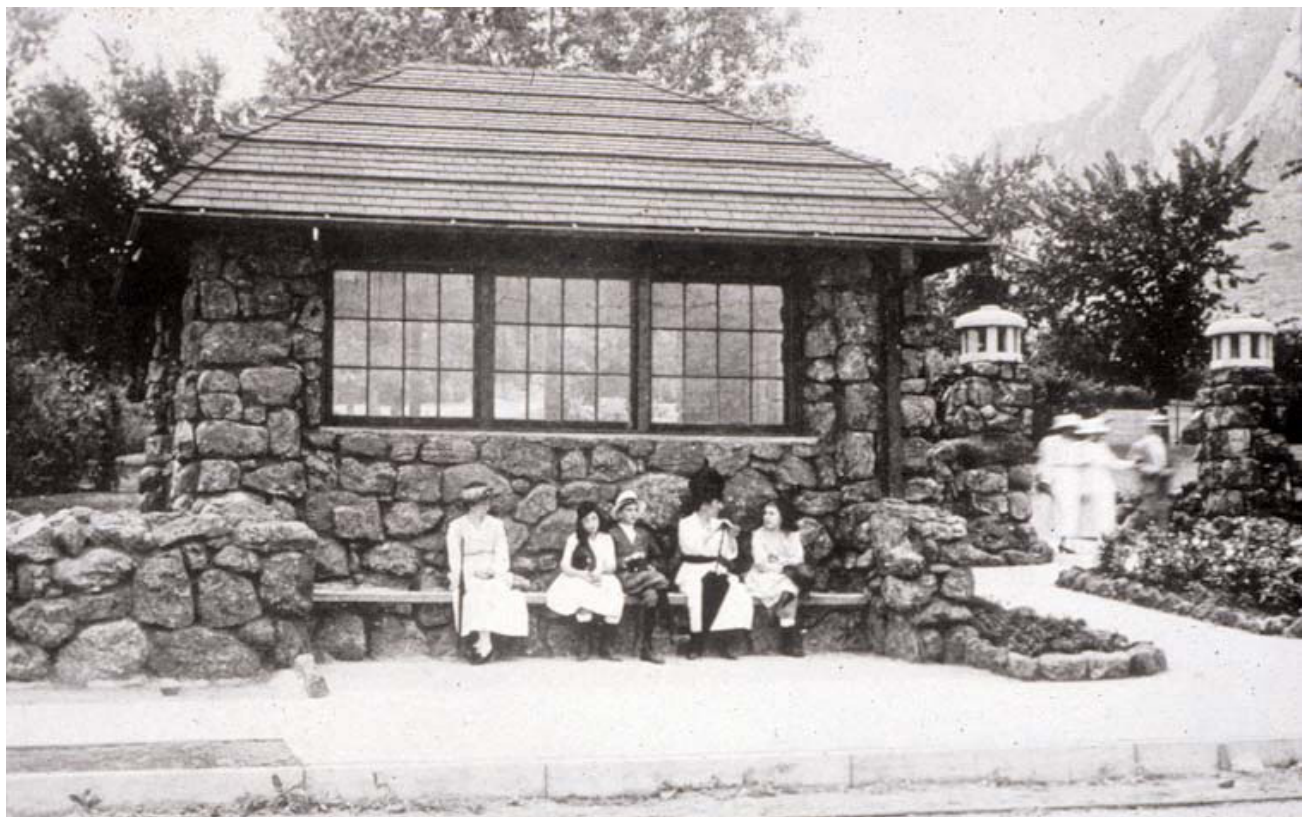


Figure 1-2. Shelter House with windows, c. 1920 (source: CCA Archives)

INTEGRITY

The integrity of Chautauqua Park has been assessed to determine if the characteristics that shaped the original construction within its period of significance (1898 to 1930) are present as they were historically. Integrity is evaluated according to seven aspects or qualities: location, design, setting, materials, workmanship, feeling, and association. Chautauqua Park retains integrity in all seven aspects of integrity: location, setting, design, materials, workmanship, feeling, and association.

Location

The site and setting of Chautauqua Park including Chautauqua, The Arbor, and Shelter House, King's Gate, Queen's Gate and the playground setting remain in original locations.

Setting

The site's original setting consisting of topography, roads, vegetation, and structures remain. Although modifications to the road system and modern additions have been made including parking areas (1984), Ranger Cottage and grounds (1987), a playground (2021), and a tennis court (1964), modifications have altered the setting.

Design

General appearance and circulation are largely unchanged since the period of significance. Chautauqua Park retains integrity in setting. The site resembles and retains its integrity of design as patterns of roads and pedestrian routes follow original patterns and structures retain character-defining features.

Materials

Chautauqua Park retains integrity in materials as original vegetation, lawns, paving and structures remain similar to the end of the period of significance, including the change to asphalt paving in the 1940s.

Workmanship

Extant historic structures display workmanship indicative of the period including Shelter House, The Arbor, Lincoln Street Steps (Queen's Gate), and Entrance Gate (King's Gate). These structures exemplify the qualities of the rustic style with use of rubble stone and low profiles.

Feeling and Association

Chautauqua Park continues to be used for educational, recreational, and cultural programming. As a neighborhood park, people use this space to listen, learn, and recreate in a built, designed, and natural environment that is largely unchanged since 1930. The site's historical feeling and associations remain.¹⁸

¹⁸ Vail, "The Colorado Chautauqua," 5.

EXISTING CONDITION

Landscape Condition

Landscape Characteristics

This document assesses the condition and integrity of the park space owned and managed by the Boulder Parks and Recreation Department known as Chautauqua Park, which is a part of Colorado Chautauqua NHL. The area associated with Chautauqua Park is generally bounded by Baseline Road on the north, Clematis Street on the south, 12th Street on the east, and Kinnickinnick Street on the west. The assessment of Chautauqua Park excludes the Ranger Cottage and its grounds as it is managed by Boulder Open Space and Mountain Parks, and the remaining 26-acres of the Colorado Chautauqua NHL, which is managed by the Colorado Chautauqua Association (CCA).

Chautauqua Park includes the playground, tennis court and parking on the east side of the Colorado Chautauqua NHL, the park space known as Chautauqua Green, and the features associated with Chautauqua Park. This document assesses the landscape condition and integrity of Chautauqua Park according to seven landscape characteristics: natural systems, topography / spatial organization, circulation, structures, small-scale features, vegetation and views and viewsheds.

Natural Systems and Features

Colorado Chautauqua NHL is located on a mesa at the mouth of Bluebell Canyon, located above Bluebell Canyon Creek and east of the Boulder Flatirons, adjacent to Chautauqua Meadow. The campus setting, with Chautauqua Park on its north edge, set against the open foothills is a character-defining feature of Colorado Chautauqua NHL. The surrounding natural area and open space is preserved by the City of Boulder and resembles the lands as they were when the chautauqua was founded in 1898.

Topography / Spatial Organization

Chautauqua Park is the northern space of Colorado Chautauqua NHL, set on slightly sloping gradient and oriented towards the north to Baseline Road and the city. Stone rubble walls at Baseline Road, King's Gate, and Queen's Gate historically defined this north edge, retaining grade at Baseline Road, and were augmented by stone walls and sidewalk and parking improvements added in 2017 to complete this edge.

Chautauqua Park consists of two spaces – the playground, tennis court and parking east of the Dining Hall, and Chautauqua Green, defined by Clematis Drive, Sumac Drive and Baseline Road. The center of Chautauqua Green is an oval mown lawn, with mature trees on its east and north edges. Its east edge includes the sidewalk that connects the King's Gate entrance, the Arbor and the Dining Hall. The buildings on its south edge along Clematis Drive, including the Dining Hall and cottages, are oriented towards Chautauqua Green. The playground, tennis court and parking are within an area that was originally fields and associated with a non-extant original playground. All three are contemporary additions.



Figure 1-3. Boulder Flatirons from Chautauqua Green, c. 1919 to 1923 (source: Carnegie Library for Local History)

The spatial organization and topography of Chautauqua Park remains similar to the period of significance and retains integrity. The playground, tennis court and parking have been modified, as have spaces on the edges of Chautauqua Green including the addition of the Ranger Cottage and grounds on the west, but these modifications have not impacted the integrity of Chautauqua Park.

Circulation

The pedestrian and vehicular circulation associated with Chautauqua Park includes original roads that bound the oval lawn and Baseline Road, and sidewalks that connect spaces and features. The circulation remains similar to the period of significance and retains integrity.

Pedestrian circulation originally included a wood boardwalk (1898) that connected Baseline Road with the chautauqua, and served as a primary carriage and pedestrian route. The Arbor (1908) was set along this route as a resting stop, and the Dining Hall was set at its end within the chautauqua. This route remained the primary pedestrian and vehicular entrance into the chautauqua until a vehicular entrance was built at Grant Place in 1917, and the route became pedestrian only. The 1917 The Shelter House and King's Gate entrance reinforced this as the primary pedestrian route. The route remains in approximately the same location as it was originally and is now a concrete paved sidewalk. The addition of a trash and recycling area and bicycle racks on the sidewalk diminishes the integrity of Chautauqua Park due its location in a prominent viewshed. Sidewalks have been built to provide access to the playground, tennis court, and parking and are contemporary features that provide access.

Vehicular circulation includes original roads built in 1898, Clematis Road (Texas Avenue) and Kinnikinic Road (Dunaway Avenue / Chautauqua Avenue), and roads built in 1912 to create a one-way loop road (Sumac Road) around the central oval lawn of Chautauqua Green (Tennis Park). The vehicular entrance at Grant Place was built in 1917. In 1987 Clematis and Sumac Drive were narrowed, and parking added along the edges. Two islands were removed to expand the open lawn. Accessible parking is provided at the Dining Hall and on the north edge of Clematis Drive. The two designated parallel parking spaces at the Dining Hall are signed to be accessible but are not ADA-compliant.

Stone gutters line Kinnikinic and Sumac Drive. The original gutters were likely built in 1907 when the roadway was graveled. Segments of the stone gutters are in fair to poor condition. Portions have been replaced. In 1987 stone gutters at Sumac Drive were rebuilt when the road was narrowed. These have a steep side slope and are sandstone set in concrete and are non-contributing. A portion were recently replaced with compatible materials and these are in good condition.

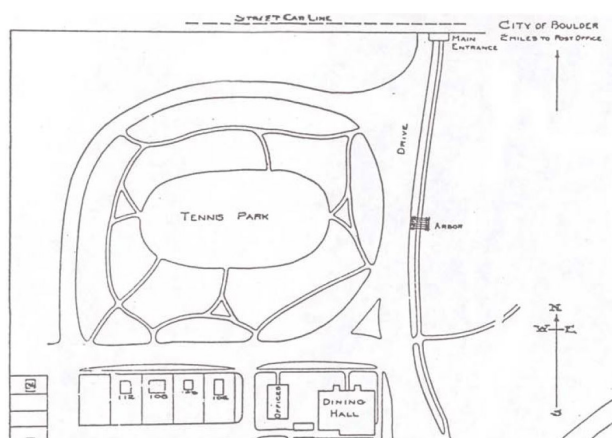


Figure 1-4. 1915 Bulletin, Map courtesy of Colorado Chautauqua Association archives. (source: Chautauqua Park Cultural Landscape Assessment, 2004)

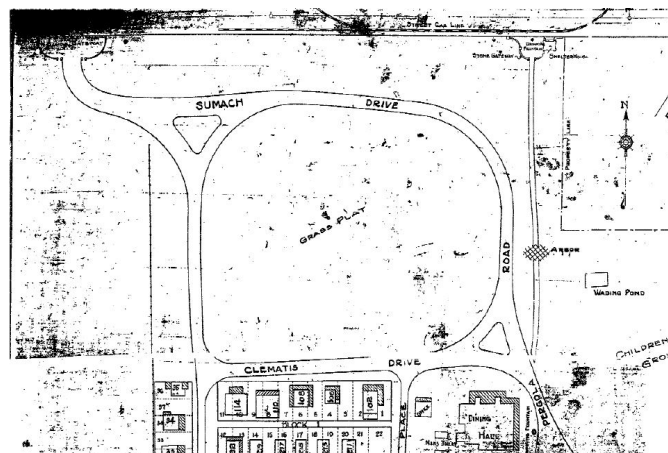


Figure 1-5. 1928 Chautauqua Park map, Map courtesy of Colorado Chautauqua Association archives. (source: Chautauqua Park Cultural Landscape Assessment, 2004)

Structures

Structures associated with the Chautauqua Park include the Arbor (1908), Shelter House (1917), Entrance Gate (King's Gate, 1917), Lincoln Street Steps (Queen's Gate, 1917), original stone rubble walls, stone walls, and stone gutters. The original structures – the Arbor, Shelter House, King's Gate, and Queen's Gate – integrity and exemplify qualities of the Rustic style through the rubble stone and low profiles. The Playground and Tennis Court are newer compatible additions to Chautauqua Park that do not contribute to its significance but provide important amenities.

The Arbor (1908) – The Arbor was originally designed as a resting stop for visitors arriving by trolley. It is a rustic-style structure characterized by stone rubble walls and a tapered log roof. The structure straddles the sidewalk connecting Chautauqua Green with Baseline Road. The Arbor retains integrity and is in good condition.

Shelter House – Shelter House is a one-story structure of stone rubble stone walls and stone quoins located at King's Gate and oriented to Baseline Road. Original windows were removed in the 1930s but wood frames remain intact. Interior benches are concrete, which replaced the original wood plank seats. Shelter House continues to be used as a bus stop, retaining its original function. Removal of the windows and modifications to the benches have not significantly altered the integrity of the structure.

Entrance Gate (King's Gate, 1917) – Stone towers flank the sidewalk leading from Baseline Road into Chautauqua Park. Stone rubble walls form an arcs as they extend from the two stone towers, and flank the sidewalk that connects to the Arbor. The sidewalk has been modified as Baseline Road has changed. The space is concrete paved and includes steps with handrails, and an ADA-accessible ramp that connects with Baseline Road. Entrance Gate and its associated stone towers retain integrity and are in good condition as are the steps, ramp, and handrails.

Lincoln Street Steps (Queen's Gate, 1917) – Queen's Gate is a pedestrian entrance consisting of a series of shallow stone steps, flanked by stone rubble walls that lead into the oval lawn of Chautauqua Green. The lower steps are broad and open, connecting with Baseline Road and terminating at a stone paved terrace and stone rubble wall. A contemporary metal sign with the message "Caution: No Winter Maintenance" is in the center of the wall, diminishing the historic appearance but providing an important safety notice. The upper stone steps connect to the stone paved terrace and flank the stone rubble wall. Queen's Gate retains integrity, but is in poor condition due to failing mortar joints, inappropriate mortar repairs and vegetation that is encroaching on the stone rubble wall and stone steps.

Stone Rubble Walls – Original stone rubble walls extend from the east side of King's Gate to Queen's Gate. The stone rubble walls retain integrity and are in good condition.



Figure 1-6. Lincoln Street Steps (Queen's Gate), 2020 (source: Mundus Bishop)



Figure 1-7. Stone rubble wall between Queen's Gate and stone walls, 2020 (source: Mundus Bishop)

Stone Walls - Stone walls were added to the northern edge of Chautauqua Park in 2017 as part of improvements to Baseline Road that included a sidewalk and parking spaces. The stone walls extend between King's Gate stone rubble wall and Queen's Gate, and from Queen's Gate to the west for the length of Chautauqua Green, functioning to retain grade. The stone walls are built using a stone material and in a form and size that is compatible with, but different than, the original stone rubble walls.

Playground - The area associated with the playground historically served as an informal field for sports and has been the location of a playground since 1913, although it has been modified several times including removal of the original features and wading pool in the 1930s. Prior to its use for sports, the area was a corral for horse and buggy parking.¹⁹ The current playground space dates to the mid-1990s and includes recently upgraded play spaces and equipment, sidewalks and a miniature playhouse imitating the Auditorium. The setting includes mature deciduous shade trees. The playground is in good condition but understory vegetation obscures it from other spaces with Colorado Chautauqua NHL.

Tennis Court - This area has been part of the recreational spaces of the chautauqua since the development of the playground in 1913. It was originally undefined, but was surfaced as a tennis court in the early 2000s, and is in good condition.

Parking - This area is a gravel-paved space used for daily and overflow parking for Colorado Chautauqua NHL including visitors to Chautauqua Green. It is in good condition.



Figure 1-8. Rose garden at Shelter House and King's Gate, c. 1920s (source: CCA Archives)



Figure 1-9. Stone walls and sidewalk built in 2017 (source: Mundus Bishop)



Figure 1-10. Shelter House and King's Gate rose garden, 2019 (source: Google Street View)



Figure 1-11. Rock Miners Memorial, 2020 (source: Mundus Bishop)

¹⁹ Mundus Bishop, *Chautauqua Park Historic District*, 64.

Objects and Small-Scale Features

Small-scale features are human-scaled elements that provide detail and function. Objects include memorial features. Objects and small-scale features are in good condition. They include the Rock Miners Memorial, entrance signs at King's Gate, trash and recycling bins, and regulatory signage. Rock Miners Memorial, installed in 1954 at the northeast corner of Chautauqua Green, is a large boulder with a brass plaque commemorating the single-jack competitions that took place at the chautauqua's annual Fourth of July Celebration.²⁰

Vegetation

Vegetation includes mature trees, the Chautauqua Green's lawn, the rose garden at King's Gate entrance, a rose garden near Rock Miner's Memorial, the Peace Garden, and trees and shrubs.

Lawn and Mature Trees – The oval lawn is a broad open mown lawn that slopes slightly north and consists of low mown bluegrass. Mature trees that date from the early 1900s remain today, are primarily on the north and east edges of the oval lawn. These were planted to define the perimeter and to direct view into, and out of, the chautauqua. Groupings of mature deciduous trees include Kentucky Coffeetree, American Elm, and Horse-chestnut trees on the north and east edges of the central lawn. Similar groupings occur along Clematis Drive.

Trees and Shrubs - Plantings of shrubs and grasses were added along Baseline Road in 2017,, and previously near the southeast corner of the lawn. Plantings on the south of Sumac Drive obscure views to and from the Dining Hall.

Rock Miner's Memorial Rose Gardens – The rose garden in northwest corner of Chautauqua Green surrounds the Rock Miners Memorial, and was built in 1981. The garden is in fair condition.

King's Gate Rose Garden – The rose garden at the King's Gate is a reconstruction of an original non-extant garden, and was built in recent years. This garden is compatible with King's Gate and an important feature to the setting, and is in good condition.

Peace Garden – This garden was installed in 2002 in front of the Dining Hall, and consists of smaller planting beds divided by small rocks that form a peace symbol. The Peace Garden is in good condition and is non-contributing.

Views and Viewsheds

Views to Chautauqua Park were once very prominent from Boulder and the surrounding area. The growth of the city and maturing urban forests have altered this, leaving only a few remaining views and a few glimpses into Chautauqua Green from Baseline Road. Prominent views that remain include those to Boulder Flatirons from varied locations within Chautauqua Green including from the northeast corner, the lawn, and The Arbor. Other prominent views include those from King's Gate to the Dining Hall along the sidewalk, views to and from the Dining Hall to Chautauqua Green, and glimpses of Chautauqua Green from Baseline Road.



Figure 1-12. Garden at Rock Miner's Memorial and Entrance Sign, 2020 (source: Mundus Bishop)



Figure 1-13. Peace Garden near Dining Hall, 2020 (source: Mundus Bishop)

Contributing and Non-Contributing Features

Table 1-1: Contributing and Non-Contributing Features

Feature	Condition	Contributing/ Non-Contributing
Natural Systems and Features		
Setting, Boulder Flatirons and Foothills	Good	Contributing
Topography		
Grade change from Clematis Drive to Baseline Road	Good	Contributing
Spatial Organization		
Chautauqua Green - Central oval lawn	Good	Contributing
Playground, tennis court parking	Good	Non-Contributing
Circulation		
Sidewalk (King's Gate to Dining Hall)	Good	Contributing
Kinnikinic Road	Good	Contributing
Sumac Drive	Good	Contributing
Clematis Drive	Good	Contributing
Angled parking on Sumac Drive	Good	Non-Contributing
Parking on Clematis Drive	Good	Non-Contributing
Stone Gutters	Varies	Contributing
Structures		
The Arbor	Good	Contributing
The Shelter House	Good	Contributing
Entrance Gate (King's Gate)	Good	Contributing
Lincoln Street Steps (Queen's Gate)	Poor	Contributing
Stone Rubble Walls (original)	Good	Contributing
Stone Walls	Good	Non-Contributing
Playground	Good	Non-Contributing
Tennis Court	Good	Non-Contributing
Objects and Small-Scale Features		
Rock Miners Memorial	Good	Non-Contributing
Entrance Signs, trash bins & recycling, and regulatory signage	Good	Non-Contributing
Vegetation		
Mature Trees	Good	Contributing
Oval Lawn	Good	Contributing
Rose Garden at Rock Miners Memorial	Good	Non-Contributing
Garden at King's Gate (reconstructed, date unknown)	Good	Non-Contributing
Peace Garden	Good	Non-Contributing
Views and Viewsheds		
Views to Boulder Flatirons from northeast corner, oval lawn, and The Arbor	Fair	Contributing
Views from sidewalk to Dining Hall	Fair	Contributing
Views to and from the Dining Hall to Chautauqua Green	Fair/Good	Contributing
Glimpses of Chautauqua Green from Baseline Road	Fair	Contributing

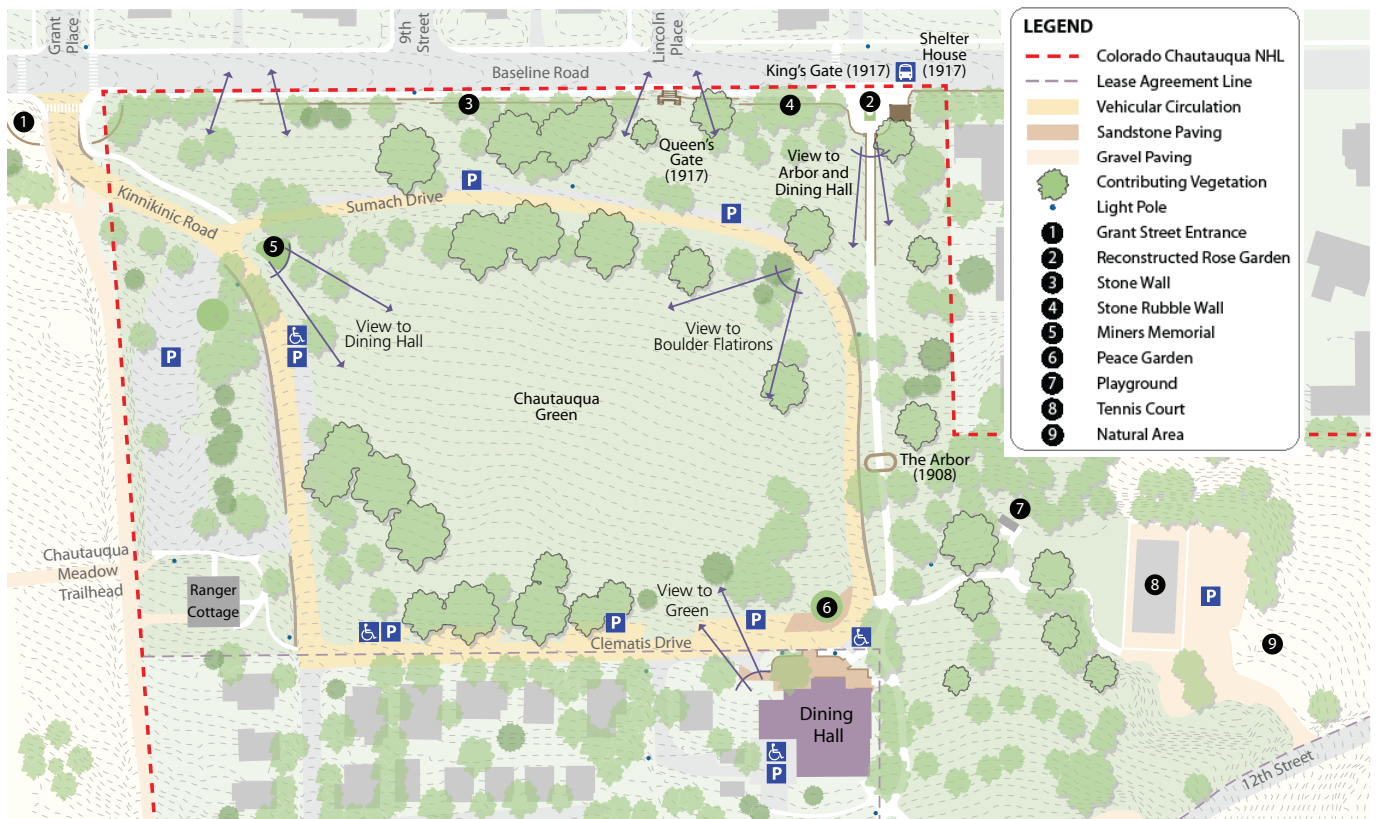


Figure 1-14. Existing Condition, 2022 (source: Mundus Bishop)

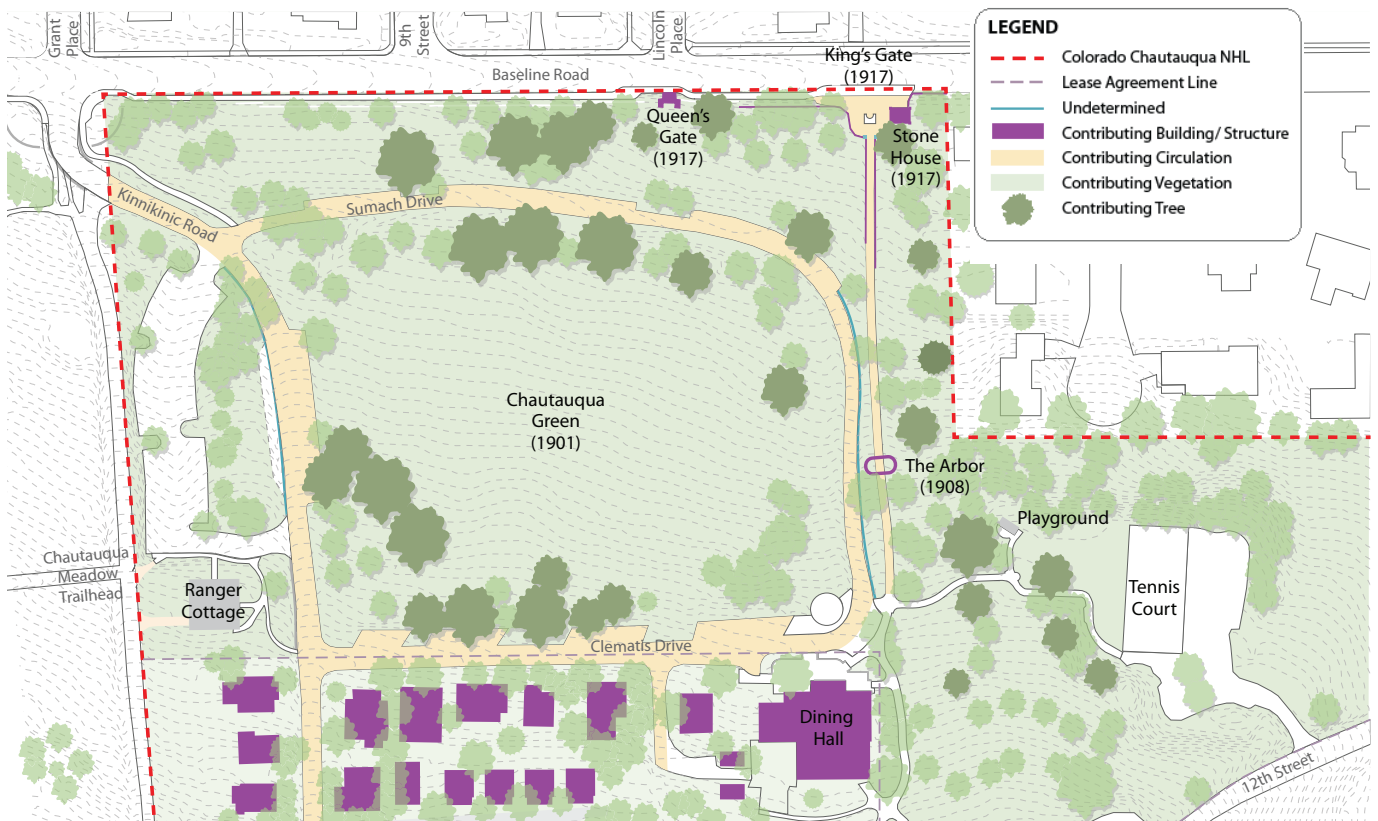


Figure 1-15. Contributing Features, 2022 (source: Mundus Bishop)

Structural Condition

The Arbor

The Arbor was built as an oval open structure with rubble masonry piers and a log roof system. Each wall supports five squared piers that taper in width. The stone base is capped with an oval pergola of peeled logs. The exterior features stone benches. Overall, the Arbor is in good structural condition.

Foundation

The foundation of the structure's stone piers is likely composed of the same rubble masonry extending below grade. This base is also widened by stone benches integral with the bases of the piers. The foundation beneath the two interior wood posts is unknown as the concrete sidewalk is poured tight against the bases of the members, however, they likely bear on isolated stone or concrete foundation elements. No foundation elements were exposed or observed during the site observation.

Overall, the foundation of the stone piers is in good condition. There is no evidence of settlement or settlement related cracking. The east timber post shows signs of decay at its base that bears directly on its foundation element and is tightly surrounded by the concrete sidewalk, both encourage moisture to remain rather than dry. (Re: Figure 1-19) The west post has new concrete around its base, indicating that it could have been recently replaced; however, this bearing condition could lead to the same moisture related decay pattern in the future.

Floor

The floor system of The Arbor is the concrete sidewalk on grade that passes through the opening in the structure. The sidewalk is widened at this location to include The Arbor's curved ends. The concrete sidewalk is in good condition.

Roof Framing

The Arbor has an open roof structure composed of round, painted timbers with no sheathing or roofing. 11-inch diameter perimeter beams span between each of the stone piers. Additionally, there is a beam line along the long, center axis of the oval shaped structure; 11-inch diameter beams span between the two interior wood posts and the easternmost and westernmost stone piers. Four structural timber screws connect the beams to the posts while no mechanical connections were observed at the wood beam to stone pier bearing. Along the flat sides of the oval, between the two stone pier structures, 9-inch diameter timbers span across the structure and overhang each side. They are spaced at approximately two feet and are supported by the perimeter and central beams below. At the curved ends, 8-inch diameter radial beams span between the last joist and the perimeter beams, overhanging the perimeter. These rafters logs are likely connected to the beam support system below with structural timber screws similar to the beam to post connection; however, in this location, the connection is concealed and could not be confirmed during the assessment.

The roof appears to be in good condition structurally; however, the timbers are directly exposed to the elements and the upward facing surfaces are showing signs of decay. It is our understanding that these were all recently replaced, indicating that decay of these members has happened over a short period of time and has been problematic.

Walls

The Arbor is an open structure and does not have true walls. The curved ends are each formed by five 18 to 24 inch rubble masonry stone piers that widen to join together at their bases. Two 11-inch diameter wood posts, approximately located at the foci of the oval structure, provide additional vertical support to the roof.

The stone piers are structurally in good condition; however, there are areas of significant mortar erosion, especially around the bases of the piers, and patches of mortar repointing that are not compatible with the original structure. The stones near grade have a significant amount of lichen growth. This does not compromise the structure itself but changes its appearance and is an indication that moisture is prevalent. This indicates that more frequent maintenance of the mortar joints may be necessary. The timber posts have vertical cracks or checks; these are shrinkage cracks and are not of structural concern.

Electrical

During a recent renovation, interior lights were added to The Arbor. The lights are obscured by the timbers and do not detract from the historic appearance of the structure.

Lateral Force Resisting System (LFRS)

The LFRS of The Arbor consists of the log roof structure and the masonry piers. The LFRS is in good condition. Although it likely does not meet current code requirements, it has performed well over the lifetime of the structure.

Other Structural Features

The joined pier bases create the backs to built-in rubble masonry benches that extend along the lengths of the curved ends. The benches are in good condition.



Figure 1-16. The Arbor, note lichen growth and eroded mortar joints, 2020 (source: JVA)

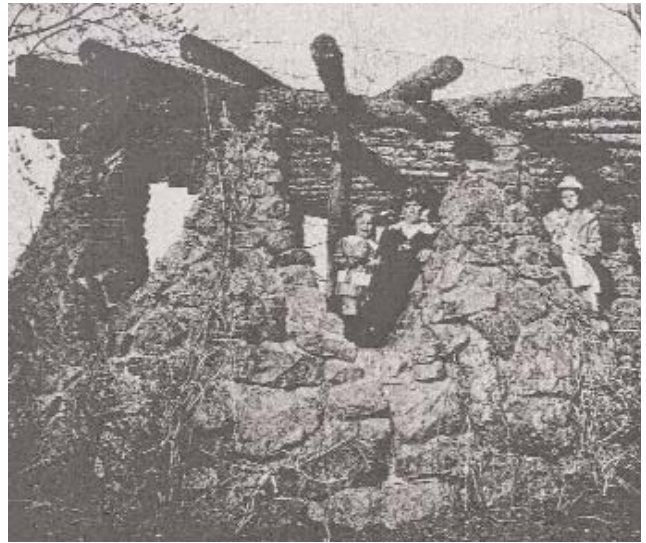


Figure 1-17. The Arbor, early 1900s (source: CCA Archives)



Figure 1-18. Decay at base of timber post, 2020 (source: JVA)



Figure 1-19. The Arbor, 2020 (source: JVA)



Figure 1-20. Interior lights hidden in timbers, 2020 (source: JVA)



Figure 1-21. Curved bench, 2020 (source: JVA)

Shelter House

Shelter House was built as a rectangular, one-story structure with rubble stone walls and a mansard roof. The structure is built into the hillside so that the stone walls retain soil. The north elevation features columns that form short retaining walls and a built-in rubble stone bench. The Shelter House has a mansard roof, the overhanging eaves have exposed rafters with shaped ends. The entrance is on the west elevation. The interior contains a concrete floor and stone walls that step out to create benches. No drawings of the structure, original or otherwise, were available during this assessment.

Foundation

The structure's foundation is likely composed of the same rubble masonry as its walls extending below grade. No foundation elements were exposed or observed during the site observation.

Overall, the foundation is in good condition, there is no evidence of settlement or settlement related cracking. There is a shrub growing out of the south wall, the root system could cause structural damage in the future if not removed.

Floor

The floor system is a concrete slab on grade and it is in fair condition. Moisture is migrating downhill from the south to the north through the wall and underneath the slab. This wetted soil undergoes freeze-thaw cycles causing the concrete slab to heave and crack.

Roof Framing

Shelter House has a mansard roof; the eaves have a steeper slope than the center of the roof. The framing consists of 2 ½" x 5 ¼" dimensional lumber rafters spaced at approximately 18" on center; there is no ridge board. The eave outriggers have a decorative shape carved from 2 ½" x 5 ¼" wood members also spaced at 18 inches. Although the connection is concealed, it is likely that these outriggers are side lapped with the hip roof rafters above. The roof assembly consists of 1x horizontal wood sheathing and asphalt shingles (Figure 1-19).

The roof appears to be in good condition; there is no sagging or displacement to indicate any structural deficiencies. The wood framing appears to be in very good physical condition showing no signs of deterioration even though it is an open structure. There is evidence in the form of staining on the sheathing that moisture was previously allowed to penetrate the roofing material, however this has been mitigated by the new roof. Since there is no ridge board, there is not adequate restraint at the peak of the roof.



Figure 1-22. West wall showing attached retaining wall, 2020 (source: JVA)



Figure 1-23. North wall of the Shelter House, 2020 (source: JVA)

Walls/Framing

The structure has rubble masonry walls, which are approximately 20 inches thick. The walls consist of L-shaped column in each of the four corners that flare at the base to form buttresses. The columns are connected by a stone knee wall with a concrete coping that forms large window openings between the columns. Historic photographs indicate the coping is original, but sections have been replaced. The base of the columns at the corners flare to form buttresses. The historic window sashes are no longer in place; however, intermediate wood studs and mullions remain. Corner openings create the illusion of windows and support the wood framed wall segments above the openings. A concealed wood member or header spans between the stone columns and intermediate window mullions to support the roof framing.

Structures

The stone walls are in good condition. Patches of mortar repointing are not compatible with the original structure, and are beginning to crack and separate from the stones indicating that the repointing mortar is too strong. The repointing is a different color. There is a vertical crack in mortar joints in the northwest buttress caused by differential thermal expansion between the buttress and the main wall. Lichen growth is present at the bottom two-feet of the north wall.

Lateral Force Resisting System (LFRS)

The LFRS of Shelter House consists of the 1x horizontal wood roof sheathing and framing, as well as the masonry walls and buttresses. The LFRS of this modest structure is in good condition. It has performed well over the lifetime of the structure. Since there are no changes in use suggested, no Code required upgrades are triggered.

Other Structural Features

The Shelter House is integral with the stone rubble wall that connects with the structure at the northeast and southwest buttresses. The site has a sloped grade that sharply declines towards the north. The shelter walls are also retaining soil in some locations (the slab elevation is below grade at the south wall and above at the north). The knee walls also serve as the back to the concrete benches inside the shelter and along the street-facing, north façade, where the bench has a rubble stone base with a concrete coping. Generally the walls are in good condition, there is evidence that spalls have been repaired in the past.



Figure 1-24. Repair mortar – note red color and separation cracks, 2020 (source: JVA)



Figure 1-25. Differential settlement crack at northwest buttress, 2020 (source: JVA)

Structural Condition Definitions

This structural condition assessment makes use of terms concerning the condition of building components which are defined as follows:

Good - A structural element, component or system is considered in good condition when it is undamaged, structurally sound or functionally operational, and performing as intended. No specific repairs are required, and only minor or routine maintenance is needed.

Fair - An element, component or system is considered in fair condition when there are signs of wear or deterioration, such as freeze-thaw deterioration, corrosion, or wood decay exceeding expectations based on the age and use of the element, that may be reducing the structural capacity of the member. Replacement or repair of the element may be required.

Poor - An element, component, or system is considered in poor condition when it no longer performs its intended structural purpose. Deterioration or damage reduced the load carrying capacity of the element and simple repairs cannot be justified or are not expected to be effective. The element may show signs of imminent failure. Major repair or replacement will be required.

Note: Condition ratings reported are based upon visual observations only. No material testing or exploratory observations have been made. Further investigation could result in modification to condition ratings.

Table 1-2: Condition Assessment of The Arbor

Primary Features	Description	Condition
Foundation	Likely rubble stone masonry below grade	Good
Roof Framing	Painted timber beams	Good
Walls	Stone piers	Good
Floor	Concrete sidewalk	Good
Lateral Force Resisting System	Log structure and masonry piers	Good
Additional Building Systems		
Irrigation	(Backflow preventer, spray heads, etc.)	Not Assessed
Electrical	Small lights obscured by timbers	Not Assessed

Table 1-3: Condition Assessment of Shelter House

Primary Features	Description	Condition
Foundation	Likely rubble masonry	Good
Roof Framing	Wood-framed mansard roof	Good
Walls	Masonry	Good
Floor	Concrete slab on grade	Fair
Lateral Force Resisting System	Wood roof diaphragm, masonry walls and buttresses	Good
Additional Building Systems		
Irrigation	(Backflow preventer, spray heads, etc.)	Not Assessed
Electrical	Lighting	Not Assessed

ADDITIONAL IMAGES



Figure 1-26. Sumac Drive view from Dining Hall, c. 1900
(source: Carnegie Library for Local History)



Figure 1-27. Sumac Drive to Dining Hall, c. 1900 (source:
Carnegie Library for Local History)



Figure 1-28. Entrance Gate (King's Gate) postcard, no date
(source: CCA Archives)



Figure 1-29. The Arbor in the snow, no date (source: BHS
212-2-5, Carnegie Library for Local History)



Figure 1-30. Chautauqua Green, 1938 (source: CU Boulder Aerial Photographs of Colorado)



Figure 1-31. View to Dining Hall, 2020
(source: Mundus Bishop)



Figure 1-32. Sidewalk from Baseline Road at King's Gate into Chautauqua Green, 2020 (source: Mundus Bishop)



Figure 1-33. Accessible parking at Dining Hall, 2020
(source: Mundus Bishop)



Figure 1-34. Sidewalk from Baseline Road at King's Gate into Chautauqua Green, 2020 (source: Mundus Bishop)



Figure 1-35. Sumac Drive near Dining Hall, 2020 (source: Mundus Bishop)



Figure 1-36. Stone edge along Clematis Drive, 2020
(source: Mundus Bishop)



Figure 1-37. Stone gutter along Sumac Drive, 2020 (source: Mundus Bishop)



Figure 1-38. Non-contributing stone gutter along Sumac Drive, 2020 (source: Mundus Bishop)



Figure 1-39. Stone gutters built using in-kind compatible materials on Sumac Drive, 2020 (source: Mundus Bishop)

TREATMENT

Introduction and Overview

Rehabilitation is the selected treatment approach for the city-owned and the Chautauqua Green, which provides for its preservation and repair, and allows for addition of compatible improvements. This treatment guidance provides actions and recommendations for the repair and planning and design for the city-managed property.

Treatment guidance is based upon review of historic documentation, assessment of condition and integrity, and in support of current and planned futures uses. This section provides actions to protect significant cultural resources, and repair contributing features and those that contribute to the historic character. Treatment recommendations identify where repair is needed to reveal historic features, retain character, and maintain integrity. Work shall be guided by The Secretary of the Interior's *Standards for the Treatment of Historic Properties*, in accordance with the Colorado Chautauqua NHL design guidelines, and Chautauqua Park Historic District Lighting Design Guidelines and accomplished by using accepted preservation methods detailed by the National Park Service, and Chapter 9-11 (Historic Preservation) of the Boulder Revised Municipal Code.

Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, or additions if those portions or features that convey its historic, cultural, or architectural values are preserved. Rehabilitation allows for new additions to be integrated within the study area in a manner that preserves established patterns and features. Additional actions include those that preserve, repair, and retain contributing features and qualities that contribute to the historic character.

Guiding Principles

Colorado Chautauqua National Historic Landmark (NHL) is nationally significant for its association with the Chautauqua Movement. The city-owned and managed property consists of the northern portion of Colorado Chautauqua NHL generally defined as three distinct spaces – Chautauqua Green, a playground with tennis courts, and Ranger Cottage grounds. Original structures include The Arbor, Shelter House, King's Gate, and Queen's Gate that exemplify the Rustic style. Prominent views are to the Flatirons, and views to and from the Dining Hall. The playground with tennis courts and Ranger Cottage grounds are contemporary additions. The city-owned and managed property retains its historic use as a site for educational, recreational, and cultural programming.

Guiding Principles

- Preserve the historic form and configuration of Chautauqua Park.
- Preserve, protect, and repair contributing features and those characteristics that contribute to historic character including Chautauqua Green with mature trees, and the vehicular and pedestrian circulation, structures, and prominent views associated with Chautauqua Park.
- Maintain and enhance the variety of recreational and gathering uses and experiences offered.

Treatment Guidance

Treatment guidance provides recommendations for the preservation and repair of Chautauqua Park. This guidance should be followed when undertaking design and planning for Chautauqua Park or when proposing modifications to contributing features.

Topography, Spatial Organization and Views

Chautauqua Park is the northern source of Colorado Chautauqua NHL, set on a sloping grade that includes Chautauqua Green and the playground and tennis court.

- Preserve Chautauqua Park's sloped topography, walls and structures along the northern boundary at Baseline Road.
- Preserve prominent views from Chautauqua Park.
- Ensure new additions or modifications to existing features and vegetation respect, and do not interfere or diminish Chautauqua Park's composition, topography, or views.
- Protect Chautauqua Green's composition by preserving its characteristic central open lawn with a defined perimeter of mature trees bounded by roads at Clematis Drive and Sumac Drive.
- Protect the area of the playground as an original space associated with Chautauqua Park.

Circulation

Original roads include Clematis Drive, Sumac Drive, Kinnikinic Road, and the entrance at Grant Place. The sidewalk from the King's Gate to the Dining Hall remains as the primary pedestrian route for Chautauqua Park.

- Protect contributing vehicular and pedestrian circulation patterns.
- Provide accessible routes and parking for an equitable user experience to access park spaces. Allow designated routes where appropriate and where compatible with contributing features. Ensure accessible parking and accessible pedestrian routes are provided at Chautauqua Green, the playground and tennis court.

Structures

Rustic structures include The Arbor, Shelter House, King's Gate, Queen's Gate and stone walls are contributing features. Stone walls between the Entrance at Grant Street and the Queen's gate are new additions.

- Protect contributing structures—The Arbor and Shelter House—in their original locations. Preserve and repair extant features in-place.
- Preserve The Arbor's extant structural features in-place.
 - Prevent further decay of timber posts by improving drainage. Repair decay at the post bases, with a dutchman replacement.
 - Repair the log rafters as needed with an epoxy consolidant. Maintain coating on logs to prevent deterioration from occurring. Schedule routine maintenance.
 - Walls - Rake deteriorated mortar joints in the walls and repoint with a compatible mortar as determined by a mortar analysis of a sample of the original mortar. Provide periodic maintenance of mortar; consider cleaning lichen from the stone and mortar surfaces with an appropriate cleaner based on a cleaning trial.
- Preserve the Shelter House's extant structural features in-place.
 - Trim plants near structure; To improve draining rear structure through regrading and/or installation of a french drain.
 - Rake deterioration mortar joints in the walls and repoint with a compatible mortar. Provide periodic maintenance of mortar; consider cleaning lichen from stone and mortar surfaces with an appropriate cleaner based on a cleaning trial.
 - Floor - Route and grind down any steps in the slab and inject the cracks.
 - Roof Framing - Add steel gussets at the peak of the roof to resist wind up lift.

- Consider rehabilitating the stone gutters with compatible materials to better suit the drainage needs of the loop road.

Vegetation

Contributing vegetation includes the oval lawn and mature trees within Chautauqua Park. Trees were planted to define the edge of the Chautauqua Green and to direct views within Chautauqua Park.

- Protect contributing tree patterns and mature vegetation.
 - Repair and replace missing or damaged trees and patterns of trees using in-kind materials similar to the original in form, texture and species.
 - Consider removing non-contributing trees that obscure historic views through the site.
- Reinforce views into Chautauqua Green from the entry, views of the Chautauqua Green from the Dining Hall and views into the Chautauqua Green from Baseline Road.
- Consider planting Chautauqua Green's understory edge as a naturalistic planting area of hardier and native grasses and forbs.

Objects and Small-Scale Features

The Rock Miners Memorial is a memorial object installed in 1954 near the entrance at Grant Street. Small scale features are non-contributing and support visitor use functions.

- Coordinate with the Colorado Chautauqua Association (CCA) on guidance for memorial objects.
- *Chautauqua Park Historic District Lighting Design Guidelines.*

Top Priorities

The following actions to improve or repair physical features or landscape characteristics are the top recommended priorities. These actions meet the following criteria: impact for safety / stabilization; threat of loss of integrity; poor condition; potential impact due to enhancement; critical path / adjacency to other planned work; or relevancy to other current plans.

- 1 - Conduct repairs for the safety and stabilization of Chautauqua Park's contributing features and those that contribute to the historic character.
 - o The Arbor - Prevent decay of timber posts bases by improving drainage.
 - o Shelter House - Repair mortar and trim vegetation.
- 2 - Conduct repairs to improve the condition of Chautauqua Park's contributing features and those that contribute to the historic character.
 - o The Arbor - Maintain UV resistant coating on logs to prevent deterioration. Schedule routine maintenance.
 - o Shelter House - Improve drainage.
 - o Lawn and Mature Trees - Retain the characteristic shape, scale, and form of the central oval lawn of Chautauqua Green and the views associated with it.

RESOURCES

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