

BOULDER WESTERN CITY CAMPUS

SITE REVIEW SUBMITTAL



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Full Design Team Roster on Sheet 1-G0.01

Client and Project Information



Boulder Western City
Campus - Volume 1-Pavilion
Office Building
1155 Alpine Ave
Boulder, CO 80302

Original Issue

Revisions

Sheet Status
NOT FOR CONSTRUCTION

Sheet Title
COVER SHEET & DRAWING INDEX - SITE REVIEW

Sheet Number

1-G0.00

Current Issue
SITE REVIEW

Current Issue Date
11/03/2023

VOLUME 1: NORTH OF ALPINE (PAVILION)	SITE REVIEW WITH FORM BASED CODE OVERLAY	SITE REVIEW VOLUME 1	FBC REVIEW VOLUME 1	VOLUME 2: SOUTH OF ALPINE (PARKING GARAGE)	SITE REVIEW	VOLUME 2 SITE REVIEW
GENERAL						
1-G0.00	COVER SHEET & DRAWING INDEX - SITE REVIEW	X				
1-G0.01	VICINITY MAP, DIRECTORY, & PROJECT INFORMATION	X				
1-G0.02	OVERALL SITE PLAN - SITE REVIEW	X				
1-G0.03	PHASING PLAN	X				
1-G0.04	DEDICATIONS EXHIBIT	X				
CIVIL						
1-C0.01	CIVIL NOTES AND SPECIFICATIONS	X				
1-C1.00	CIVIL DEMO PLAN - NORTH	X				
1-C2.00	CIVIL SITE PLAN - NORTH	X				
1-C3.00	UTILITY PLAN - NORTH	X				
1-C4.00	GRADING PLAN - NORTH	X				
LANDSCAPE						
1-L0.00	LANDSCAPE SITE PLAN - SITE REVIEW	X				
1-L0.10	PRECEDENT IMAGERY	X				
1-L0.20	FBC COMPLIANCE - PASEO	X	X			
1-L0.21	FBC COMPLIANCE - PLAZA	X	X			
1-L0.22	FBC COMPLIANCE - SITE IMPERVIOUS COVERAGE	X	X			
1-L0.30	SITE REVIEW LANDSCAPE COMPLIANCE	X				
1-L1.40	LEVEL 4 TERRACE LANDSCAPES	X				
1-L1.41	WATER FEATURE	X				
1-L2.20	3D VIEWS - PLAZA	X				
1-L2.21	3D VIEWS - ENTRIES	X				
1-L4.00	TREE PROTECTION AND REMOVALS	X				
1-L4.01	PLANT SCHEDULE AND NOTES	X				
1-L4.02	LANDSCAPE PLAN	X				
1-L4.10	PLANTING DETAILS	X				
ARCHITECTURAL						
1-A0.00	PAVILION - FORM BASED CODE - ARCHITECTURAL SITE PLAN	X	X			
1-A0.01A	PAVILION - FORM BASED CODE - SOUTH ELEVATION	X	X			
1-A0.01B	PAVILION - FORM BASED CODE - NORTH ELEVATION	X	X			
1-A0.01C	PAVILION - FORM BASED CODE - EAST ELEVATION	X	X			
1-A0.01D	PAVILION - FORM BASED CODE - WEST ELEVATION	X	X			
1-A0.02	PAVILION - FORM BASED CODE - FACADE MATERIALS	X	X			
1-A0.03	PAVILION - FORM BASED CODE - FACADE TRANSPARENCY	X	X			
1-A0.04	PAVILION - FORM BASED CODE - COLORED ELEVATIONS	X	X			
1-A0.05	PAVILION - FORM BASED CODE DIAGRAMS - SHADOW ANALYSIS	X	X			
1-A0.06	PAVILION - FORM BASED CODE - 3D VIEWS	X	X			
1-A0.07	PAVILION - FORM BASED CODE - MATERIALS BOARD	X	X			
1-A2.10	PLAN, FLOOR - LOWER BASEMENT, SHELL & CORE	X				
1-A2.10B	PLAN, FLOOR - LOWER BASEMENT, WEST ENLARGED	X				
1-A2.11	PLAN, FLOOR - BASEMENT, SHELL & CORE	X				
1-A2.11A	PLAN, FLOOR - BASEMENT, EAST ENLARGED	X				
1-A2.12	PLAN, FLOOR - LEVEL 1, SHELL & CORE	X				
1-A2.12A	PLAN, FLOOR - LEVEL 1, EAST ENLARGED	X				
1-A2.12B	PLAN, FLOOR - LEVEL 1, WEST ENLARGED	X				
1-A2.13	PLAN, FLOOR - LEVEL 2, SHELL & CORE	X				
1-A2.13A	PLAN, FLOOR - LEVEL 2, EAST ENLARGED	X				
1-A2.13B	PLAN, FLOOR - LEVEL 2, WEST ENLARGED	X				
1-A2.14	PLAN, FLOOR - LEVEL 3, SHELL & CORE	X				
1-A2.14A	PLAN, FLOOR - LEVEL 3, EAST ENLARGED	X				
1-A2.14B	PLAN, FLOOR - LEVEL 3, WEST ENLARGED	X				
1-A2.15	PLAN, FLOOR - LEVEL 4, SHELL & CORE	X				
1-A2.15A	PLAN, FLOOR - LEVEL 4, EAST ENLARGED	X				
1-A2.15B	PLAN, FLOOR - LEVEL 4, WEST ENLARGED	X				
1-A2.16	PLAN, FLOOR - ROOF	X				
1-A2.16A	PLAN, FLOOR - ROOF, EAST ENLARGED	X				
1-A2.16B	PLAN, FLOOR - ROOF, WEST ENLARGED	X				
1-A4.01	BUILDING DETAILS	X	X			
1-A4.02	BUILDING DETAILS	X	X			
LIGHTING						
1-SP1.01	SITE PHOTOMETRIC PLAN - NORTH	X				
1-SP1.02	SITE PHOTOMETRIC PLAN - TERRACES	X				
1-SP1.03	SITE PHOTOMETRIC SCHEDULES	X				
1-SP1.04	SITE PHOTOMETRIC CUTSHEETS	X				
1-SP1.05	SITE PHOTOMETRIC CUTSHEETS	X				
61						

VOLUME 2: SOUTH OF ALPINE (PARKING GARAGE)	SITE REVIEW	VOLUME 2 SITE REVIEW
CIVIL		
2-C0.01	CIVIL NOTES AND SPECIFICATIONS	X
2-C1.00	CIVIL DEMO PLAN - SOUTH	X
2-C2.00	CIVIL SITE PLAN - SOUTH	X
2-C3.00	UTILITY PLAN - SOUTH	X
2-C4.00	GRADING PLAN - SOUTH	X
LANDSCAPE		
2-L0.00	OVERALL SITE PLAN - SITE REVIEW	X
2-L0.10	SITE REVIEW - LANDSCAPE COMPLIANCE	X
2-L2.10	3D VIEWS - SOUTH PASEO	X
2-L4.00	TREE PROTECTION AND REMOVALS	X
2-L4.01	PLANT SCHEDULE	X
2-L4.02	LANDSCAPE PLAN	X
2-L4.10	PLANTING DETAILS	X
ARCHITECTURAL		
2-A1.01	ARCHITECTURAL SITE PLAN	X
2-A1.02	SOLAR ACCESS PLANS	X
2-A1.11	SITE DETAILS	X
2-A1.22	PARKING DIAGRAMS	X
2-A2.01	LEVEL B2 FLOOR PLAN	X
2-A2.02	LEVEL B1 FLOOR PLAN	X
2-A2.03	LEVEL 1 FLOOR PLAN	X
2-A2.04	LEVEL 2 FLOOR PLAN	X
2-A2.05	LEVEL 3 FLOOR PLAN	X
2-A2.06	LEVEL 4 FLOOR PLAN	X
2-A2.07	ROOF PLAN	X
2-A4.01	BUILDING ELEVATIONS	X
2-A4.02	BUILDING ELEVATIONS	X
2-A4.03	COLOR ELEVATIONS	X
2-A4.04	COLOR ELEVATIONS	X
LIGHTING		
2-SP1.01	SITE PHOTOMETRIC PLAN - SOUTH	X
2-SP1.02	SITE PHOTOMETRIC SCHEDULES	X
2-SP1.03	SITE PHOTOMETRIC CUTSHEETS	X
30		



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24 x 36

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PROJECT TEAM

<p>CLIENT CITY OF BOULDER 1777 BROADWAY BOULDER, CO 80302 T 303 557 6420</p>	<p>STRUCTURAL ANTHEM STRUCTURAL ENGINEERS FLATRION OFFICE PARK 2213 CENTRAL AVENUE BOULDER, CO 80301 T 303 848 8497</p>	<p>MOBILITY NELSON NYGAARD 116 NEW MONTGOMERY STREET SAN FRANCISCO, CA 94105 T 415 284 1544</p>
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<p>LANDSCAPE ARCHITECT ZIMMER GUNSUL FRASCA ARCHITECTS LLP 1350 17TH STREET, SUITE 250 DENVER, CO 80202 T 303 557 6420 www.zgf.com</p>	<p>AUDIO/VISUAL/ACOUSTICS/TELECOM/SECURITY SALAS O'BRIEN 4900 NAUTILUS CT. N. SUITE 200 BOULDER, CO 80301 T 303 865 5500</p>	<p>VERTICAL TRANSPORTATION VDA 506 2ND AVE, SUITE 1400 SEATTLE, WA 98104 T 206 705 2940</p>
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<p>ASSOCIATE ARCHITECT STUDIO ARCHITECTURE 2995 55TH STREET, #17983 BOULDER, CO 80301 T 720 491 1167</p>	<p>LIFE SAFETY INCANDESCENCE LIFE SAFETY INC. 3455 RINGSBY COURT, #103 DENVER, CO 80216</p>	
<p>LANDSCAPE ARCHITECT STUDIO TERRA INC. 758 CLUB CIRCLE LOUISVILLE, CO 80027 T 303 494 9138</p>	<p>ACCESSIBILITY BUILDING ONE CONSULTING LLC. 2555 WALNUT STREET DENVER, CO 80205 T 303 986 1400</p>	

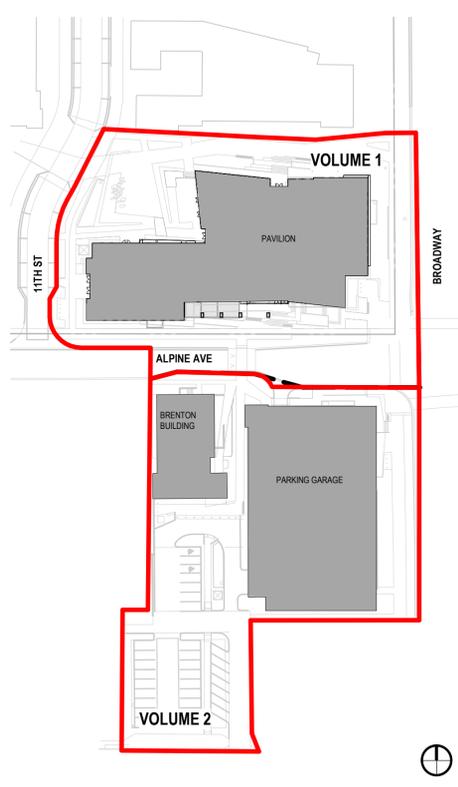
PROJECT INFORMATION - PAVILION

PROJECT ADDRESS	1155 ALPINE AVE. BOULDER, CO 80302
BUILDING TYPE	CIVIC BUILDING TYPE
ZONING DISTRICT	P
BUILDING LOT	LOT 5 EXCLUDING RIGHT-OF-WAY
LOT SIZE	51,874 SF ON THE PRIMARY PLAT
CONSTRUCTION TYPE	TYPE IIIA
OCCUPANCY CLASSIFICATION	GROUP A-3, GROUP B

APPLICABLE CODES

- 2018 INTERNATIONAL BUILDING CODE (IBC)
- 2018 INTERNATIONAL MECHANICAL CODE (IMC)
- 2018 INTERNATIONAL PLUMBING CODE (IPC)
- 2018 INTERNATIONAL FIRE CODE (IFC)
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
- 2020 NATIONAL ELECTRIC CODE (NEC)
- 2020 CITY OF BOULDER ENERGY CONSERVATION CODE
- 2009 ANSI A117.1

PROJECT SCOPE - SITE REVIEW



VICINITY MAP



ZONING MAP



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Full Design Team Roster on Sheet 1-G0.01



Boulder Western City
Campus - Volume 1-Pavilion
Office Building

1155 Alpine Ave
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Original Issue

Revisions

Sheet Status **NOT FOR CONSTRUCTION**

Sheet Title
**VICINITY MAP,
DIRECTORY, &
PROJECT
INFORMATION**

Sheet Number
1-G0.01

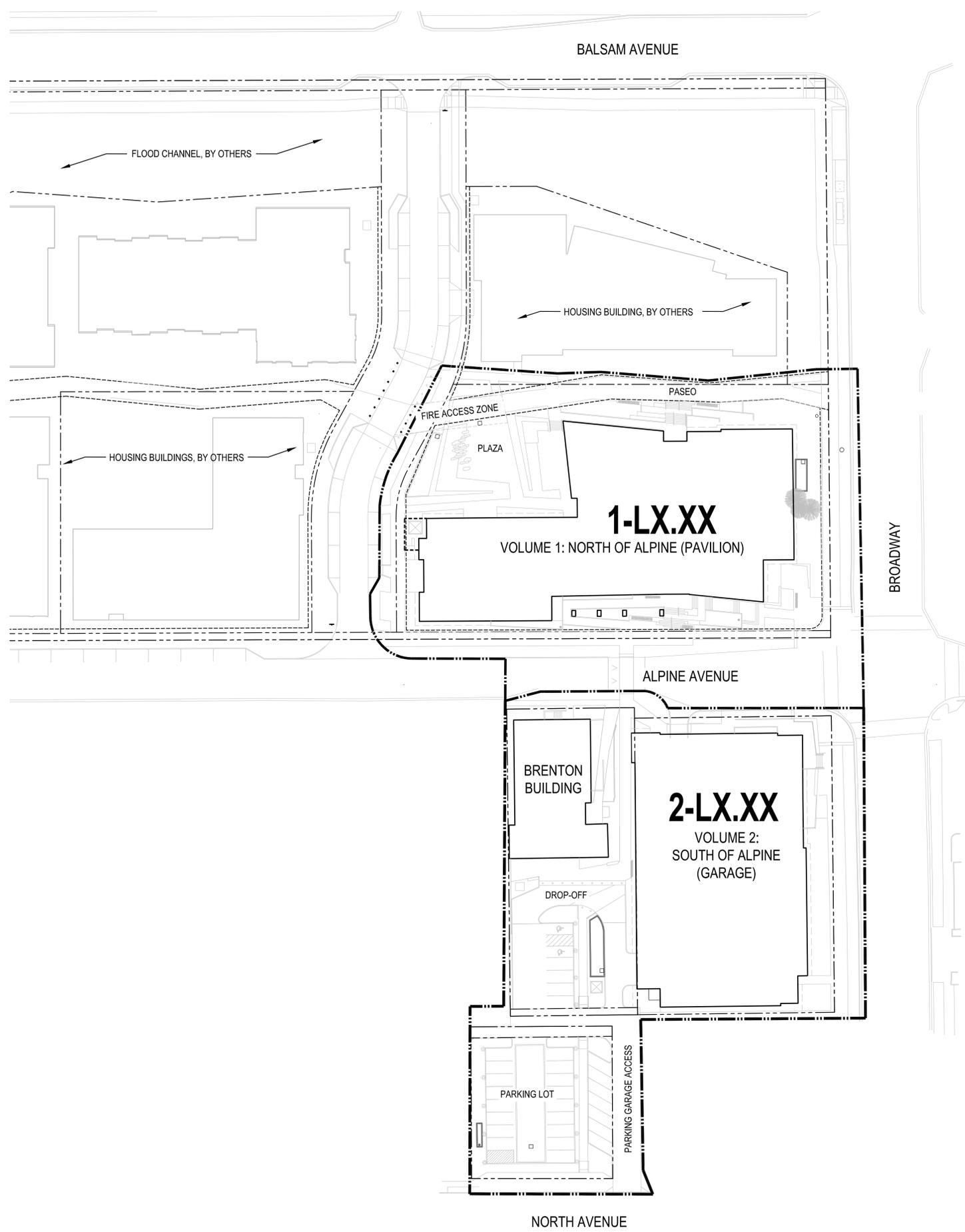
Current Issue
SITE REVIEW

Current Issue Date
11/03/2023

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Sheet Size: 24 x 36

1 OVERALL SITE PLAN - SITE REVIEW
1" = 40'-0"



- LEGEND**
- — — — — LIMIT OF WORK
 - — — — — PROPERTY LINE
 - - - - - PUBLIC ACCESS EASEMENT

NOTES:

PLEASE SEE SHEETS 1-L0.20 THROUGH 1-L01.22 FOR FBC COMPLIANCE SHEETS



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Original Issue

Key Plan and Orientation

Revisions

Sheet Status **NOT FOR CONSTRUCTION**

Sheet Title

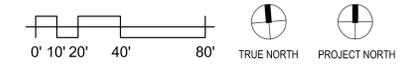
OVERALL SITE PLAN
- SITE REVIEW

Sheet Number

1-G0.02

Current Issue **SITE REVIEW**

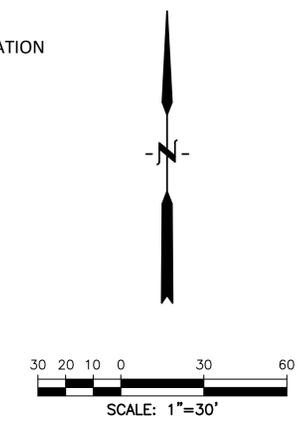
Current Issue Date **11/03/2023**



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FLOODPLAIN MITIGATION SCOPE OF WOPK (NOT A PART).



PHASING LEGEND

- PHASE 1A - GARAGE & ASSOCIATED UTILITY IMPROVEMENTS
 - PHASE 1B - GARAGE SITE IMPROVEMENTS
 - PHASE 2A - PAVILION & ASSOCIATED UTILITY IMPROVEMENTS
 - PHASE 2B - PAVILION SITE IMPROVEMENTS
 - PHASE 3 - ALPINE AVE IMPROVEMENTS
 - PHASE 4 - "BRENTON" PARKING & RELATED SITE IMPROVEMENTS
 - 11TH STREET IMPROVEMENTS
- SEE FBC INFRASTRUCTURE PLANS TO BE CONSTRUCTED PRIOR TO OCCUPANCY OF PAVILION.

PHASING NOTES:
 PHASING DEPICTED ON THIS PLAN MAY NOT START IN THE ORDER GIVEN - I.E. PHASE 2A MAY START PRIOR TO PHASE 1A OR 1B DEPENDING ON CITY DELIVERY GOALS AND CONSTRUCTION TIME FRAMES.



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Full Design Team Roster on Sheet 1-G0.01

Client and Project Information



Boulder Western City
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Original Issue

Key Plan and Orientation

Revisions

Sheet Status **NOT FOR CONSTRUCTION**

Sheet Title **PHASING PLAN**

Sheet Number **0-G0.03**

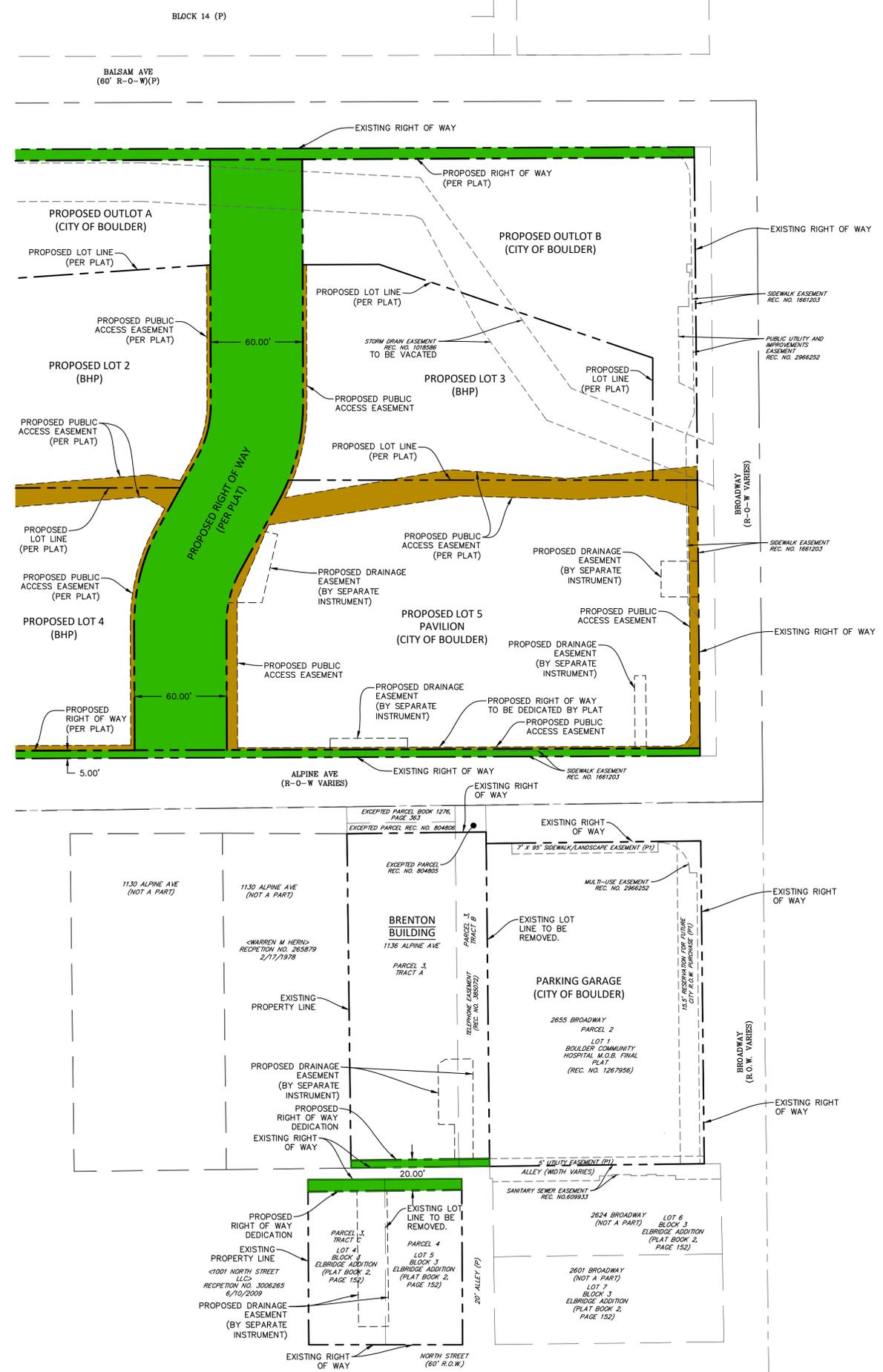
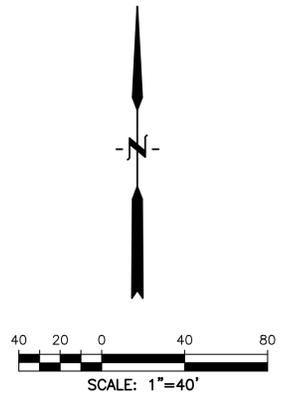
Current Issue **SITE REVIEW**

Current Issue Date **11/03/2023**

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Full Design Team Roster on Sheet 1-G0.01

Client and Project Information



Boulder Western City
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Key Plan and Orientation

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Sheet Title

DEDICATIONS EXHIBIT

Sheet Number

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Current Issue

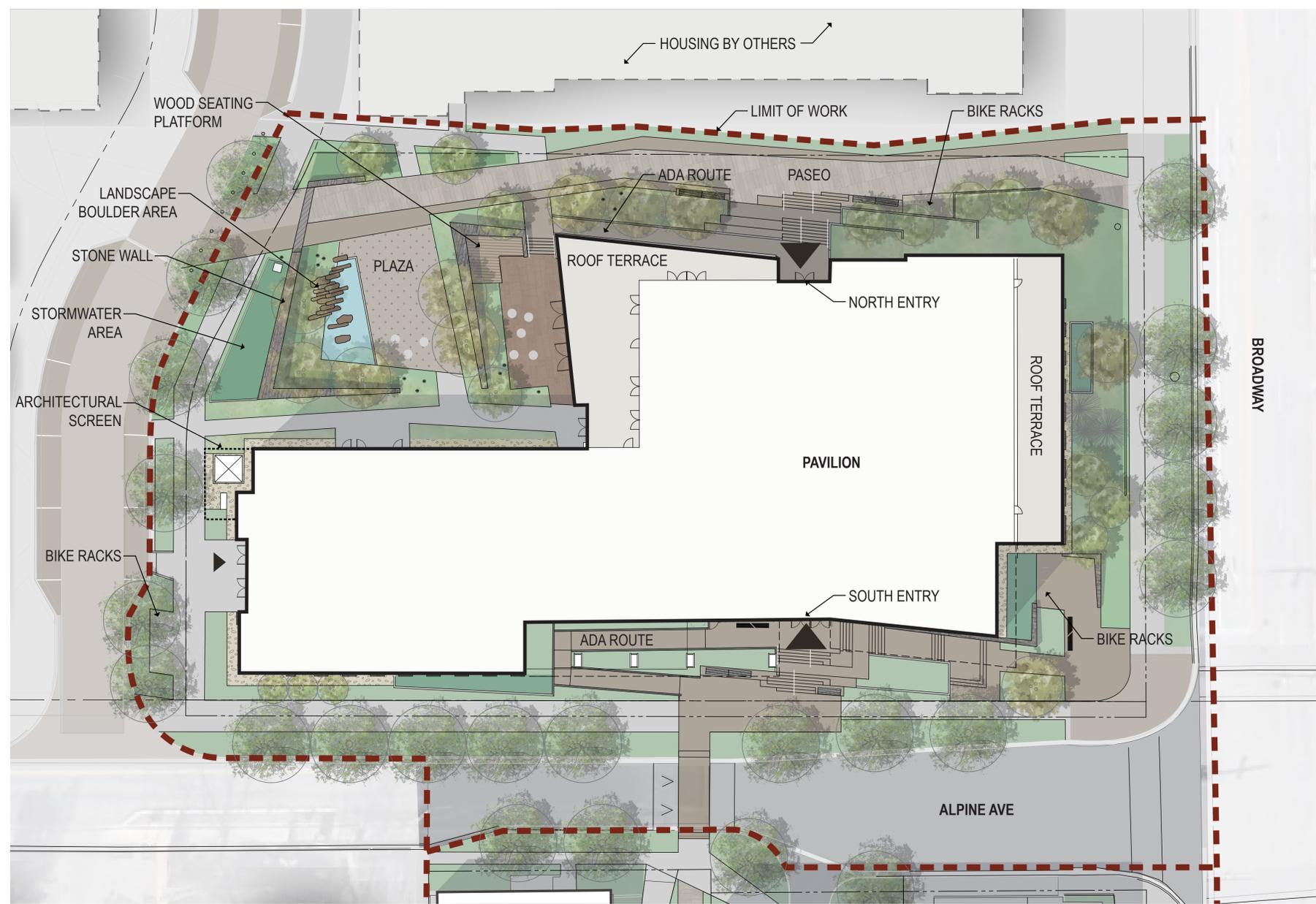
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11/03/2023

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Sheet Size: 24 x 36 10/31/2023 12:47:03 PM



1 LANDSCAPE SITE PLAN - SITE REVIEW
 1-L0.00 1" = 20'-0"

LEGEND

- LIMIT OF WORK
- PROPERTY LINE
- BUILDING OVERHANG
- PLANTING AREA
- ENHANCED PLANTING AREA
- STORMWATER AREA
- STANDARD CONCRETE
- COLORED CONCRETE
- CONCRETE PAVERS
- PERVIOUS PAVERS - PEDESTRIAN
- PERVIOUS PAVERS - VEHICULAR
- STONE PAVERS
- STONE BANDING
- ROOF TERRACE
- WOOD DECK
- WATER FEATURE
- GRAVEL STRIPE
- BOULDERS
- ENTRANCE
- TYPE A WALL
- TYPE B WALL
- PRECAST CONCRETE



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LANDSCAPE SITE PLAN
 - SITE REVIEW

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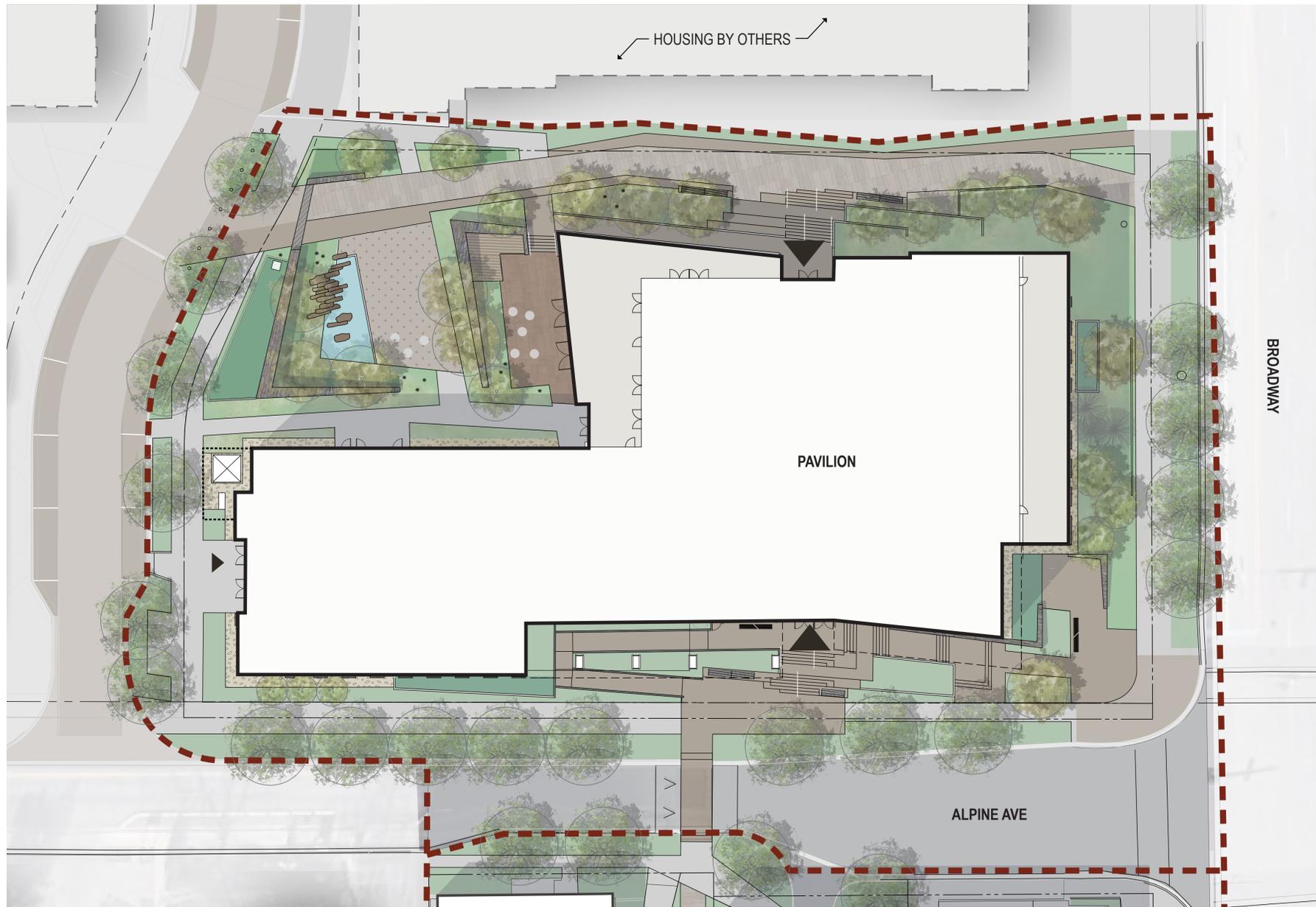
1-L0.00

Current Issue **SITE REVIEW**

Current Issue Date **11/03/2023**

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Sheet Size: 24 x 36 10/31/2023 12:47:03 PM



HARDSCAPE - LOOK + FEEL



SEATING - LOOK + FEEL



STONE - LOOK + FEEL

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Full Design Team Roster on Sheet 1-G0.01

Client and Project Information



Boulder Western City
Campus - Volume 1-Pavilion
Office Building
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Sheet Status **NOT FOR CONSTRUCTION**

Sheet Title

PRECEDENT IMAGERY

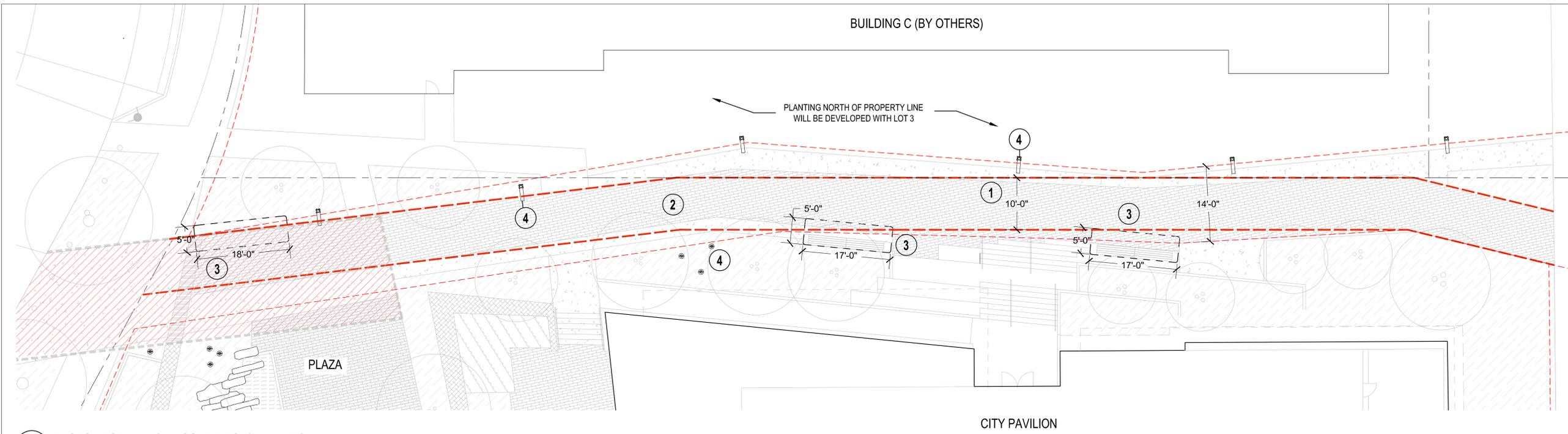
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1-L0.10

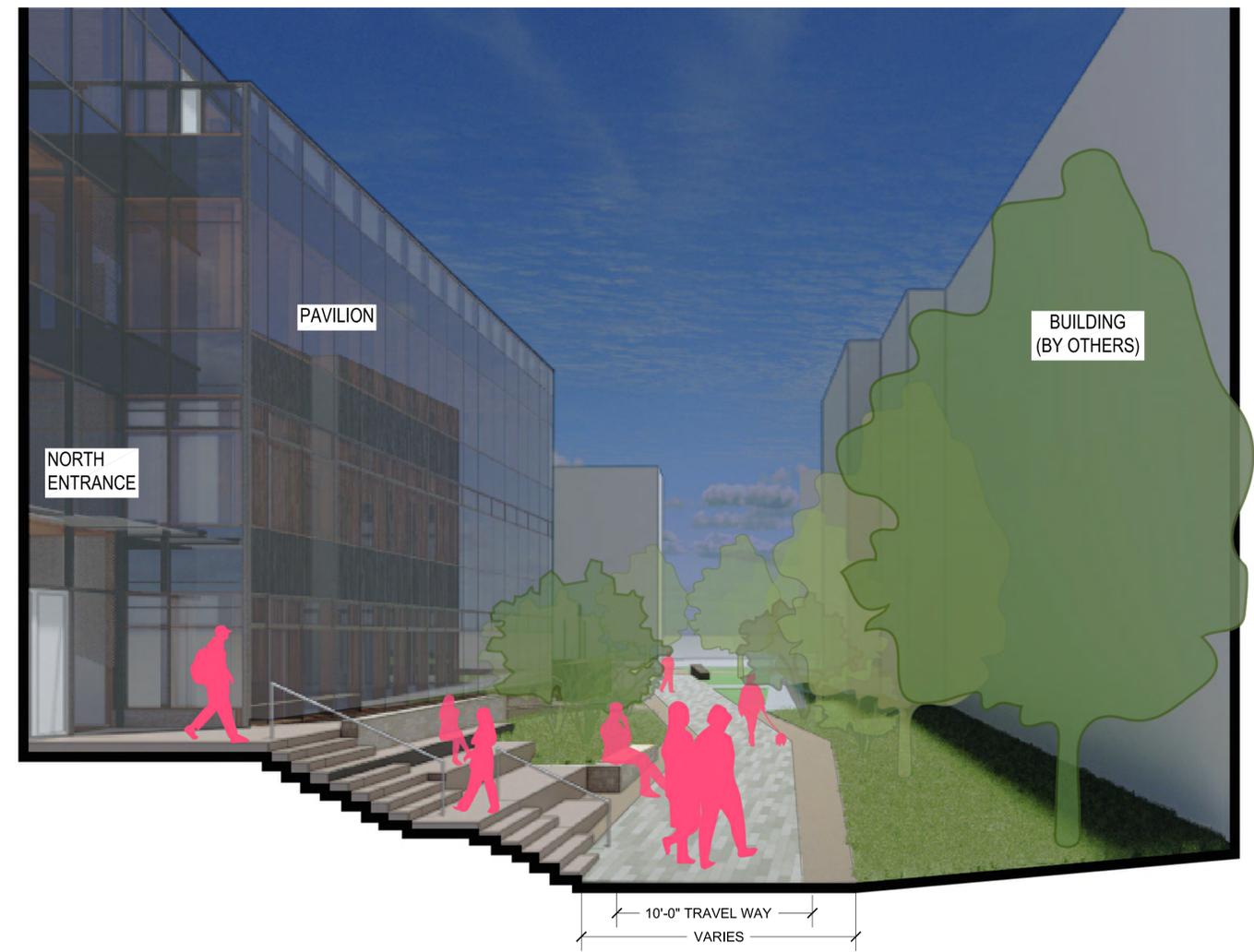
Current Issue **SITE REVIEW**

Current Issue Date **11/03/2023**

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1 PASEO - FORM-BASED CODE REQUIREMENTS
1-L0.20 1" = 10'-0"



2 PASEO SECTION
1-L0.20 3" = 1'-0"

LEGEND

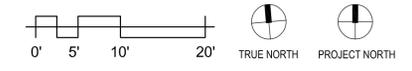
- PROPERTY LINE
- PUBLIC ACCESS EASEMENT (PAE)
- PASEO - 10' PEDESTRIAN TRAVEL WAY
- PLANTING AREA
- PAVERS - 94% OF PASEO TRAVEL WAY
- COLORED CONCRETE
- FIRE ACCESS

ENHANCED PASEO REQUIREMENTS:

KEYNOTE	DESIGN STANDARDS	ENHANCED PASEO
	Minimum width of paseo	25'
1	Minimum width of easement and pedestrian travel way	25' minimum width of easement, 10' minimum width of pedestrian travel way.
	Elements within public access easement	All elements in the public access easement must be approved as part of a revocable permit or lease as applicable. Doors must be recessed and shall not open into the public access easement.
2	Surface treatment of pedestrian travel way	Combination of gray concrete in a decorative scoring pattern, patterned brick and permeable pavers. Brick and pavers shall constitute at least 30% of the surface treatment of the pedestrian travel way and 100% of adjacent seating areas.
	Minimum distance between pedestrian travel way and adjacent buildings	18 inches
	Minimum slope between pedestrian travel way and adjacent buildings	2%
3	Minimum dimensions for adjacent outdoor seating areas	5' x 10'
4	Outdoor lighting	Pedestrian scaled pole mounted lighting

ADDITIONAL REQUIREMENTS

1. RETAINING WALLS SHOULD NOT EXCEED 36".
2. SEATING WALLS SHOULD NOT EXCEED 24"
3. PLANTERS SHALL BE AT LEAST 6" AND NO MORE THAN 20" LONG.
4. TREES SHALL BE DISTRIBUTED AT NO LESS THAN 1 PER EVERY 50 LINEAR FEET.
5. NO LESS THAN 25% OF THE PASEO SHALL BE LANDSCAPED, EVENLY DISTRIBUTED.



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FBC COMPLIANCE - PASEO

Sheet Number

1-L0.20

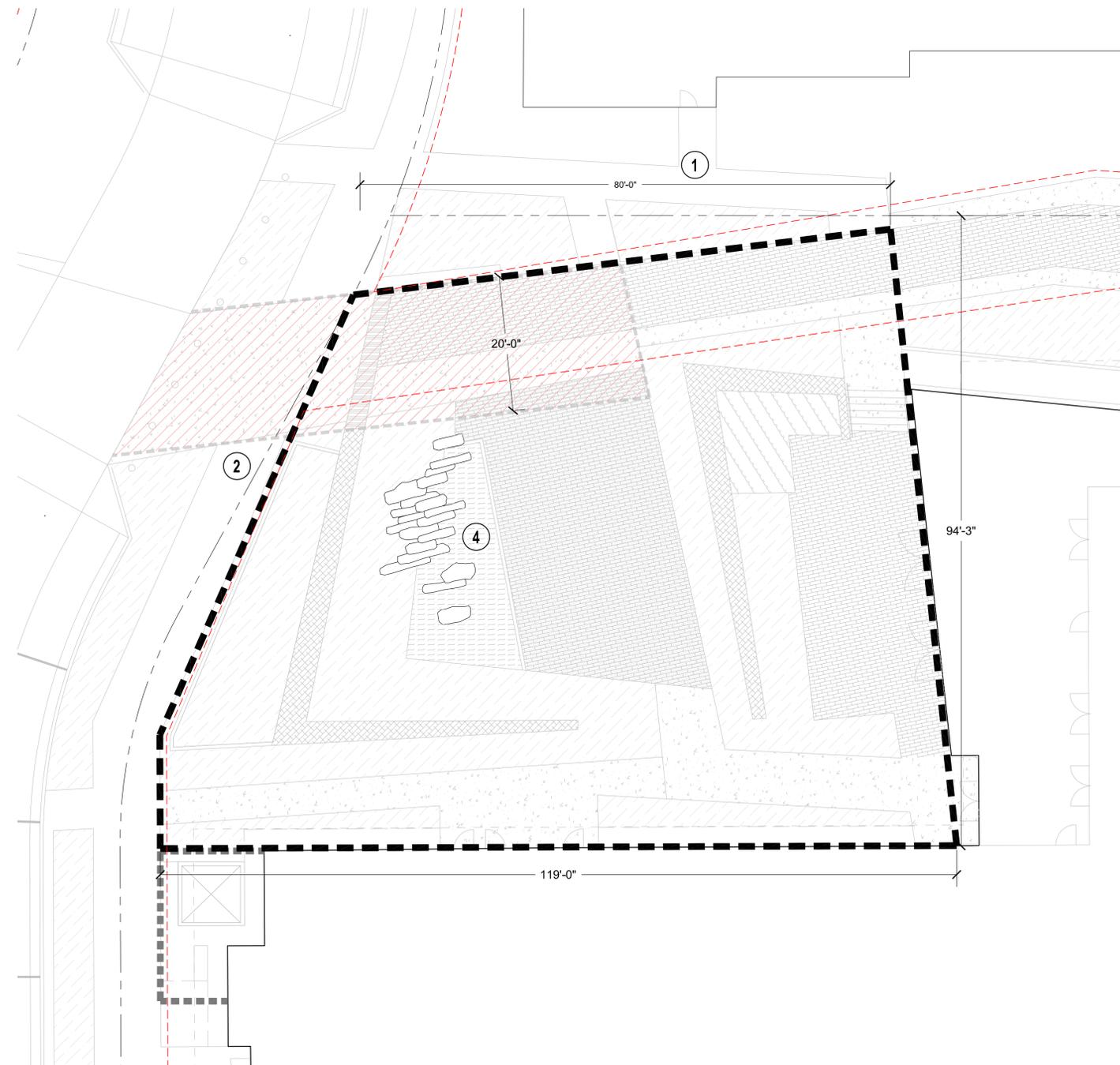
Current Issue
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Current Issue Date
11/03/2023

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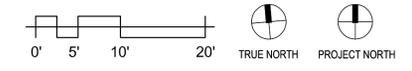
1 FBC COMPLIANCE - PLAZA
1-L0.21 1" = 10'-0"

LEGEND

- PROPERTY LINE
- - - PUBLIC ACCESS EASEMENT
- PLAZA AREA - 8,867 SF
- [Hatched Box] FIRE ACCESS
- [Hatched Box] PLANTING AREA
- [Hatched Box] PERVIOUS PAVERS 1,197 SF (13%) 3
- [Hatched Box] PAVERS
- [Hatched Box] CONCRETE
- [Hatched Box] WATER FEATURE AREA 315 SF (3%) 4
- [Hatched Box] WOODEN PLATFORM
- [Hatched Box] STONE WALLS
- [Hatched Box] STONE BAND
- [Hatched Box] TOTAL IMPERVIOUS SURFACES 4,605 SF (52%) 3

PLAZA REQUIREMENTS:

KEYNOTE	DIMENSIONS		PROPOSED DESIGN
	MINIMUM SIZE	0.10 ACRES (4,356 SF)	8,867 SF
	MAXIMUM SIZE	1 ACRE (43,560 SF)	8,867 SF
1	MINIMUM DIMENSION	80 FT	SEE PLAN
2	MINIMUM PERCENTAGE OF STREET OR PUBLIC WAY FRONTAGE	25%	SEE PLAN
	IMPROVEMENTS		N/A
	DESIGNATED SPORTS FIELDS	NOT PERMITTED	N/A
	PLAYGROUNDS	NOT PERMITTED	N/A
	FULLY ENCLOSED STRUCTURES	PERMITTED; MAY COVER MAXIMUM 5% OF PLAZA AREA	N/A
3	MAXIMUM IMPERVIOUS SURFACE + SEMI-PERVIOUS SURFACE	60%+ IMPERVIOUS 20% SEMI-PERVIOUS	52% 13%
4	MAXIMUM PERCENTAGE OF OPEN WATER	30%	3%



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Client and Project Information



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FBC COMPLIANCE - PLAZA

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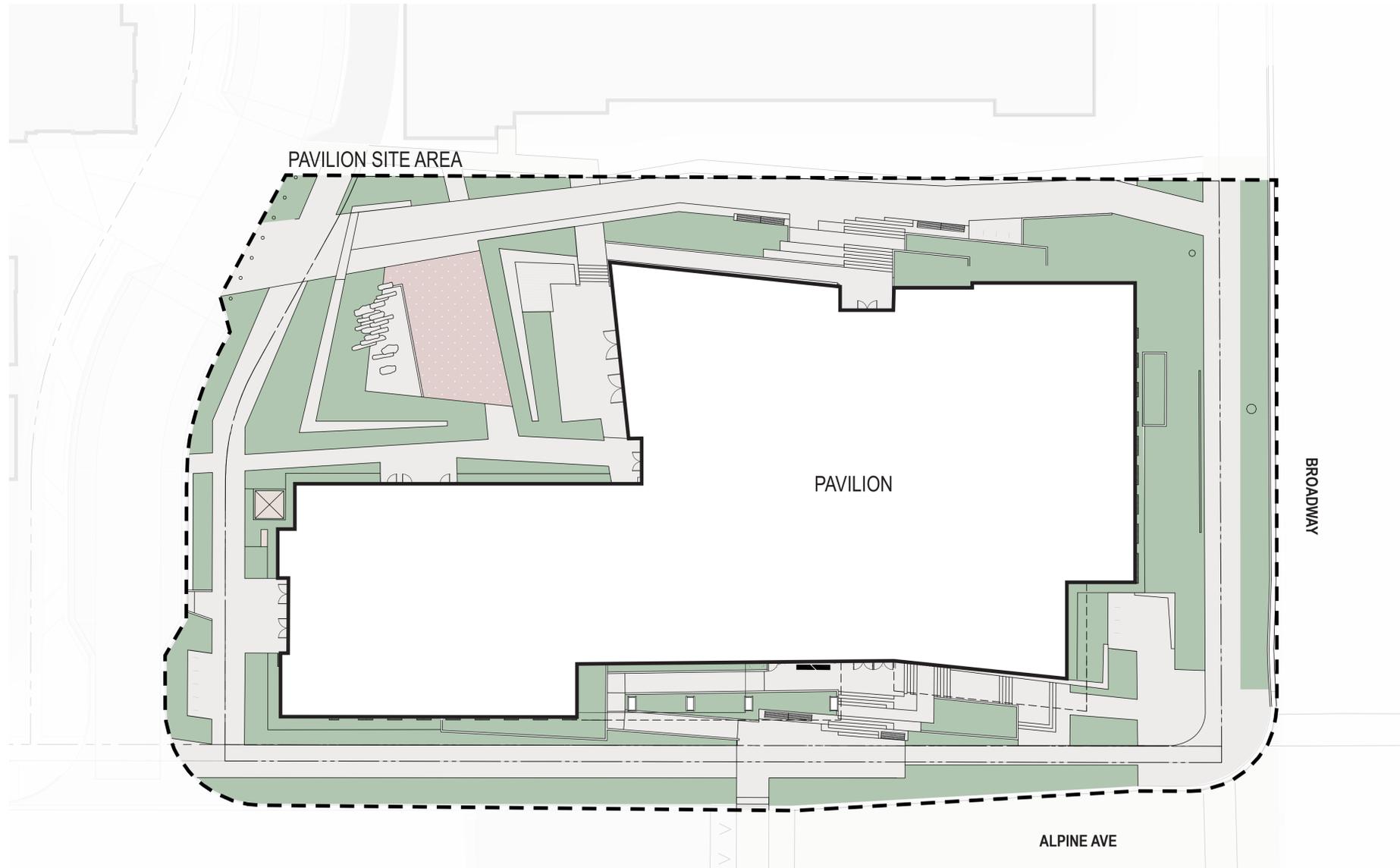
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LEGEND

- TOTAL PAVILION SITE AREA**
(LOT 5 + ADJACENT ROW)
62,360 SF
- PERVIOUS AREA: 15,608 SF**
PERCENTAGE: 25%
- SEMI - PERVIOUS AREA: 1,198 SF**
PERCENTAGE: 2%
MAXIMUM PER M-1-19 = 20%
- + **IMPERVIOUS AREA: 45,554 SF**
PERCENTAGE: 73%
MAXIMUM PER M-1-19 = 50%

1 **FBC COMPLIANCE - SITE IMPERVIOUS COVERAGE**
1-L0.22 1" = 20'-0"



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FBC COMPLIANCE - SITE IMPERVIOUS COVERAGE

Sheet Number

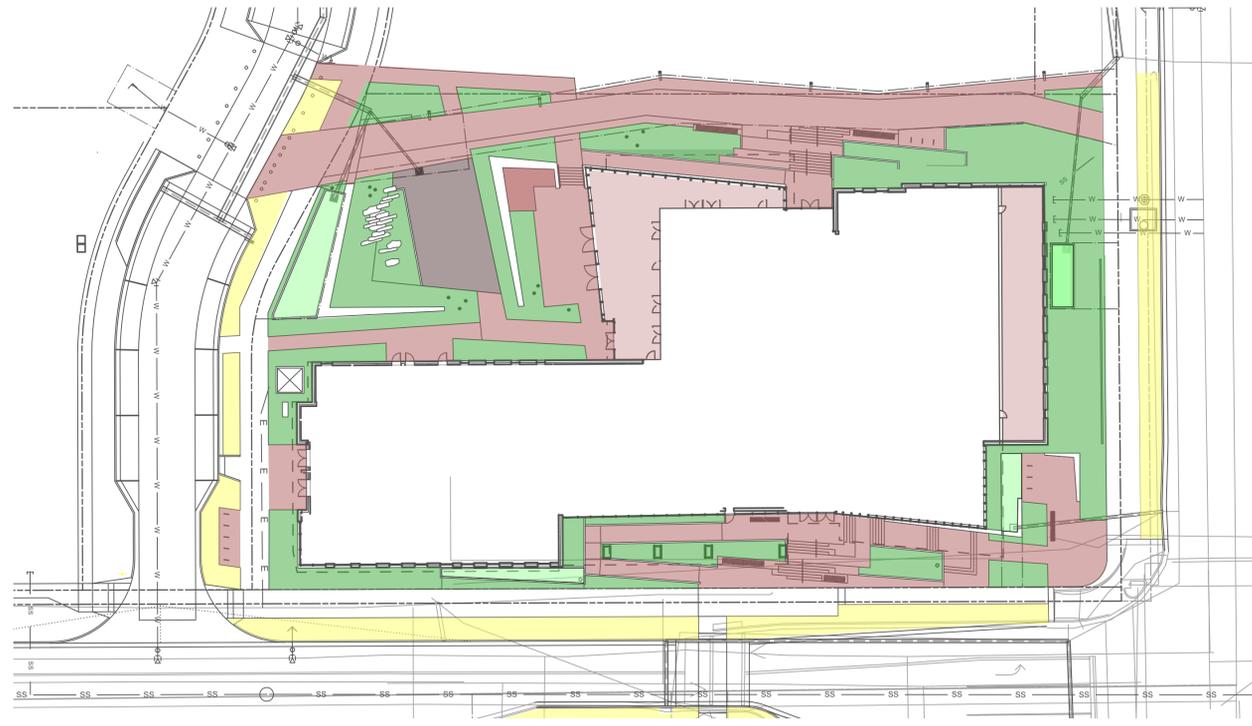
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1 OPEN SPACE AREAS
Scale: 1" = 30'-0"

OPEN SPACE LEGEND

- LANDSCAPE
- LANDSCAPE - WATER QUALITY PLANTER
- ROW LANDSCAPE - NOT INCLUDED IN OS CALC
- HARDSCAPE - ENHANCED PAVING
- HARDSCAPE - ENHANCED PAVING - PERMEABLE PAVERS
- HARDSCAPE - ROOF DECK

Western City Campus
Open Space Calculation - North of Alpine
10/28/23

PUBLIC ZONE CALCULATION
20% of Total Land Area
Total Land Area = 51,874
Interior ground floor OS can count up to 50% of required
10,375 SF required (20%) 34,523 SF provided (66%)

Open Space	Actual	Can Count		
Landscape				
Site Landscape	10,584	10,584	SF	
Rain Gardens (WQ Features)	1,302	1,302	SF	
Hardscape				
Enhanced paving	12,777	12,777	SF	
Common Roof Deck	3,060	3,060	SF	6% Can count up to 25% of required
Common Interior Ground Floor	6,800	6,800	SF	13% Can count up to 50% of required
	34,523	34,523	SF	

Landscape Requirements
1 Tree/5 Shrubs for each 1,500 SF not covered by building or parking

Total Site	51,874	SF
Total Building Coverage	27,700	SF
Total Parking Coverage	-	SF
Remaining	24,174	SF

	Required	Provided	
Trees	16	26	
Shrubs	81	125+	10,335 SF of shrub beds provided

Sod Quantity - no sod anticipated on this project.

Street trees - one tree every 40 LF

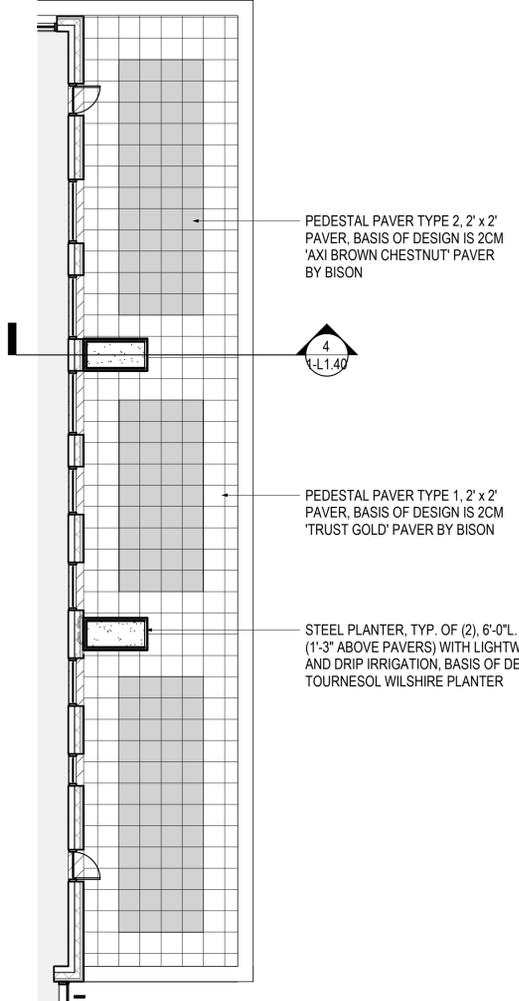
Street Frontage		Required	Provided
Alpine Avenue	320 LF	8	8
11th Street	186 LF	5	7
Broadway	180 LF	5	5

Parking Lot Landscape - Not Applicable

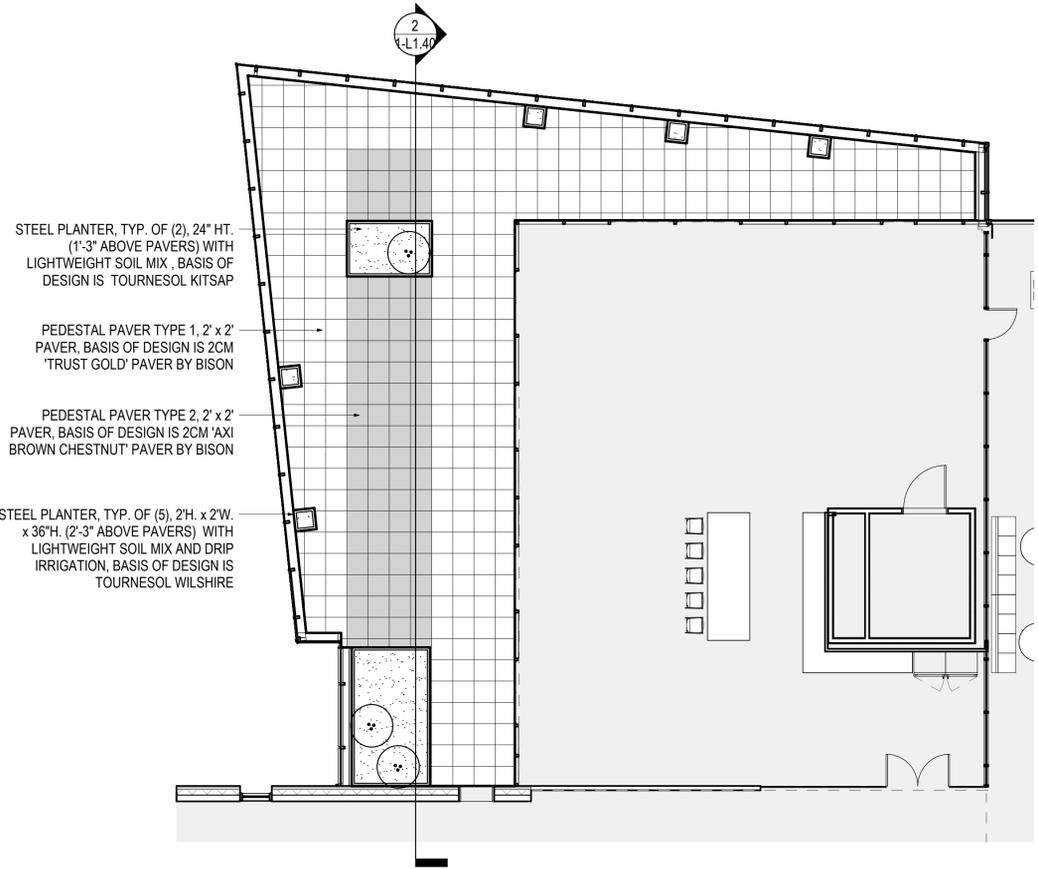
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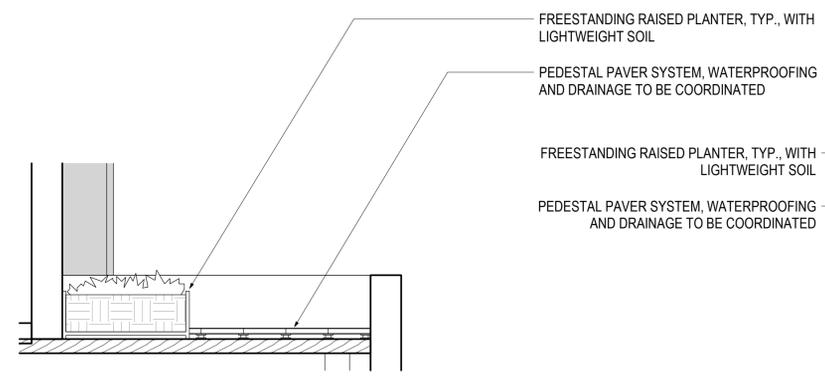
3 ENLARGED PLAN, LEVEL 4 EAST TERRACE 1/8" = 1'-0"



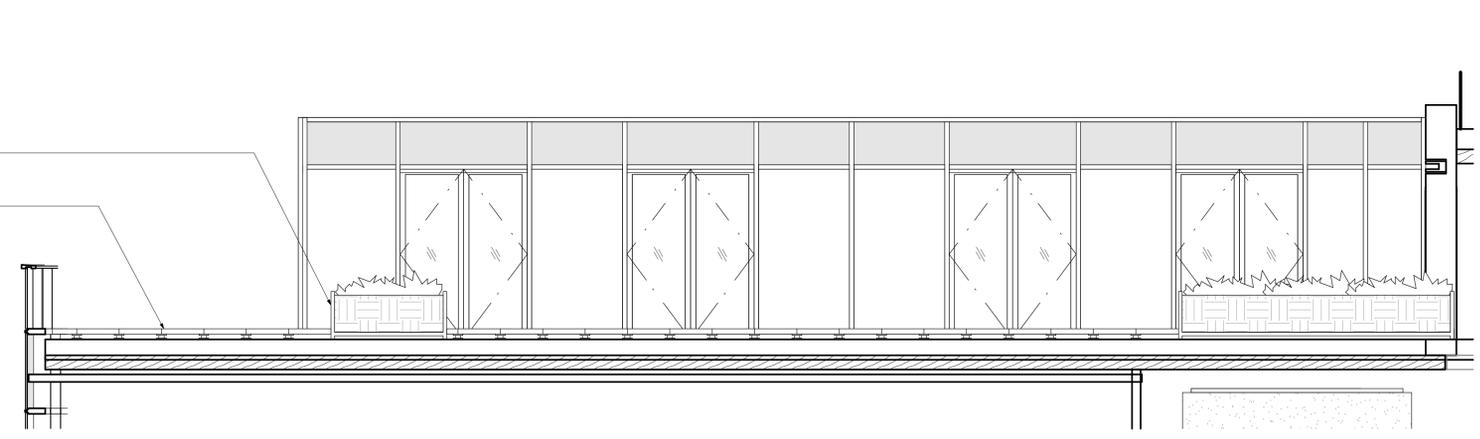
1 ENLARGED PLAN, LEVEL 4 NORTH TERRACE 1/8" = 1'-0"

PLANTING LEGEND

- PLANTINGS IN RAISED FREESTANDING PLANTER - PROVIDE 14" OF LIGHTWEIGHT PLANTING SOIL, 2" OF DECORATIVE STONE MULCH, AND GRASSES AND GROUND COVER, ASSUME 2 GAL. PLANTS 18" O.C.
- ORNAMENTAL SHRUB, ASSUME 5 GAL. PLANT



4 SECTION, LEVEL 4 EAST TERRACE 1/4" = 1'-0"



2 SECTION, LEVEL 4 NORTH TERRACE 1/4" = 1'-0"



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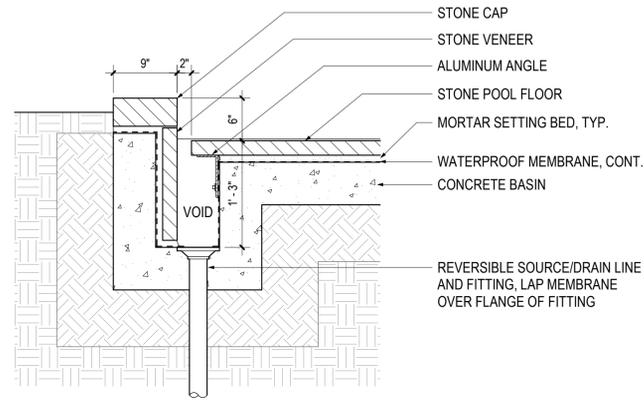
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Sheet Number

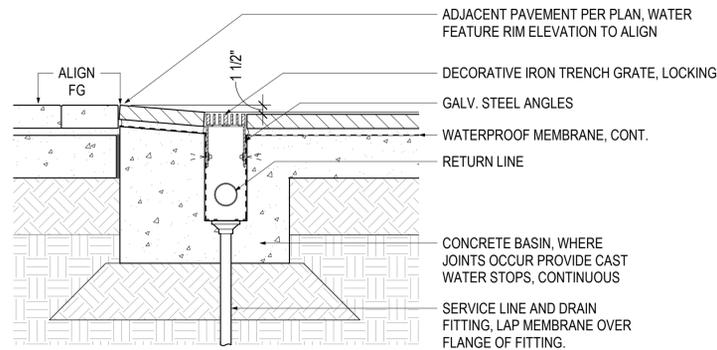
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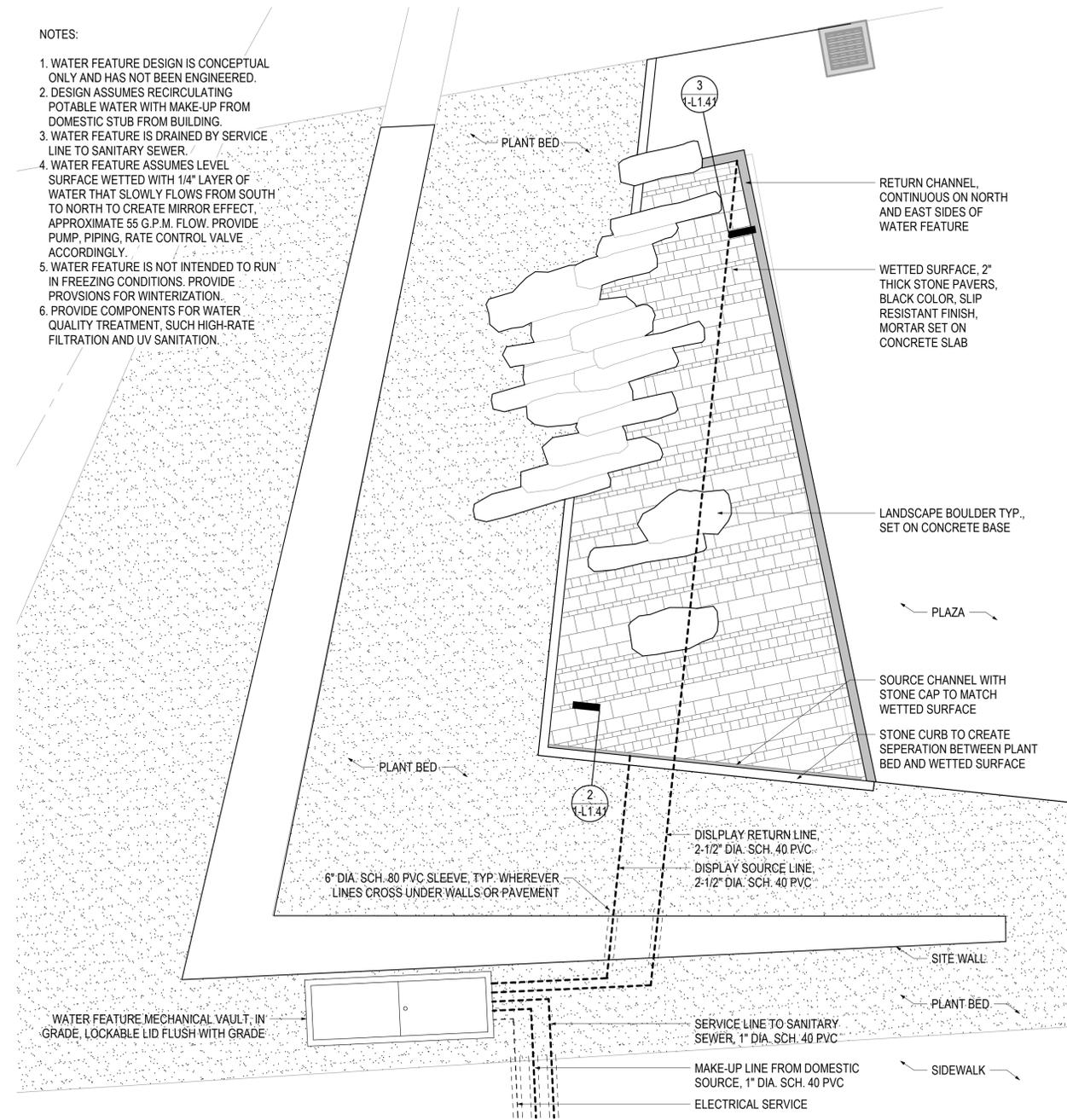
2
1-L1.41
WATER FEATURE SOURCE CHANNEL
1" = 1'-0"



3
1-L1.41
WATER FEATURE RETURN CHANNEL
1" = 1'-0"

NOTES:

1. WATER FEATURE DESIGN IS CONCEPTUAL ONLY AND HAS NOT BEEN ENGINEERED.
2. DESIGN ASSUMES RECIRCULATING POTABLE WATER WITH MAKE-UP FROM DOMESTIC STUB FROM BUILDING.
3. WATER FEATURE IS DRAINED BY SERVICE LINE TO SANITARY SEWER.
4. WATER FEATURE ASSUMES LEVEL SURFACE WETTED WITH 1/4" LAYER OF WATER THAT SLOWLY FLOWS FROM SOUTH TO NORTH TO CREATE MIRROR EFFECT. APPROXIMATE 55 G.P.M. FLOW. PROVIDE PUMP, PIPING, RATE CONTROL VALVE ACCORDINGLY.
5. WATER FEATURE IS NOT INTENDED TO RUN IN FREEZING CONDITIONS. PROVIDE PROVISIONS FOR WINTERIZATION.
6. PROVIDE COMPONENTS FOR WATER QUALITY TREATMENT, SUCH HIGH-RATE FILTRATION AND UV SANITATION.



1
1-L1.41
ENLARGED PLAN, WATER FEATURE
1/4" = 1'-0"

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RENDERING - PASEO AND PLAZA



RENDERING - PLAZA STAIRS AND SITE WALL

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3D VIEWS - PLAZA

Sheet Number

1-L2.00

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3D VIEWS-ENTRIES

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RENDERING - NORTH ENTRANCE



RENDERING - SOUTH ENTRANCE

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2'

1'

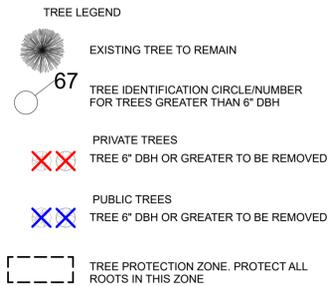
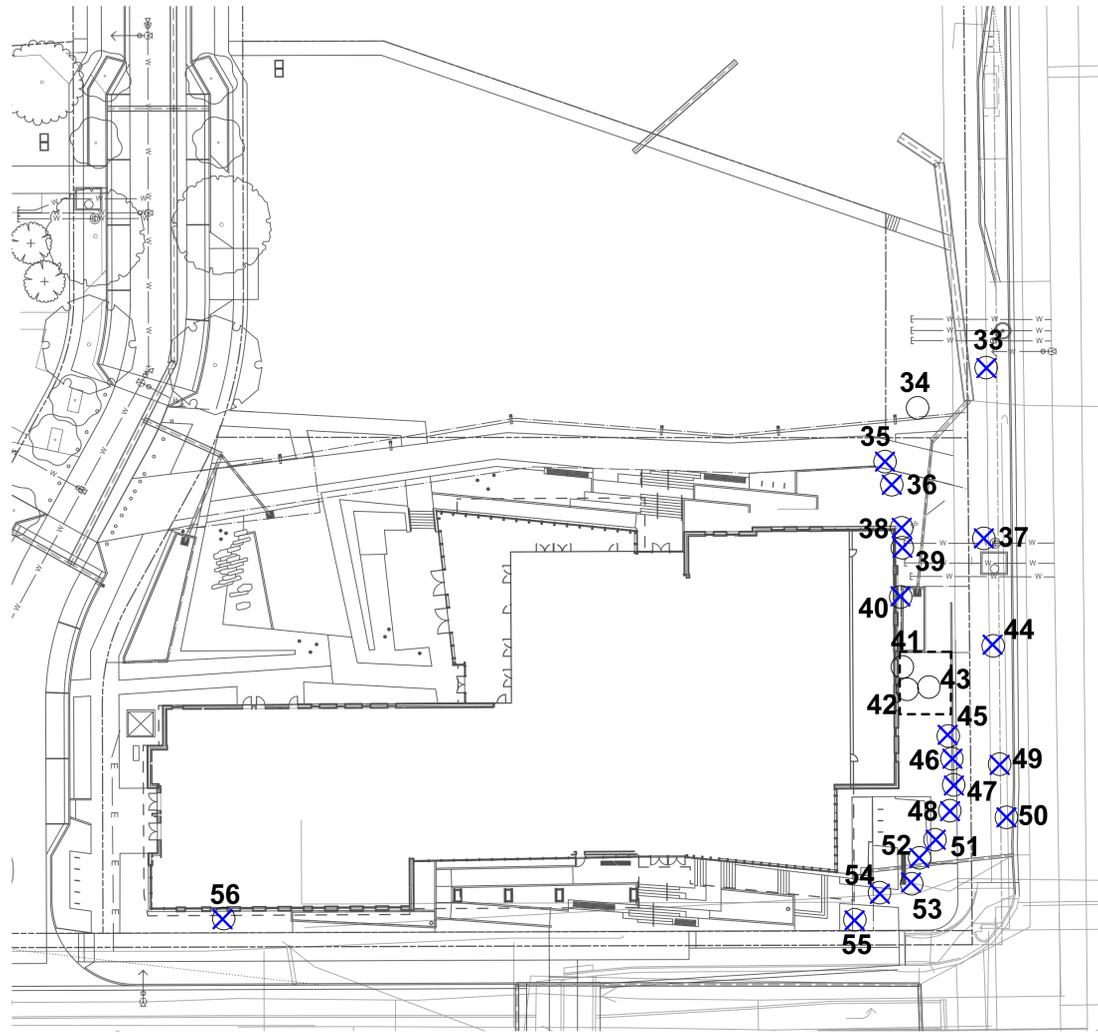
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**CITY OF BOULDER
DESIGN AND CONSTRUCTION STANDARDS
3.05 Tree Protection for Construction Sites**

- (1) Tree Protection Required
(1) An applicant for construction approval shall protect trees and plants in the public right-of-way and on any project or construction site where public improvements are proposed.
(2) An applicant for construction approval shall submit a landscaping plan incorporating proposed tree protection measures for any existing trees located in the public right-of-way and on site at any project or construction site where public improvements are proposed in compliance with these Standards.
(3) The landscaping plan shall identify any potential detrimental effects to existing trees that might result from proposed construction activities within 20 feet of the dripline of any existing trees located on site or in the adjacent public right-of-way. The plan shall include the species, size, and location of all existing trees that are 1-inch or larger caliper size. If no existing trees are present that require protection, this shall be noted on the plan. Existing trees approved to be removed or relocated shall be clearly identified on the landscaping plan.
(4) The applicant for construction approval shall notify the City within 24-hours of any suspected damage to trees resulting from construction activities. If damage occurs during construction, the applicant shall have the damaged tree restored immediately by a qualified arborist.
- (B) Tree Protection Procedures
(1) Protective Maintenance: An applicant for construction approval shall provide maintenance and care for existing trees required to be protected on site and in the public right-of-way adjacent to any project or construction site during construction activities and the public improvement warranty period to ensure that existing trees survive and are not damaged.
(2) Soil Compaction Prevention
(a) To prevent soil compaction, designated routes for equipment and foot traffic by work crews shall be determined prior to commencing construction activities and indicated in the landscaping tree protection plan.
(b) These planned routes shall be marked at the site before construction commences with durable fencing material that is at least 4 feet high. Flagging tape or any other material that may be torn down, moved, or evaded is not acceptable.
(c) The contractor shall inform all construction crew members on the site of access routes and will ensure that only these routes are used.
(d) To prevent tree root smothering, no soil stockpiles, supplies, equipment, or any other material shall be placed or stored within a tree dripline or within 15 feet of the tree trunk for column-shaped trees, whichever distance is greater(e) Soil around a tree dripline may be required to be aerated during and after construction activities. This is necessary even when compaction results from heavy foot traffic. A professional arborist shall do the vertical aeration or soil fracturing. Oil fracturing techniques comparable to using a "growgun" with Isoelite material are acceptable. Conventional turf aeration is not acceptable.
(f) When foot traffic or equipment use is unavoidable within the dripline, the area within the dripline shall be mulched with wood chips to a depth of 6 inches before construction activity begins. A 6-inch mulch depth shall be maintained for the duration of the project, then removed when construction activities are completed.
- (3) Root Protection
(a) Tree roots shall not be cut unless cutting is unavoidable.
(b) When root cutting is unavoidable, a clean, sharp cut shall be made to avoid shredding or smashing. Root cuts should be made back to a lateral root.
(c) Whenever possible, tree roots should be cut between late fall and bud opening, when root energy supplies are high and conditions are least favorable for disease causing agents.
(d) The City shall be notified of any cutting of the following roots:
(i) Two roots having a diameter of more than 3 inches, or
(ii) Four roots having diameters between 2 and 3 inches.
(e) Trenches shall be hand-dug within the dripline in areas where roots 2 inches and larger in diameter are present, and when low branches which may be damaged by equipment are present.
(f) Whenever possible, roots 2 inches or larger in diameter shall be tunneled or bored under and shall be covered to prevent dehydration. Exposed roots shall be covered immediately with soil or burlap and kept moist.
(g) Power tools shall not be used to prune roots, with the exception of arboriculturally approved root-cutting equipment used under the supervision of the City. Only the following approved tools shall be acceptable: scissors-type hand pruners and loppers, except anvil-types, and arborist-type pruning saws.
(h) When more than one root 2 inches or larger in diameter on any public tree is cut, supplemental watering shall be provided if the tree lacks an operational sprinkler system. The applicant or abutting landowner shall provide the watering.
(i) Sidewalk and paving surfaces shall be sufficiently contoured to avoid cutting surface tree roots. Whenever possible, tree roots should be bridged or floated over with walks.
(j) To allow maximum aeration and water penetration to roots, walk materials other than concrete may be selected (e.g., brick, flagstone, honeycomb block, chips, gravel) subject to City approval. Under no circumstances shall impervious material make contact with or completely encircle a tree trunk.
(k) Auger tunneling, not trenching, shall be used where possible for utility placement within the dripline of a tree.
(l) If roots are cut between March and August, trees may need supplemental deep root watering once per week for at least 2 months after the roots are cut. When roots are cut between September 1 and October 15, trees may need supplemental watering once per week until at least October 31.
(m) Tree roots shall not be fertilized for a period of 1 year following the cessation of construction activities. Thereafter, for the next 2 years, a light annual fertilization using a slow release nitrogen source is acceptable.
- (4) Tree Fencing
(a) Fencing material shall encircle any tree whose outer dripline edge is within 20 feet of any construction activities.
(b) Fencing material shall be a bright, contrasting color, durable, and at least 4 feet high. Fence posts shall be comparable to metal T-posts or heavier posts and placed at least 2 feet below ground.
(c) Fencing material shall be placed at the dripline or at least 15 feet from any tree trunk, whichever distance is greater, and maintained in an upright position throughout the duration of construction activities.
(d) The applicant for construction approval shall indicate fencing locations on the landscaping tree protection plan.
(e) Heavy objects, such as wood pallets or metal railings, shall not lean against or come into contact with any tree trunk.
(5) Grade Changes: Grade changes, such as removing topsoil or adding fill material, shall not occur within the dripline of any existing tree. If necessary as part of project or site development, retaining walls and tree wells to maintain the existing grade within the dripline of any tree may be acceptable when constructed prior to site grading changes near the tree. A landscaping plan containing an illustrated design scheme of the tree protection improvement shall be approved by the City prior to initiating any grade changes near existing trees.
(6) Transplanting: Any proposed or required transplanting shall conform with the requirements in Section 3.04(D), "Tree Relocation (Transplanting)."
(7) Chemical/Foreign Material Disposal
(a) Disposing of chemicals or foreign material anywhere on site or in the public right-of-way is prohibited. This shall include, but is not limited to: paint, stain, solvents, concrete or any construction material onsite, and rinse water from any cans or tools containing chemicals.
(b) Soil samples may be taken to determine the presence of chemicals or foreign materials for any planter containing proposed or existing plant material.
(8) Pruning: Pruning shall not occur during construction activities or the public improvement warranty period, except to remove dead or damaged branches or to prevent branch damage that could occur during construction, without the prior approval of the City. Pruning of healthy branches shall be delayed for a period of 2 years after construction activities are completed



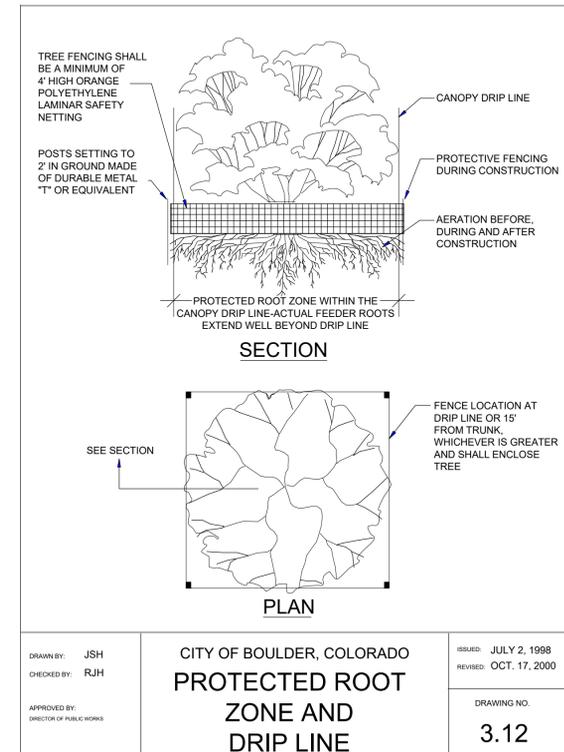
All tree protection standards of Ch. 3 and 10 of the Design and Construction Standards shall be met with particular attention given to grading impacts, limitations of stockpiling, soil compaction prevention and vehicular routes. Tree protection fencing shall be installed prior to any site disturbance and remain in place for the duration of the project. Only hand digging may occur within the dripline of any tree to be preserved. Provide sufficient irrigation throughout construction to maintain the long term health of the tree(s).



West City Campus Site
Tree Inventory

ID#	Common Name	Scientific Name	DBH (in)	Condition Rating	Comments
35	Austrian pine	<i>Pinus nigra</i>	13.0	Good	Remove
36	Austrian pine	<i>Pinus nigra</i>	13.5	Good	Remove
37	Crabapple	<i>Malus sp.</i>	38.0	Good	Remove
38	Hawthorn	<i>Crataegus sp.</i>	6.0	Good	Remove
39	Hawthorn	<i>Crataegus sp.</i>	7.0	Good	Remove
40	Hawthorn	<i>Crataegus sp.</i>	8.0	Good	Remove
41	Austrian pine	<i>Pinus nigra</i>	15.5	Good	Try to keep
42	Austrian pine	<i>Pinus nigra</i>	17.0	Good	Try to keep
43	Austrian pine	<i>Pinus nigra</i>	16.0	Good	Try to keep
44	Red oak	<i>Quercus rubra</i>	7.5	Fair	Remove
45	Hawthorn	<i>Crataegus sp.</i>	6.0	Good	Remove
46	Hawthorn	<i>Crataegus sp.</i>	6.0	Good	Remove
47	Hawthorn	<i>Crataegus sp.</i>	6.0	Good	Remove
48	Hawthorn	<i>Crataegus sp.</i>	6.0	Good	Remove
49	Red oak	<i>Quercus rubra</i>	8.5	Fair	Remove
50	Red oak	<i>Quercus rubra</i>	7.5	Fair	Remove
51	Hawthorn	<i>Crataegus sp.</i>	6.0	Good	Remove
52	Hawthorn	<i>Crataegus sp.</i>	6.0	Good	Remove
53	Hawthorn	<i>Crataegus sp.</i>	6.0	Good	Remove
54	Austrian pine	<i>Pinus nigra</i>	16.0	Good	Remove
55	Austrian pine	<i>Pinus nigra</i>	17.0	Good	Remove
56	Quaking aspen	<i>Populus tremuloides</i>	12.0	Very Poor	Remove
69	Norway maple	<i>Acer platanoides</i>	6.0	Good	Remove
70	Norway maple	<i>Acer platanoides</i>	9.0	Good	Remove
71	Amur maple	<i>Acer ginnala</i>	8.0	Good	Remove
72	Norway maple	<i>Acer platanoides</i>	8.0	Good	Remove
73	Swamp white oak	<i>Quercus bicolor</i>	8.5	Good	Remove
74	Tree of heaven	<i>Ailanthus altissima</i>	11.0	Good	Remove
75	Tree of heaven	<i>Ailanthus altissima</i>	8.0	Poor	Remove
76	Tree of heaven	<i>Ailanthus altissima</i>	8.0	Poor	Remove
77	Tree of heaven	<i>Ailanthus altissima</i>	9.0	Poor	Remove
78	Tree of heaven	<i>Ailanthus altissima</i>	12.0	Poor	Remove
79	Red oak	<i>Quercus rubra</i>	6.0	Good	Off property
80	Honey locust	<i>Gleditsia triacanthos</i>	9.0	Fair	Remove
81	Honey locust	<i>Gleditsia triacanthos</i>	8.0	Good	Remove
82	Siberian elm	<i>Ulmus pumila</i>	14.5	Good	Remove
83	Siberian elm	<i>Ulmus pumila</i>	19.5	Good	Remove
84	Plains cottonwood	<i>Populus deltoides ssp. monilifera</i>	24.0	Good	Remove
85	Plains cottonwood	<i>Populus deltoides ssp. monilifera</i>	15.0	Poor	Remove
86	Plains cottonwood	<i>Populus deltoides ssp. monilifera</i>	19.0	Fair	Remove
87	Plains cottonwood	<i>Populus deltoides ssp. monilifera</i>	20.0	Fair	Remove

PRICING NOTE:
CITY FORESTOR WILL ASSESS MITIGATION FEE FOR ALL HEALTHY PUBLIC TREES TO BE REMOVED. NEW TREES PLANTED CAN OFFSET THIS FEE.



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7 720 491 1167

LANDSCAPE
STUDIO TERRA INC.
710 CLUB CIRCLE
LOUISVILLE, CO 80027
1 303 494 9138

STRUCTURAL
ANTHEM STRUCTURAL ENGINEERS
PLATON OFFICE PARK
2213 CENTRAL AVENUE
BOULDER, CO 80501
1 303 448 8497

MEP
BRANCH PATTERN
3344 WALNUT STREET
DENVER, CO 80205
1 303 382 1920

LIGHTING
AE DESIGN
1900 WAZEE STREET, #005
DENVER, CO 80202
1 303 296 3034

AV/TECHNOLOGY/SECURITY
SALAS O'BRIEN
4800 MAULIUS CT. N. SUITE 200
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1 303 869 5600

Full Design Team Roster on Sheet 1-G0.01



Boulder Western City
Campus - Volume 1-Pavilion
Office Building
1155 Alpine Ave
Boulder, CO 80302

Original Issue

Key Plan and Orientation

Revisions

Sheet Status **NOT FOR CONSTRUCTION**

Sheet Title

TREE PROTECTION AND REMOVALS

Sheet Number

1-L4.00

Current Issue **SITE REVIEW**

Current Issue Date **11/03/2023**

CITY OF BOULDER, COLORADO
PROTECTED ROOT ZONE AND DRIP LINE

DRAWN BY: JSH
CHECKED BY: RJH
APPROVED BY: DIRECTOR OF PUBLIC WORKS

ISSUED: JULY 2, 1998
REVISED: OCT. 17, 2000

DRAWING NO. **3.12**



PLANT SCHEDULE

PERENNIALS											
KEY	SIZE	QUANTITY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	WATER USE	EXPOSURE	FLOWER COLOR	SEASON	
AMTC	1 GAL	TBD	ACHILLEA MILLEFOLIUM 'TERRA COTTA'	TERRA COTTA YARROW	18-24"	18-24"	LOW	SUN	PEACH	SUMMER	
ARU	1 GAL	TBD	AGASTACHE RUPESTRIS	SUNSET HYSSOP	2-3"	2-3"	LOW	SUN	ORANGE PINK	SUMMER TO FALL	
AMMG	1 GAL	TBD	ALYSSUM MONTANUM 'MOUNTAIN GOLD'	MOUNTAIN BASKET OF GOLD	6-12"	12-18"	LOW	SUN	MUSTARD YELLOW	MID-SPRING	
ACOE	1 GAL	TBD	AQUILEGIA COERULEA	ROCKY MOUNTAIN COLUMBINE	18-24"	12-18"	MEDIUM	FILTERED SHADE TO SHADE	BLUE WITH WHITE CENTER	LATE SPRING TO EARLY SUMMER	
AXCC	1 GAL	TBD	ARCTOSTAPHYLOS X COLORADOENSIS CHIEFTAN	CHIEFTAN MANZANITA	3-4"	5-6"	LOW	SUN TO FILTERED SHADE	SOFT PINK	LATE WINTER TO EARLY SPRING	
CPL	1 GAL	TBD	CERATOSTIGMA PLUMBAGINOIDES	PLUMBAGO	8-12"	18-24"	LOW	ADAPTABLE	BLUE	MID TO LATE SUMMER	
CVZ	1 GAL	TBD	COREOPSIS VERTICILLATA 'ZAGREB'	ZAGREB COREOPSIS	12-18"	12-18"	LOW	SUN	GOLD	MID-SUMMER TO FALL	
EFC	1 GAL	TBD	EUONUMUS FORTUNEI 'COLORATUS'	PURPLELEAF WINTERCREEPER	12-18"	3-6"	LOW	ADAPTABLE	INSIGNIFICANT	EARLY SUMMER	
GVI	1 GAL	TBD	GERANIUM VISCOSISSIMUM	STICKY GERANIUM	1-3"	18-24"	LOW	ADAPTABLE	ROSE-PURPLE	LATE SPRING TO SUMMER	
MFM	1 GAL	TBD	MONARDA FISTULOSA MENTHIFOLIA	NATIVE LAVENDER BEE-BALM	2-3"	18-24"	LOW	SUN	LAVENDER	MID-SUMMER	
PMC	1 GAL	TBD	PENSTEMON X MEXICALI 'CAROLYN'S HOPE'	CAROLYN'S HOPE PINK PENSTEMON	12-15"	8-12"	LOW	SUN	PINK	SPRING TO SUMMER	
PATR	1 GAL	TBD	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	3-4"	3-4"	VERY LOW	SUN	BLUE	MID TO LATE SUMMER	
ZGG	1 GAL	TBD	ZINNIA GRANDIFLORA 'GOLD ON BLUE'	GOLD ON BLUE ROCKY MOUNTAIN ZINNIA	6-8"	8-12"	VERY LOW	SUN	GOLDEN YELLOW	MID TO LATE SUMMER	

ORNAMENTAL GRASSES											
KEY	SIZE	QUANTITY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	WATER USE	EXPOSURE	FLOWER COLOR	SEASON	
AC	1 GAL	TBD	ACHNATHERUM CALAMAGROSTIS	UNDAUNTED APLINE PLUME GRASS	2-3"	2-3"	LOW	SUN	TAN	MID-SUMMER	
AGW	1 GAL	TBD	ANDROPOGON GERARDII WINDWALKER	WINDWALKER BIG BLUESTEM GRASS	4-6"	2-3"	LOW	SUN	PURPLE	SUMMER	
CB	1 GAL	TBD	CALAMAGROSTIS BRACHYTRICHA	KOREAN FEATHER REED GRASS	3-4"	2-3"	LOW	SUN TO FILTERED SHADE	PINKISH-TAN	LATE SUMMER	
MR	1 GAL	TBD	MUHLENBERGIA REVERCHONII UNDAUNTED	UNDAUNTED RUBY MUHLY GRASS	15-30"	18-24"	LOW	SUN	RUBY-PINK	FALL	
SSS	1 GAL	TBD	SCHIZACHYRIUM SCOPARIUM 'STANDING OVATION'	STANDING OVATION LITTLE BLUESTEM GRASS	3-4"	12-18"	LOW	SUN	SILVER	LATE SUMMER	
SNT	1 GAL	TBD	SORGHASTRUM NUTANS 'THIN MAN'	THIN MAN INDIAN GRASS	5-7"	2-3"	LOW	SUN	YELLOW	SUMMER	

DECIDUOUS SHRUBS											
KEY	SIZE	QUANTITY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	WATER USE	EXPOSURE	COLOR	SEASON	
AN	5 GAL	TBD	AMORPHA NANA	DWARF FALSE INDIGO	1-2'	1-2'	VERY LOW	SUN	PURPLE	SUMMER	
AML	5 GAL	TBD	ARONIA MELANOCARPA LOW SCAPE MOUND	LOW SCAPE MOUND BLACK CHOKEBERRY	1-2'	18-24"	LOW	ADAPTABLE	WHITE	LATE SPRING	
BBC	5 GAL	TBD	BUDDELEJA 'BLUE CHIP'	DWARF PURPLE-BLUE BUTTERFLY BUSH	24-30"	2-4'	MEDIUM	SUN	PURPLE-BLUE	SUMMER TO FALL	
CHM	5 GAL	TBD	CHAMAEBATIARIA MILLEFOLIUM	FERNBUSH	3-5'	3-6'	VERY LOW	SUN	WHITE	MID TO LATE SPRING	
DBC	5 GAL	TBD	DAPHNE X BURKWOODII 'CAROL MACKIE'	CAROL MACKIE DAPHNE	3-5'	3-5'	MEDIUM	FILTERED SHADE TO SHADE	WHITE	SPRING	
EFE	5 GAL	TBD	EUONYMUS FORTUNEI 'EMERALD GAIEY'	EMERALD GAIEY EUONYMUS	18-24"	3-4'	MEDIUM	FILTERED SHADE TO SHADE	N/A	EARLY SUMMER	
FP	5 GAL	TBD	FALLUGIA PARADOXA	APACHE PLUME	3-6'	3-6'	VERY LOW	SUN	WHITE	SUMMER	
HP	5 GAL	TBD	HESPERALOE PARVIFLORA	RED FALSE YUCCA	3-4'	3-4'	VERY LOW	SUN	RED TO ORANGE-RED	SUMMER	
HPY	5 GAL	TBD	HESPERALOE PARVIFLORA 'YELLOW'	YELLOW FALSE YUCCA	3-4'	3-4'	VERY LOW	SUN	YELLOW	SUMMER	
LVL	5 GAL	TBD	LIGUSTRUM VULGARE 'LODENSE'	LODENSE PRIVET	2-3'	3-4'	LOW	SUN TO FILTERED SHADE	WHITE	EARLY SUMMER	
PS	5 GAL	TBD	PHILADELPHUS X 'SNOWBELLE'	SNOWBELLE MOCKORANGE	3-4'	3-4'	LOW	SUN	WHITE	LATE SPRING TO EARLY SUMMER	
PON	5 GAL	TBD	PHYSOCARPUS OPULIFOLIUS 'NANUS'	DWARF NINEBARK	4-5'	4-5'	LOW	SUN TO FILTERED SHADE	WHITE	LATE SPRING	
PBPB	5 GAL	TBD	PRUNUS BESSEYI PAWNEE BUTTES	CREEPING WESTER SAND CHEERY	15-30"	4-6'	LOW	SUN	WHITE	SPRING	
RAG	5 GAL	TBD	RHUS AROMATICA 'GRO-LOW'	DWARF FRAGRANT SUMAC	2-3'	6-8'	LOW	SUN	YELLOW	EARLY SPRING	
RA	5 GAL	TBD	RIBES ALPINUM	ALPINE CURRANT	3-6'	3-6'	LOW	SUN TO FILTERED SHADE	YELLOWISH-GREEN	MID-SPRING	
RW	5 GAL	TBD	ROSA WOODSII	WOODS' ROSE	3-6'	3-6'	LOW	SUN	PINK	EARLY SUMMER	

EVERGREEN SHRUBS											
KEY	SIZE	QUANTITY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	WATER USE	EXPOSURE	COLOR	SEASON	
JCG	5 GAL	TBD	JUNIPERUS COMMUNIS 'GREEN CARPET'	GREEN CARPET JUNIPER	8-10"	2-3'	LOW	SUN	N/A	N/A	
JHI	5 GAL	TBD	JUNIPERUS HORIZONTALIS 'ICEE BLUE	ICEE BLUE JUNIPER	2-4"	6-8'	LOW	SUN	N/A	N/A	
ATH	5 GAL	TBD	JUNIPERUS SABINA 'CALGARY CARPET'	CALGARY CARPET JUNIPER	12-18"	6-8'	LOW	SUN TO FILTERED SHADE	N/A	N/A	
JSC	5 GAL	TBD	MAHONIA AQUIFOLIUM 'COMPACTA'	COMPACT OREGON GRAPE HOLLY	2-3'	2-3'	LOW	SHADE	YELLOW	MID-SPRING	
PMW	5 GAL	TBD	PINUS MUGO 'WHITE BUD'	WHITE BUD MUGO PINE	2-3'	3-4'	LOW	SUN TO FILTERED SHADE	N/A	N/A	
PSA	5 GAL	TBD	PINUS SYLVESTRIS 'ALBYN PROSTRATA'	SPREADING SCOTS PINE	2'	8'	LOW	SUN	N/A	N/A	

ORNAMENTAL TREES											
KEY	SIZE	QUANTITY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	WATER USE	EXPOSURE	COLOR	SEASON	
ALS	2.0" CAL	2	AMELANCHIER LAEVIS SPRING FLURRY	SPRING FLURRY ALLEGHENY SERVICEBERRY	20-35'	15-20'	LOW	SUN	WHITE	SPRING	
ARAG	2.0" CAL	3	ACER RUBRUM ARMSTRONG GOLD	ARMSTRONG GOLD RED MAPLE	30-40'	10-12'	MEDIUM	SUN	N/A	N/A	
ATH	2.0" CAL	3	ACER TATARICUM HOT WINGS	HOT WINGS TATARIAN MAPLE	15-20'	15-20'	LOW	ADAPTABLE	GREENISH-WHITE	SPRING	
CAM	2.0" CAL	3	CRATAEGUS AMBIGUA	RUSSIAN HAWTHORN	15-25'	15-20'	LOW	SUN TO FILTERED SHADE	WHITE	SPRING	
MSS	2.0" CAL	6	MALUS 'SPRING SNOW'	SPRING SNOW CRABAPPLE	20-25'	20-25'	MEDIUM	SUN	WHITE	SPRING	
PPM	2.0" CAL	4	PRUNUS PADUS 'MERLOT'	SPRING LEAF MAYDAY TREE	15-20'	15-20'	MEDIUM	ADAPTABLE	WHITE	SPRING	
PCC	2.0" CAL	3	PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	20-30'	15-20'	MEDIUM	SUN	WHITE	SPRING	
PCJ	2.0" CAL	3	PYRUS CALLERYANA JACK	PEAR JACK	14-16'	8-10'	MEDIUM	SUN	WHITE	SPRING	

SHADE TREES											
KEY	SIZE	QUANTITY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	WATER USE	EXPOSURE	COLOR	SEASON	
AGRM	2.5" CAL	2	ACER GRANDIDENTATUM ROCKY MOUNTAIN GLOW	ROCKY MOUNTAIN GLOW MAPLE	20-30'	20-30'	LOW	SUN	GREEN-YELLOW	SPRING	
CO	2.5" CAL	2	CELTIS OCCIDENTALIS	WESTERN HACKBERRY	50-60'	40-50'	LOW	SUN	N/A	N/A	
CC	2.5" CAL	2	CORYLUS COLURNA	TURKISH FILBERT	30-45'	25-30'	LOW	SUN	N/A	N/A	
GDE	2.5" CAL	2	GYMNOCLADUS DIOICUS 'ESPRESSO'	SEEDLESS KENTUCKY COFFEETREE	50-60'	40-50'	LOW	SUN	YELLOW-GREEN	SPRING	
QB	2.5" CAL	4	QUERCUS BICOLOR	SWAMP WHITE OAK	40-60'	40-60'	LOW	SUN TO FILTERED SHADE	N/A	N/A	
UA	2.5" CAL	2	ULMUS ACCOLADE	ACCOLADE ELM	50-70'	30-40'	MEDIUM	SUN	N/A	N/A	
UXT	2.5" CAL	4	ULMUS X TRIUMPH	TRIUMPH ELM	50-60'	40-50'	MEDIUM	SUN	N/A	N/A	
ZS	2.5" CAL	1	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	40-60'	30-50'	MEDIUM	SUN	N/A	N/A	

CITY OF BOULDER LANDSCAPE NOTES:

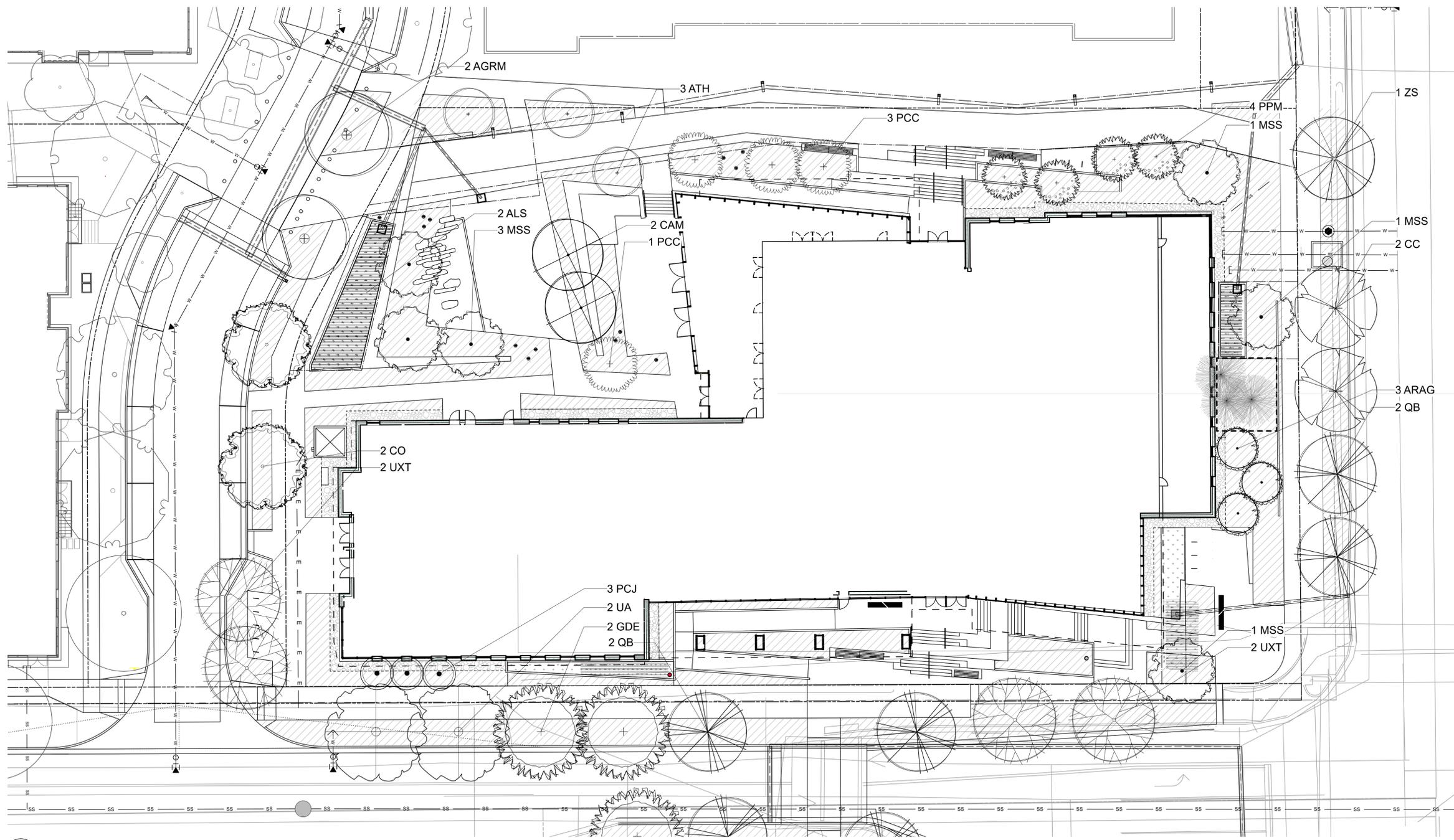
- LANDSCAPING SCHEDULE: (A) NOTHING SHALL BE PLANTED BETWEEN OCTOBER 15 AND MARCH 1 WITHOUT PRIOR WRITTEN APPROVAL OF THE CITY. STOCK, OTHER THAN CONTAINER-GROWN STOCK, SHALL NOT BE PLANTED BETWEEN JUNE 1 AND SEPTEMBER 1 WITHOUT PRIOR WRITTEN APPROVAL OF THE CITY. BARE ROOT STOCK SHALL NOT BE PLANTED AFTER APRIL 30 OR IF PLANTS HAVE BEGUN TO LEAF OUT. (B) NOTHING SHALL BE PLANTED DURING FREEZING OR EXCESSIVELY WINDY, HOT, OR WET WEATHER OR WHEN THE GROUND CONDITIONS CANNOT BE PROPERLY WORKED FOR DIGGING, MIXING, RAKING, OR GRADING. (C) NOTHING SHALL BE PLANTED UNTIL THE ADJACENT SITE IMPROVEMENTS, PAVEMENTS, IRRIGATION INSTALLATION AND FINISH GRADING IS COMPLETED. THE CONTRACTOR SHALL TEST THE IRRIGATION SYSTEM IN THE PRESENCE OF THE DIRECTOR. THE IRRIGATION SYSTEM SHALL BE IN APPROVED, OPERATING CONDITION PRIOR TO ANY PLANTING.
- SITE PREPARATION AND ALL PLANTING SHALL BE COMPLETED, AT A MINIMUM, IN ACCORDANCE WITH THE CITY OF BOULDER DESIGN AND CONSTRUCTION STANDARDS. SITE PREPARATION SHALL INCLUDE TILLING THE SOIL TO A MINIMUM DEPTH OF SIX INCHES BELOW THE FINISHED GRADE, TOGETHER WITH SOIL AMENDMENTS THAT ARE APPROPRIATE TO ENSURE THE HEALTH AND SUSTAINABILITY OF THE LANDSCAPING TO BE PLANTED.
- TURF GRASS SHALL BE LIMITED TO A MAXIMUM OF 25 PERCENT OF ALL LANDSCAPE AREAS ON THE SITE.
- ALL PLANTING BEDS AND A 3-FOOT DIAMETER RING AT THE BASE OF EACH TREE WITHIN SOD OR SEEDED AREAS SHALL BE MULCHED WITH ORGANIC MULCH AT LEAST 4" DEEP.
- GRAVEL, ROCK MULCH, OR CRUSHER FINES SHALL NOT BE USED UNDER TREES OR ANY PLANTING AREAS. ROCK OR GRAVEL MAY ONLY BE USED AS A SPECIFIC ORNAMENTAL FEATURE IN LIMITED AREAS (SUCH AS AT THE BOTTOM OF A DRAINAGE SWALE OR DRY RIVER BED) OR AS A PEDESTRIAN PATH OR PATIO.
- WEED BARRIER FABRIC SHALL NOT BE USED IN ANY PLANTING AREAS.
- ALL PLANTS SHALL BE GROUPED BY WATER NEEDS. A MINIMUM OF 75 PERCENT OF ALL LANDSCAPED AREAS (INCLUDING ANY TURF GRASS) MUST USE LOW TO MODERATE WATER DEMAND PLANTS. THE LANDSCAPE SHALL BE DESIGNED SO THAT, AT MATURITY, NOT MORE THAN 10 PERCENT OF THE LANDSCAPED AREA IS EXPOSED MULCH.
- ALL LANDSCAPE AREAS SHALL BE WATERED BY AN AUTOMATIC IRRIGATION SYSTEM. THE IRRIGATION SYSTEM MUST BE ZONED TO DELIVER DIFFERENT APPROPRIATE AMOUNTS OF WATER TO DIFFERENT PLANT ZONES. THE SITE SHOULD BE IRRIGATED WITH DRIP IRRIGATION, BUBBLER, OR MICRO-SPRAY SYSTEMS. ALL TREES WILL BE ZONED SEPARATELY FROM TURF GRASS. ALL IRRIGATION ZONES SHALL USE A SMART SYSTEM THAT ADJUSTS FOR RAINFALL, SOIL MOISTURE, AND OTHER WEATHER FACTORS.
- PROTECTIVE MAINTENANCE: AN APPLICANT FOR CONSTRUCTION APPROVAL SHALL PROVIDE MAINTENANCE AND CARE FOR ALL EXISTING TREES REQUIRED TO BE PROTECTED IN THE PUBLIC RIGHT-OF-WAY ADJACENT TO ANY PROJECT OR CONSTRUCTION SITE DURING CONSTRUCTION ACTIVITIES AND THE PUBLIC IMPROVEMENT WARRANTY PERIOD TO ENSURE THAT EXISTING TREES SURVIVE AND ARE NOT DAMAGED. REFER TO CHAPTER 3 OF THE DESIGN AND CONSTRUCTION STANDARDS FOR ALL TREE PROTECTION REQUIREMENTS. (ONLY APPLICABLE TO EXISTING PUBLIC STREET TREES OR EXISTING PRIVATE TREES THAT WILL MEET THE STREET TREE REQUIREMENTS OF SECTION 9-9-13 BRC 1981)
- ALL NEW TREES SHALL BE LOCATED A MINIMUM OF 10' FROM ANY EXISTING WATER OR SEWER UTILITY LINES OR FROM LIGHT POLES OR OVERHEAD UTILITY POLES. ALL NEW UTILITY LINES SHALL BE LOCATED A MINIMUM OF 10' FROM ANY EXISTING PUBLIC STREET TREE.

OTHER LANDSCAPE NOTES:

- ALL PLANT MATERIAL SHALL MEET SPECIFICATIONS OF THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) FOR NUMBER ONE GRADE. ALL TREES SHALL BE BALLED AND BURLAPPED OR EQUIVALENT. ALL PLANT MATERIALS SHALL HAVE ALL WIRE, TWINE OR OTHER CONTAINMENT MATERIALS, EXCEPT FOR BURLAP, REMOVED FROM TRUNK AND ROOT BALL OF THE PLANT PRIOR TO PLANTING.
- GRADES SHALL BE SET TO ALLOW FOR PROPER DRAINAGE AWAY FROM STRUCTURES. GRADES SHALL MAINTAIN SMOOTH PROFILES AND BE FREE OF SURFACE DEBRIS, BUMPS, AND DEPRESSIONS.
- OWNERS SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS DONE BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTIONS DOES NOT CONFLICT NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.
- ALL SHRUB BEDS ADJACENT TO TURF AREAS SHALL BE EDGED WITH ROLLED TOP STEEL EDGER.
- ALL SHRUB BED AREAS, PERENNIALS AND GROUND COVER SHALL BE MULCHED WITH A 4" LAYER OF GORILLA HAIR MULCH. DO NOT USE WEED BARRIER FABRIC IN ANY OF THE LANDSCAPE BEDS.
- PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENED; ORGANIC SOIL AMENDMENTS SHALL BE INCORPORATED AT THE RATE OF AT LEAST FOUR (4) CUBIC YARDS PER 1000 SQUARE FEET OF LANDSCAPE AREA.
- PROVIDE 12" OF TOPSOIL IN ALL PLANTING AREAS THAT WERE PREVIOUSLY HARDSCAPE.
- PLANTS ARE GROUPED BY WATER USE ZONE TO CONSERVE WATER.
- CONTRACTOR SHALL VERIFY ALL MATERIAL QUANTITIES PRIOR TO INSTALLATION. ACTUAL NUMBER OF PLANT SYMBOLS SHALL HAVE PRIORITY OVER THE QUANTITY DESIGNATED.
- REFER TO THE CITY OF BOULDER DESIGN AND CONSTRUCTION STREETSCAPING STANDARDS FOR ALL WORK WITHIN PUBLIC AREAS.
- REFER TO THE CIVIL ENGINEER DRAWINGS FOR GRADING AND UTILITY INFORMATION.
- REFER TO THE CITY OF BOULDER DESIGN AND CONSTRUCTION STANDARDS FOR TREE PROTECTION REQUIREMENTS.

FOR DAB REFERENCE ONLY

FOR DAB REFERENCE ONLY



1 PLANTING PLAN
Scale: 1/16" = 1'-0"

SIGHT TRIANGLE NOTES:
PER BOULDER REVISED CODE 9-9-7(B):
OBSTRUCTION PROHIBITED: NO PERSON SHALL PLACE OR MAINTAIN ANY STRUCTURES, FENCES, LANDSCAPING, OR ANY OTHER OBJECTS WITHIN ANY SIGHT TRIANGLE AREA DESCRIBED IN SUBSECTION (C) OF THIS SECTION THAT OBSTRUCTS OR OBSCURES SIGHT DISTANCE VISIBILITY THROUGH SUCH STRUCTURES, FENCING, LANDSCAPING, OR OTHER OBJECTS BY MORE THAN TWENTY-FIVE PERCENT OF THE TOTAL VIEW IN THE VERTICAL PLANE ABOVE THE SIGHT TRIANGLE AREA BETWEEN A HEIGHT OF THIRTY INCHES AND NINETY-SIX INCHES ABOVE THE ROADWAY SURFACE, EXCEPT FOR THE FOLLOWING:

(1) LANDSCAPING, STRUCTURES, OR FENCES THAT PROTRUDE NO MORE THAN THIRTY INCHES ABOVE THE ADJACENT ROADWAY SURFACE MAY BE PERMITTED WITHIN THE SIGHT TRIANGLE AREA.

(2) TREES MAY BE PLANTED AND MAINTAINED WITHIN THE SIGHT TRIANGLE AREA IF ALL BRANCHES ARE TRIMMED TO MAINTAIN A CLEAR VISION FOR A VERTICAL HEIGHT OF NINETY-SIX INCHES ABOVE THE ROADWAY SURFACE AND THE LOCATION OF THE TREES PLANTED, BASED ON THE TREE SPECIES EXPECTED MATURE HEIGHT AND SIZE, DOES NOT OBSTRUCT SIGHT VISIBILITY BY MORE THAN TWENTY-FIVE PERCENT OF THE SIGHT TRIANGLE AREA.

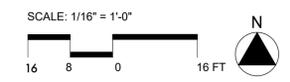
LEGEND

	EXISTING TREE TO REMAIN
	PLANTING BED - SHRUBS, ORN GRASSES, PERENNIALS - 5 GAL SHRUBS, 1 GAL GRASSES AND PERENNIALS
	PLANTING BED - WATER QUALITY PLANTINGS
	ROCK MULCH
	LANDSCAPE EDGER
	TREE PROTECTION ZONE

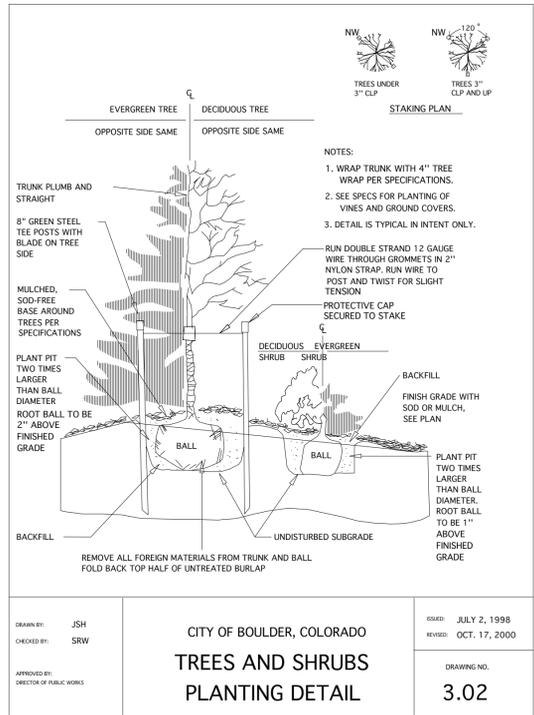
TREE KEY

ORNAMENTAL TREES			
KEY	SIZE	BOTANICAL NAME	COMMON NAME
ALS	2.0" CAL	AMELANCHIER LAEVIS SPRING FLURRY	SPRING FLURRY ALLEGHENY SERVICEBERRY
ARAG	2.0" CAL	ACER RUBRUM ARMSTRONG GOLD	ARMSTRONG GOLD RED MAPLE
ATH	2.0" CAL	ACER TATARICUM HOT WINGS	HOT WINGS TATARIAN MAPLE
CAM	2.0" CAL	CRATAEGUS AMBIGUA	RUSSIAN HAWTHORN
MSS	2.0" CAL	MALUS 'SPRING SNOW'	SPRING SNOW CRABAPPLE
PPM	2.0" CAL	PRUNUS PADUS 'MERLOT'	PURPLE LEAF MAYDAY TREE
PCC	2.0" CAL	PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR
PCJ	2.0" CAL	PYRUS CALLERYANA JACK	PEAR JACK

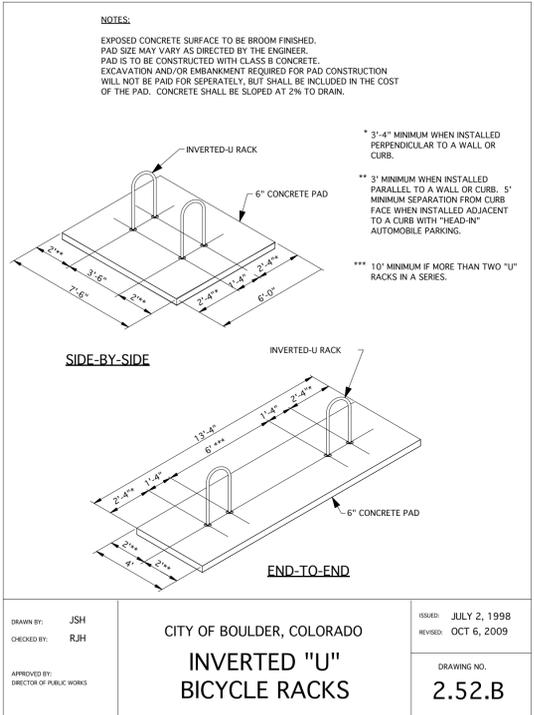
SHADE TREES			
KEY	SIZE	BOTANICAL NAME	COMMON NAME
AGRM	2.5" CAL	ACER GRANDIDENTATUM ROCKY MOUNTAIN GLOW	ROCKY MOUNTAIN GLOW MAPLE
CO	2.5" CAL	CELTIS OCCIDENTALIS	WESTERN HACKBERRY
CC	2.5" CAL	CORYLUS COLURNA	TURKISH FILBERT
GDE	2.5" CAL	GYMNOCLADUS DIOICUS 'ESPRESSO'	SEEDLESS KENTUCKY COFFEETREE
QB	2.5" CAL	QUERCUS BICOLOR	SWAMP WHITE OAK
UA	2.5" CAL	ULMUS ACCOLADE	ACCOLADE ELM
UXT	2.5" CAL	ULMUS X TRIUMPH	TRIUMPH ELM
ZS	2.5" CAL	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA



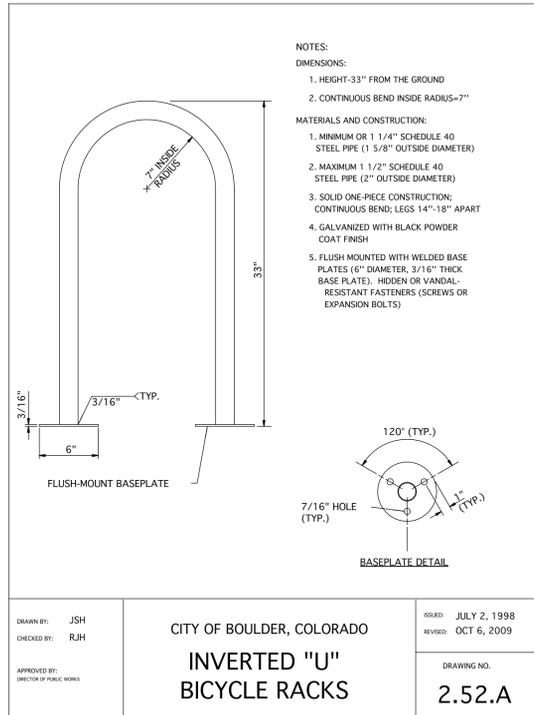
FOR DAB REFERENCE ONLY



DRAWN BY: JSH CHECKED BY: SRW APPROVED BY: DIRECTOR OF PUBLIC WORKS	CITY OF BOULDER, COLORADO TREES AND SHRUBS PLANTING DETAIL	ISSUED: JULY 2, 1998 REVISED: OCT. 17, 2000 DRAWING NO. 3.02
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DRAWN BY: JSH CHECKED BY: RJH APPROVED BY: DIRECTOR OF PUBLIC WORKS	CITY OF BOULDER, COLORADO INVERTED "U" BICYCLE RACKS	ISSUED: JULY 2, 1998 REVISED: OCT 6, 2009 DRAWING NO. 2.52.B
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DRAWN BY: JSH CHECKED BY: RJH APPROVED BY: DIRECTOR OF PUBLIC WORKS	CITY OF BOULDER, COLORADO INVERTED "U" BICYCLE RACKS	ISSUED: JULY 2, 1998 REVISED: OCT 6, 2009 DRAWING NO. 2.52.A
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Boulder Western City
Campus - Volume 1-Pavilion
Office Building
1155 Alpine Ave
Boulder, CO 80302

Original Issue

Key Plan and Orientation

Revisions

Sheet Status **NOT FOR CONSTRUCTION**

Sheet Title

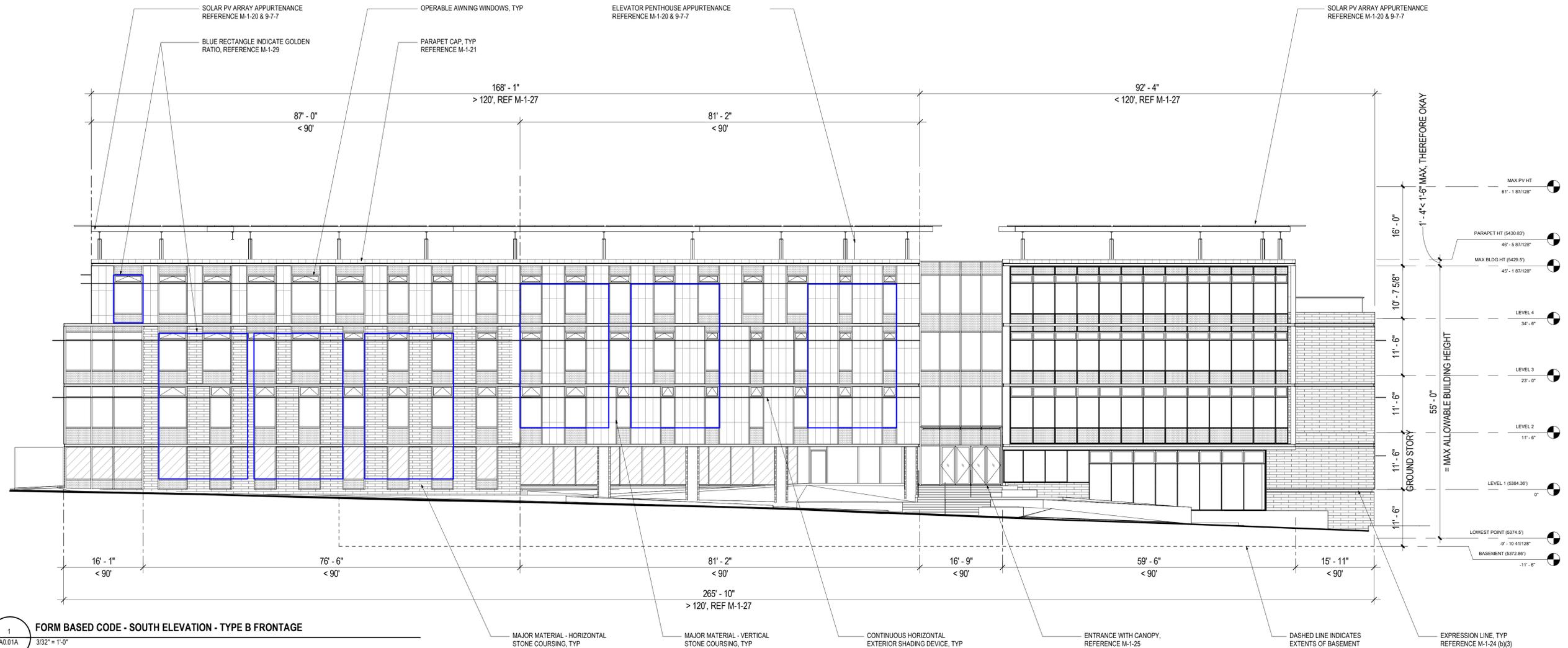
**PLANTING
DETAILS**

Sheet Number

1-L4.10

Current Issue **SITE REVIEW**

Current Issue Date **11/03/2023**



1
1-A0.01A
3/32" = 1'-0"

CITY OF BOULDER TITLE 9 - LAND USE CODE APPENDIX M - FORM BASED CODE COMPLIANCE

CH. 1 - GENERAL PROVISIONS

- M-1-6 - REGULATING PLANS**
(b) Alpine-Balsam Regulating Plan.

CH. 2 - SITE DESIGN

Reference sheet 1-A0.00 for Architectural Site Plan and Civil and Landscape Drawings for Site Design compliance information.

CH. 3 - BUILDING TYPES

- M-1-14 - DESCRIPTIONS OF BUILDING TYPES**
(e) Civic Building Type. Refer to Section M-1-19 for requirements.

M-1-19 - CIVIC BUILDING TYPE

- M-1-20 - MEASUREMENT OF BUILDING TYPE REQUIREMENTS**
(d) Overall Minimum and Maximum Height.
(2)(D) Height Measurement Standards. Height shall be measured consistent with height measurement standards of Section 9-7-5, "Building Height," B.R.C. 1981, and the definition of "height" within Section 9-16-1 "General Definitions," B.R.C. 1981.
Section 84 of the charter of the City of Boulder.
All buildings and other structures throughout the city shall be limited to a height not exceeding fifty-five feet. This height limit shall not apply to: (d) Renewable energy improvements carried on or above the roof level.
Section 9-7-7, "Building Height, Appurtenances," B.R.C. 1981.
(3) No appurtenance may have useable floor area except for mechanical equipment installations or be more than sixteen feet in height.
(e) Minimum and Maximum Height per Story.
(1) Measurement. Story height shall be measured in feet between the floor of a story to the floor of the story above it.
(f) Minimum Required Transparency.
Reference sheet 1-A0.03 for compliance information.

M-1-21 - CAP TYPES

- (b) Parapet Cap Type.
(1) Parapet Height. Parapet Height is measured from the top of the upper story to the top of the parapet. (A) Minimum parapet height is two feet with a maximum height of six feet.
(2) Horizontal Expression Lines. An expression line that is at least two inches deep and extends along at least eighty percent of the facade shall define the parapet from the upper stories of the building and shall define the top of the cap.
(3) Occupied Building Space. No building shall have occupied space behind the parapet cap.
(4) Roof terraces and roof decks are permitted on the parapet cap type.
(5) Rooftop Appurtenances. Any rooftop appurtenance shall be located towards the rear or interior of the parapet roof. The parapet shall screen the mechanicals when viewed from the sidewalk across the street and from and adjacent outdoor space. See Section M-1-26, "Mechanical Equipment & Appurtenances," B.R.C. 1981, for additional requirements.

CH. 4 - BUILDING DESIGN

M-1-23 - FACADE MATERIALS

- (b) Major Materials. A minimum of eighty percent of each facade, not including windows and door areas, shall be faced of a single major material, not including architectural metal panel systems.
Reference sheet 1-A0.02 for compliance information.

M-1-24 - BUILDING CONSTRUCTION QUALITY

- (b) Changes in Materials. Changes in the vertical surface material shall meet the following standards:
(1) Changes in the Surface Materials.
(2) Materials Hierarchy.
(3) Expression Lines of Surfaces.
(c) Appropriate Grade of Materials.
(d) Applique Materials.

M-1-25 - BUILDING FACADE ELEMENTS

- (a) Windows. Windows on all buildings shall be constructed consistent with the following requirements:
(1) Amount. Each building shall meet the transparency requirements applicable to the building type pursuant to Sections M-1-15 through M-1-19, B.R.C. 1981.
(2) Recessed. All windows, with the exception of ground story storefront systems, shall be recessed with the glass a minimum of two inches back from the facade surface material or adjacent trim.
(3) Vertically Oriented. All windows shall be vertically oriented unless the following standards are met: (A) through (C).
(4) Visibility Through Glass. Reflective glass and glass block are prohibited on street facades. Windows shall meet the transmittance and reflectance factors established in the transparency definition of Section M-1-8 "Definitions," B.R.C. 1981. Windows on the ground story shall meet the transmittance and reflectance factors established in the ground story transparency definition of Section M-1-8 "Definitions," B.R.C. 1981.
(5) Expressed Lintels. Lintels shall be expressed above all windows and doors by a change in brick coursing or by a separate element.
(b) Awnings, Canopies, & Light Shelves. Awning, canopies, and light shelves shall be constructed consistent with the requirements of this subsection.
(1) Encroachment.
(2) Attached Awnings & Canopies.
(3) Canopies & Light Shelves.
(4) Clearance.
(c) Balconies.
(d) Shutters.
(e) Principal Entryways. Principle entrances to buildings or units shall be clearly delineated through one or more of the design features listed in paragraph (1) through (4) of this subsection:
(1) Cap or Canopy.
(2) Porch
(3) Sidelights or Transom.
(4) Extended Articulation.
(5) Other Design.
(6) Right-of-Way. Doors shall not swing into city right-of-way or easement.

M-1-26 - MECHANICAL EQUIPMENT & APPURTENANCES

- (c) Rooftop Mechanical Equipment. Any rooftop mechanical equipment, including without limitation vents, ventilators, skylights, antennas, and excluding solar energy and wind energy conversion systems, shall meet the following standards:
(1) Rooftop mechanical equipment shall be located consistent with one of the following methods: (A) - (B)
(2) The requirements of Section 9-7-7, "Building Height, Appurtenances," B.R.C. 1981, shall be met.
(e) Mechanical Equipment on Other Horizontal Surfaces.

M-1-27 - BUILDING ARTICULATION

- (c) Building Facade Variety. See Figure M-1(52). All buildings 120 feet in width or greater along any Type A or B frontage shall fulfill the following requirements:
(1) Increments. Each Type A or B frontage facade shall be varied in segments less than or equal to ninety feet.
(2) Requirements.
(3) Alternative Method of Compliance.

M-1-28 - BUILDING MASS

Regulations are not required on the civic building per M-1-19 HEIGHT table.

M-1-29 - BUILDING PROPORTIONS

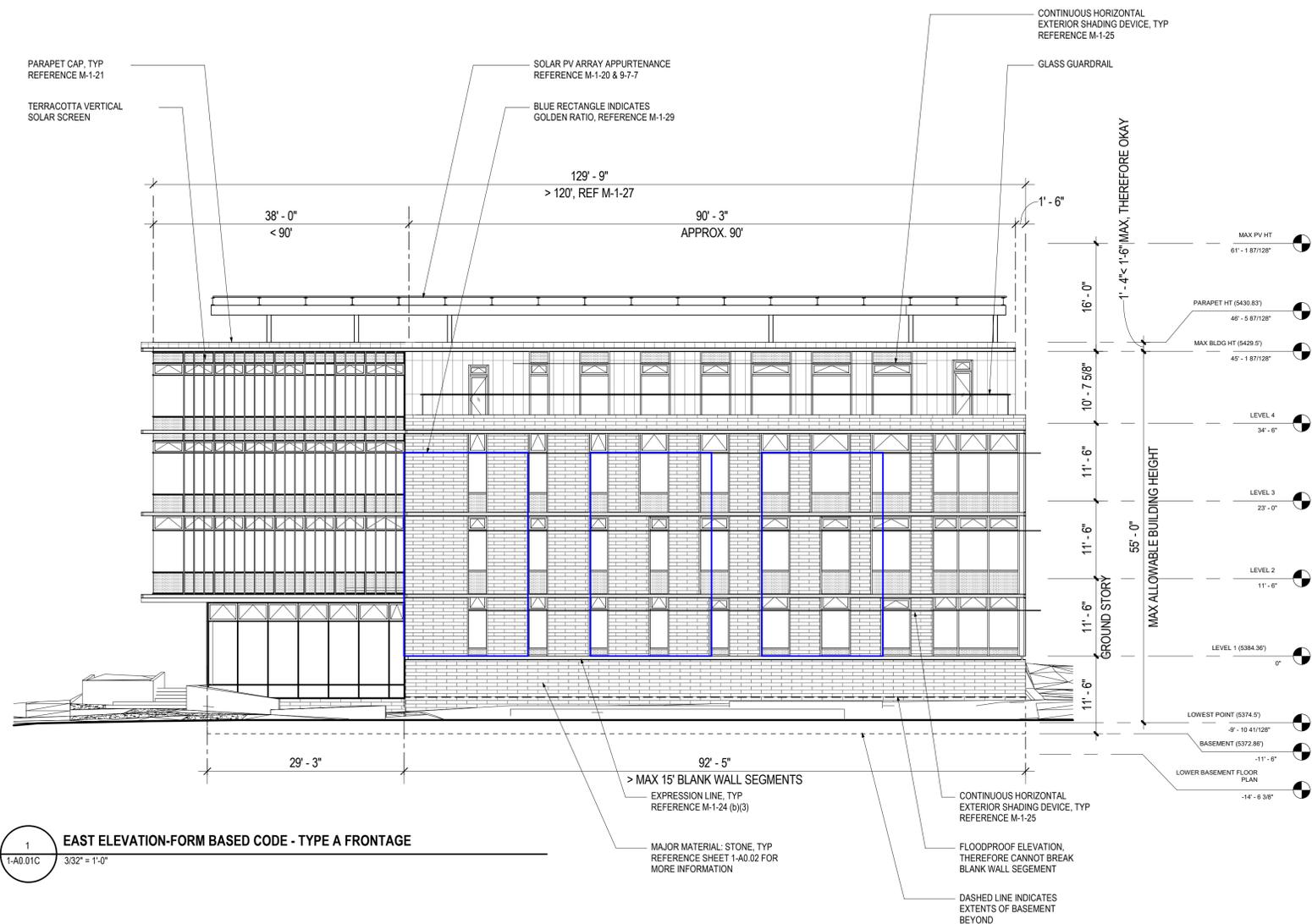
- (c) Use of Golden Ratio.

FOR DAB REFERENCE ONLY

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2
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Sheet Size: 24 x 36



1
1-A0.01C 3/32" = 1'-0"

CITY OF BOULDER TITLE 9 - LAND USE CODE APPENDIX M - FORM BASED CODE COMPLIANCE

CH. 1 - GENERAL PROVISIONS

- M-1-6 - REGULATING PLANS**
(b) Alpine-Balsam Regulating Plan.

CH. 2 - SITE DESIGN

Reference sheet 1-A0.00 for Architectural Site Plan and Civil and Landscape Drawings for Site Design compliance information.

CH. 3 - BUILDING TYPES

- M-1-14 - DESCRIPTIONS OF BUILDING TYPES**
(e) Civic Building Type. Refer to Section M-1-19 for requirements.
- M-1-19 - CIVIC BUILDING TYPE**

- M-1-20 - MEASUREMENT OF BUILDING TYPE REQUIREMENTS**
(d) Overall Minimum and Maximum Height.
(2)(D) Height Measurement Standards. Height shall be measured consistent with height measurement standards of Section 9-7-5, "Building Height," B.R.C. 1981, and the definition of "height" within Section 9-16-1 "General Definitions," B.R.C. 1981.
Section 84 of the charter of the City of Boulder.
All buildings and other structures throughout the city shall be limited to a height not exceeding fifty-five feet. This height limit shall not apply to: (d) Renewable energy improvements carried on or above the roof level.
Section 9-7-7, "Building Height, Appurtenances," B.R.C. 1981.
(3) No appurtenances may have useable floor area except for mechanical equipment installations or be more than sixteen feet in height.
(e) Minimum and Maximum Height per Story.
(1) Measurement. Story height shall be measured in feet between the floor of a story to the floor of the story above it.
(f) Minimum Required Transparency.
Reference sheet 1-A0.03 for compliance information.

M-1-21 - CAP TYPES

- (b) Parapet Cap Type.
(1) Parapet Height. Parapet Height is measured from the top of the upper story to the top of the parapet. (A) Minimum parapet height is two feet with a maximum height of six feet.
(2) Horizontal Expression Lines. An expression line that is at least two inches deep and extends along at least eighty percent of the facade shall define the parapet from the upper stories of the building and shall define the top of the cap.
(3) Occupied Building Space. No building shall have occupied space behind the parapet cap.
(4) Roof terraces and roof decks are permitted on the parapet cap type.
(5) Rooftop Appurtenances. Any rooftop appurtenance shall be located towards the rear or interior of the parapet roof. The parapet shall screen the mechanicals when viewed from the sidewalk across the street and from and adjacent outdoor space. See Section M-1-26, "Mechanical Equipment & Appurtenances," B.R.C. 1981, for additional requirements.

CH. 4 - BUILDING DESIGN

M-1-23 - FACADE MATERIALS

- (b) Major Materials. A minimum of eighty percent of each facade, not including windows and door areas, shall be faced of a single major material, not including architectural metal panel systems.
Reference sheet 1-A0.02 for compliance information.

M-1-24 - BUILDING CONSTRUCTION QUALITY

- (b) Changes in Materials. Changes in the vertical surface material shall meet the following standards:
(1) Changes in the Surface Materials.
(2) Materials Hierarchy.
(3) Expression Lines of Surfaces.
(c) Appropriate Grade of Materials.
(d) Applique Materials.

M-1-25 - BUILDING FACADE ELEMENTS

- (a) Windows. Windows on all buildings shall be constructed consistent with the following requirements:
(1) Amount. Each building shall meet the transparency requirements applicable to the building type pursuant to Sections M-1-15 through M-1-19, B.R.C. 1981.
(2) Recessed. All windows, with the exception of ground story storefront systems, shall be recessed with the glass a minimum of two inches back from the facade surface material or adjacent trim.
(3) Vertically Oriented. All windows shall be vertically oriented unless the following standards are met: (A) through (C).
(4) Visibility Through Glass. Reflective glass and glass block are prohibited on street facades. Windows shall meet the transmittance and reflectance factors established in the transparency definition of Section M-1-8 "Definitions," B.R.C. 1981. Windows on the ground story shall meet the transmittance and reflectance factors established in the ground story transparency definition of Section M-1-8 "Definitions," B.R.C. 1981.
(5) Expressed Lintels. Lintels shall be expressed above all windows and doors by a change in brick coursing or by a separate element.
(b) Awnings, Canopies, & Light Shelves. Awning, canopies, and light shelves shall be constructed consistent with the requirements of this subsection.
(1) Encroachment.
(2) Attached Awnings & Canopies.
(3) Canopies & Light Shelves.
(4) Clearance.
(c) Balconies.
(d) Shutters.
(e) Principal Entryways. Principle entrances to buildings or units shall be clearly delineated through one or more of the design features listed in paragraph (1) through (4) of this subsection:
(1) Cap or Canopy.
(2) Porch
(3) Sidelights or Transom.
(4) Extended Articulation.
(5) Other Design.
(6) Right-of-Way. Doors shall not swing into city right-of-way or easement.

M-1-26 - MECHANICAL EQUIPMENT & APPURTENANCES

- (c) Rooftop Mechanical Equipment. Any rooftop mechanical equipment, including without limitation vents, ventilators, skylights, antennas, and excluding solar energy and wind energy conversion systems, shall meet the following standards:
(1) Rooftop mechanical equipment shall be located consistent with one of the following methods: (A) - (B)
(2) The requirements of Section 9-7-7, "Building Height, Appurtenances," B.R.C. 1981, shall be met.
(e) Mechanical Equipment on Other Horizontal Surfaces.

M-1-27 - BUILDING ARTICULATION

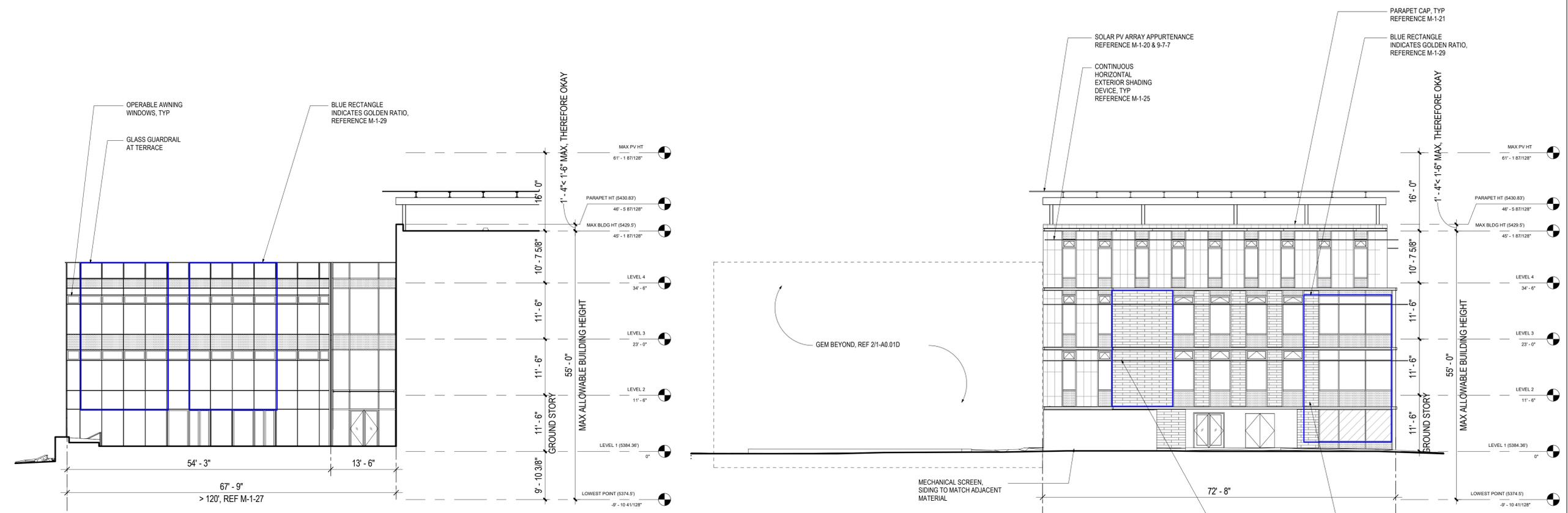
- (c) Building Facade Variety. See Figure M-1(52). All buildings 120 feet in width or greater along any Type A or B frontage shall fulfill the following requirements:
(1) Increments. Each Type A or B frontage facade shall be varied in segments less than or equal to ninety feet.
(2) Requirements.
(3) Alternative Method of Compliance.

M-1-28 - BUILDING MASS

Regulations are not required on the civic building per M-1-19 HEIGHT table.

M-1-29 - BUILDING PROPORTIONS

- (c) Use of Golden Ratio.



2 WEST ELEVATION-FORM BASED CODE - TYPE B FRONTAGE - GEM
1-A0.01D 3/32" = 1'-0"

1 WEST ELEVATION-FORM BASED CODE - TYPE B FRONTAGE - CHASSIS
1-A0.01D 3/32" = 1'-0"

CITY OF BOULDER TITLE 9 - LAND USE CODE APPENDIX M - FORM BASED CODE COMPLIANCE

CH. 1 - GENERAL PROVISIONS

- M-1-6 - REGULATING PLANS**
(b) Alpine-Balsam Regulating Plan.

CH. 2 - SITE DESIGN

Reference sheet 1-A0.00 for Architectural Site Plan and Civil and Landscape Drawings for Site Design compliance information.

CH. 3 - BUILDING TYPES

- M-1-14 - DESCRIPTIONS OF BUILDING TYPES**
(e) Civic Building Type. Refer to Section M-1-19 for requirements.

M-1-19 - CIVIC BUILDING TYPE

- M-1-20 - MEASUREMENT OF BUILDING TYPE REQUIREMENTS**
(d) Overall Minimum and Maximum Height.
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M-1-21 - CAP TYPES

- (b) Parapet Cap Type.
(1) Parapet Height. Parapet Height is measured from the top of the upper story to the top of the parapet. (A) Minimum parapet height is two feet with a maximum height of six feet.
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CH. 4 - BUILDING DESIGN

M-1-23 - FACADE MATERIALS

- (b) Major Materials. A minimum of eighty percent of each facade, not including windows and door areas, shall be faced of a single major material, not including architectural metal panel systems.
Reference sheet 1-A0.02 for compliance information.

M-1-24 - BUILDING CONSTRUCTION QUALITY

- (b) Changes in Materials. Changes in the vertical surface material shall meet the following standards:
(1) Changes in the Surface Materials.
(2) Materials Hierarchy.
(3) Expression Lines of Surfaces.
(c) Appropriate Grade of Materials.
(d) Applique Materials.

M-1-25 - BUILDING FACADE ELEMENTS

- (a) Windows. Windows on all buildings shall be constructed consistent with the following requirements:
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(2) Porch
(3) Sidelights or Transom.
(4) Extended Articulation.
(5) Other Design.
(6) Right-of-Way. Doors shall not swing into city right-of-way or easement.

M-1-26 - MECHANICAL EQUIPMENT & APPURTENANCES

- (c) Rooftop Mechanical Equipment. Any rooftop mechanical equipment, including without limitation vents, ventilators, skylights, antennas, and excluding solar energy and wind energy conversion systems, shall meet the following standards:
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(2) The requirements of Section 9-7-7, "Building Height, Appurtenances," B.R.C. 1981, shall be met.
(e) Mechanical Equipment on Other Horizontal Surfaces.

M-1-27 - BUILDING ARTICULATION

- (c) Building Facade Variety. See Figure M-1(52). All buildings 120 feet in width or greater along any Type A or B frontage shall fulfill the following requirements:
(1) Increments. Each Type A or B frontage facade shall be varied in segments less than or equal to ninety feet.
(2) Requirements.
(3) Alternative Method of Compliance.

M-1-28 - BUILDING MASS

Regulations are not required on the civic building per M-1-19 HEIGHT table.

M-1-29 - BUILDING PROPORTIONS

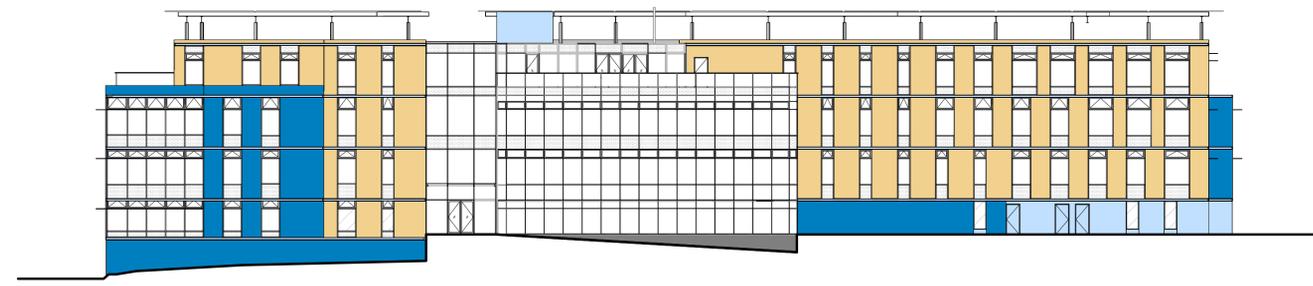
- (c) Use of Golden Ratio.

FOR DAB REFERENCE ONLY

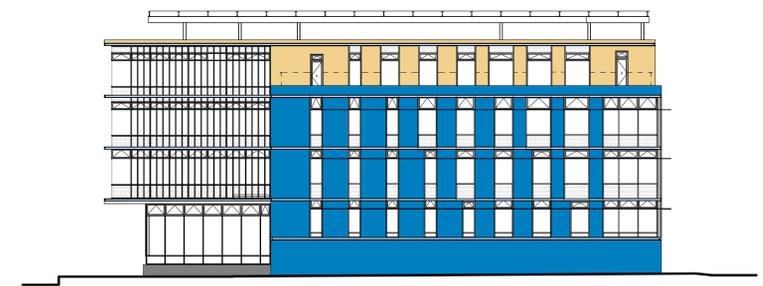
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FOR DAB REFERENCE ONLY

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4 NORTH ELEVATION - FORM BASED CODE - ENVELOPE ASSEMBLY
1-A0.02 1" = 20'-0"



2 EAST ELEVATION - FORM BASED CODE - ENVELOPE ASSEMBLY
1-A0.02 1" = 20'-0"



1 SOUTH ELEVATION - FORM BASED CODE - ENVELOPE ASSEMBLY
1-A0.02 1" = 20'-0"



3 WEST ELEVATION - FORM BASED CODE - ENVELOPE ASSEMBLY
1-A0.02 1" = 20'-0"

FBC FACADE MATERIALS				
	NORTH		SOUTH	
FRONTAGE TYPE	TYPE A	TYPE B	TYPE B	TYPE B
MAJOR MATERIAL 80% Minimum Required	TYPE C STONE: 51 % TYPE B STONE: 28 % TYPE A STONE: 2 %	TYPE C STONE: 46 % TYPE B STONE: 38 % TYPE A STONE: 1 %	TYPE C STONE: 41 % TYPE B STONE: 45 % TYPE A STONE: 1 %	TYPE C STONE: 13 % TYPE B STONE: 75 % TYPE A STONE: 2 %
	85%	85%	87%	90%
MINOR MATERIAL 20% or Less Required	METAL 15 %	METAL 15 %	METAL 13 %	METAL 10 %
	15%	15%	13%	10 %

- TYPE A STONE
- TYPE B STONE
- TYPE C STONE
- METAL



Boulder Western City
Campus - Volume 1-Pavilion
Office Building

1155 Alpine Ave
Boulder, CO 80302

Original Issue

Revisions

Sheet Status **NOT FOR CONSTRUCTION**

Sheet Title
PAVILION - FORM BASED CODE - FACADE MATERIALS

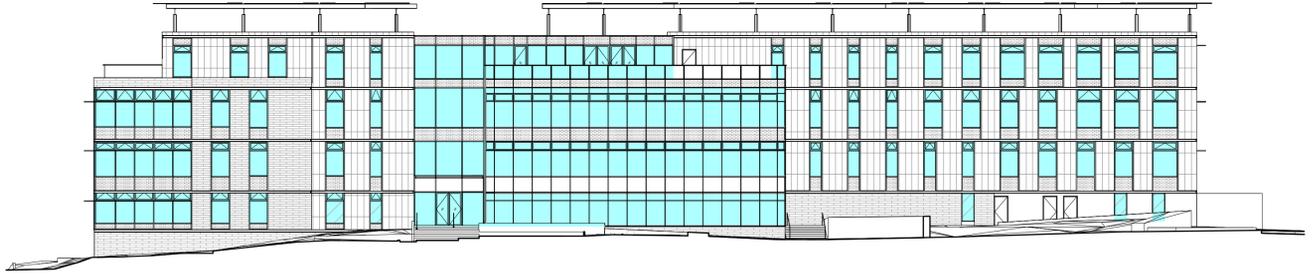
Sheet Number
1-A0.02

Current Issue
SITE REVIEW

Current Issue Date
11/03/2023

FOR DAB REFERENCE ONLY

Sheet Size: 24 x 36 11/2/2023 10:41:50 PM



4 NORTH ELEVATION - FORM BASED CODE - FACADE TRANSPARENCY
1-A0.03 1" = 20'-0"

FACADE TRANSPARENCY - Minimum 15% required, measured per story of all stories. Reference B.R.C. M-1-19.
LEVEL 1 = 1048 / 2190 sf = 48%
LEVEL 2 = 1355 / 3193 sf = 42%
LEVEL 3 = 1588 / 3193 sf = 50%
LEVEL 4 = 1034 / 2876 sf = 36%



3 EAST ELEVATION- FORM BASED CODE - FACADE TRANSPARENCY
1-A0.03 1" = 20'-0"

FACADE TRANSPARENCY - Minimum 15% required, measured per story of all stories. Reference B.R.C. M-1-19.
LEVEL 1 = 538 / 918 sf = 59%
LEVEL 2 = 678 / 1579 sf = 43%
LEVEL 3 = 752 / 1596 sf = 47%
LEVEL 4 = 607 / 1568 sf = 39%

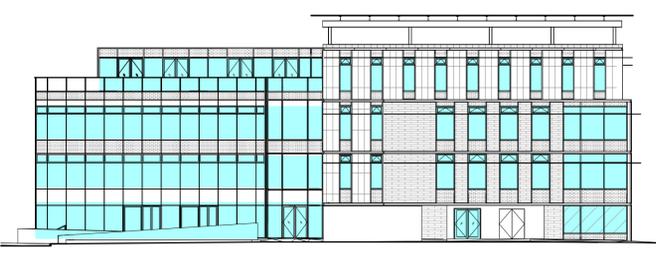
PORTION OF BASEMENT LEVEL EXPOSED ABOVE GRADE NOT INCLUDED IN TRANSPARENCY CALCULATION



2 SOUTH ELEVATION-FORM BASED CODE - FACADE TRANSPARENCY
1-A0.03 1" = 20'-0"

FACADE TRANSPARENCY - Minimum 15% required, measured per story of all stories. Reference B.R.C. M-1-19.
LEVEL 1 = 1255 / 2092 sf = 60%
LEVEL 2 = 1225 / 3220 sf = 38%
LEVEL 3 = 1195 / 3220 sf = 37%
LEVEL 4 = 1155 / 3000 sf = 39%

PORTION OF BASEMENT LEVEL EXPOSED ABOVE GRADE NOT INCLUDED IN TRANSPARENCY CALCULATION



1 WEST ELEVATION- FORM BASED CODE - FACADE TRANSPARENCY
1-A0.03 1" = 20'-0"

FACADE TRANSPARENCY - Minimum 15% required, measured per story of all stories. Reference B.R.C. M-1-19.
LEVEL 1 = 728 / 1230 sf = 59%
LEVEL 2 = 792 / 1715 sf = 46%
LEVEL 3 = 808 / 1715 sf = 47%
LEVEL 4 = 593 / 1520 sf = 39%



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BASED CODE -
FACADE
TRANSPARENCY

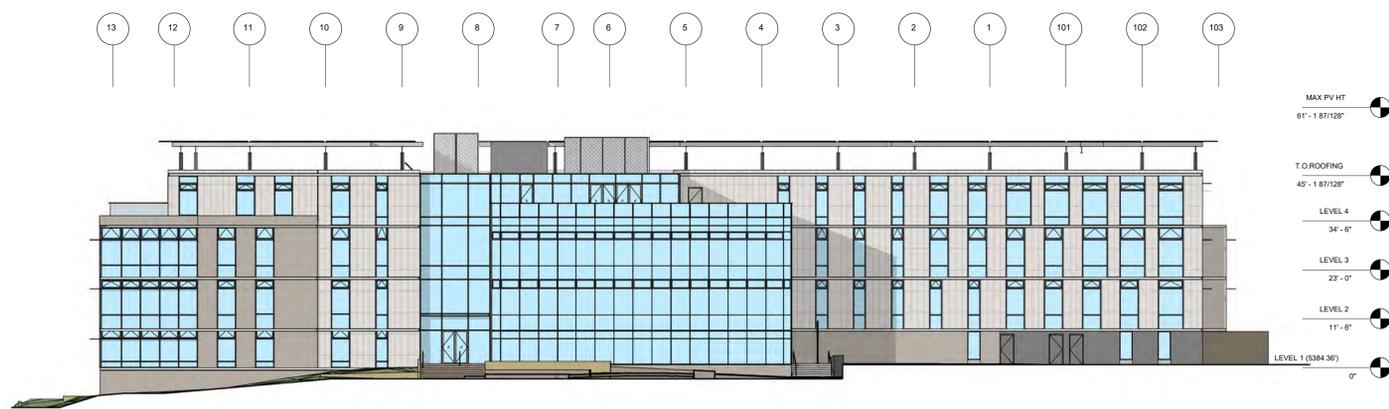
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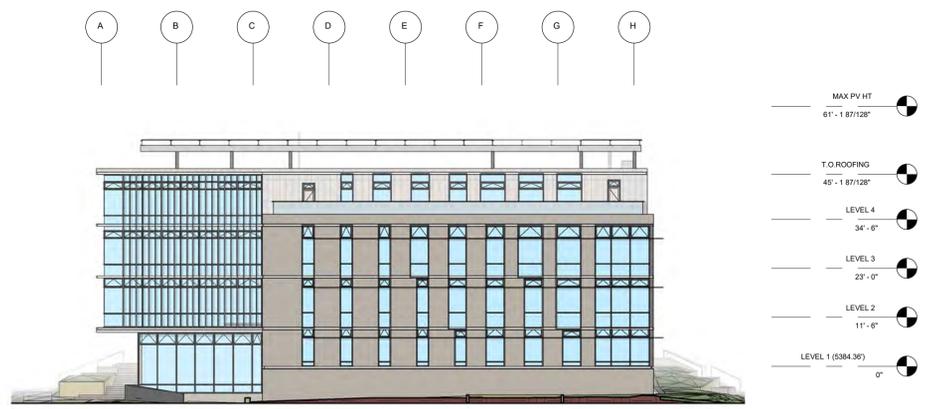
Current Issue Date
11/03/2023

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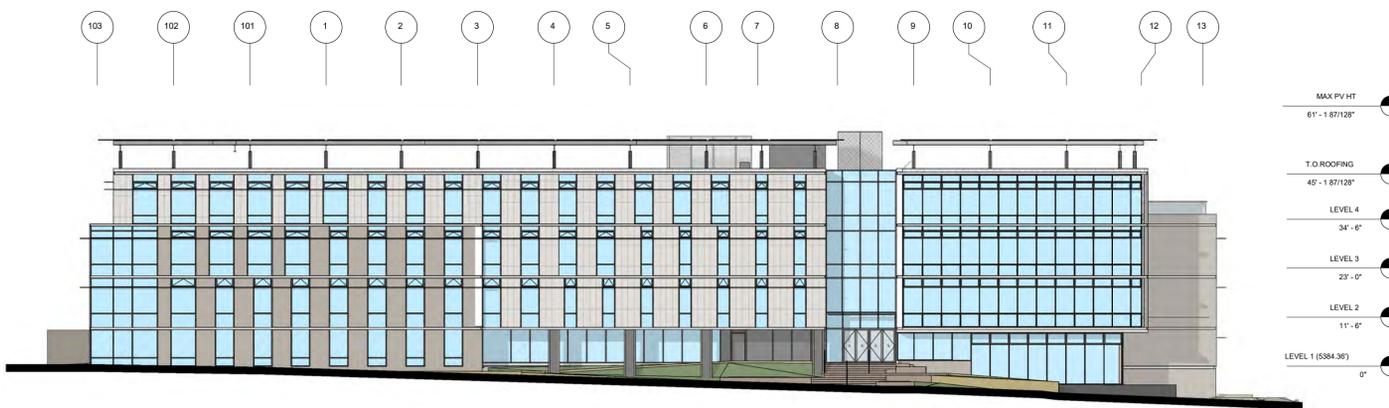
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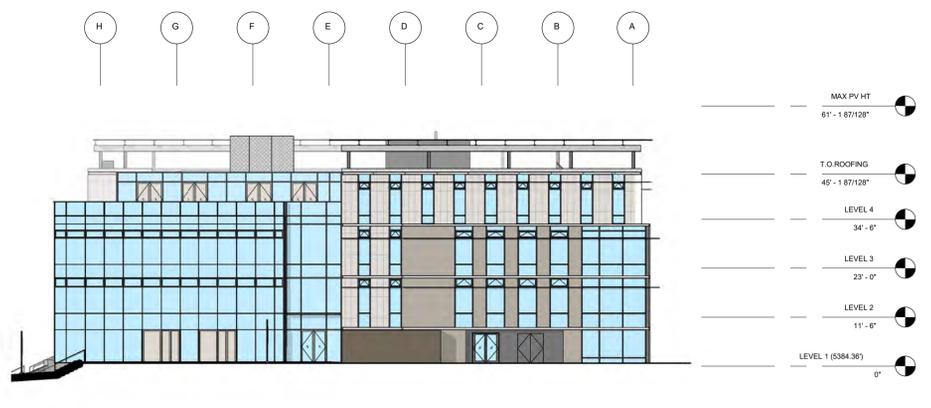
1 GRAPHIC ELEVATION - NORTH
1-A0.04 1" = 20'-0"



2 GRAPHIC ELEVATION - EAST
1-A0.04 1" = 20'-0"



3 GRAPHIC ELEVATION - SOUTH
1-A0.04 1" = 20'-0"



4 GRAPHIC ELEVATION - WEST
1-A0.04 1" = 20'-0"

EXTERIOR MATERIALS

	GLASS - VISION
	GLASS - SPANDREL
	GLASS - FRITTED
	STONE - HORIZONTAL COURSING
	STONE - VERTICAL COURSING
	METAL
	HORIZONTAL EXPRESSION



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PAVILION - FORM BASED CODE - COLORED ELEVATIONS

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1-A0.04

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SOLAR ANALYSIS WORKSHEET

Property Zone District: MU-1

Solar Fence Height: 25

Roof Element	STEP 1 Elevation of Roof Element (y)	STEP 2		STEP 3		STEP 4	
		Elevation of Grade at Property Line (x)		Relative Height of Roof Element (h)		Length of Shadow (L)	
		10:00 AM	2:00 PM	10:00 AM	2:00 PM	10:00 AM	2:00 PM
EXAMPLE	119.9	102.5	99.5	17.4	20.4	14.3	22.3
WEST	5430.79	5382.19		48.6		62.5	
EAST	5435.05	5378.38		56.7		84	
WEST	5437.11		5382.00		55.1		79.8
EAST	5433.50		5378.91		54.6		78.4

Solar Access - Reference section 9-9-17

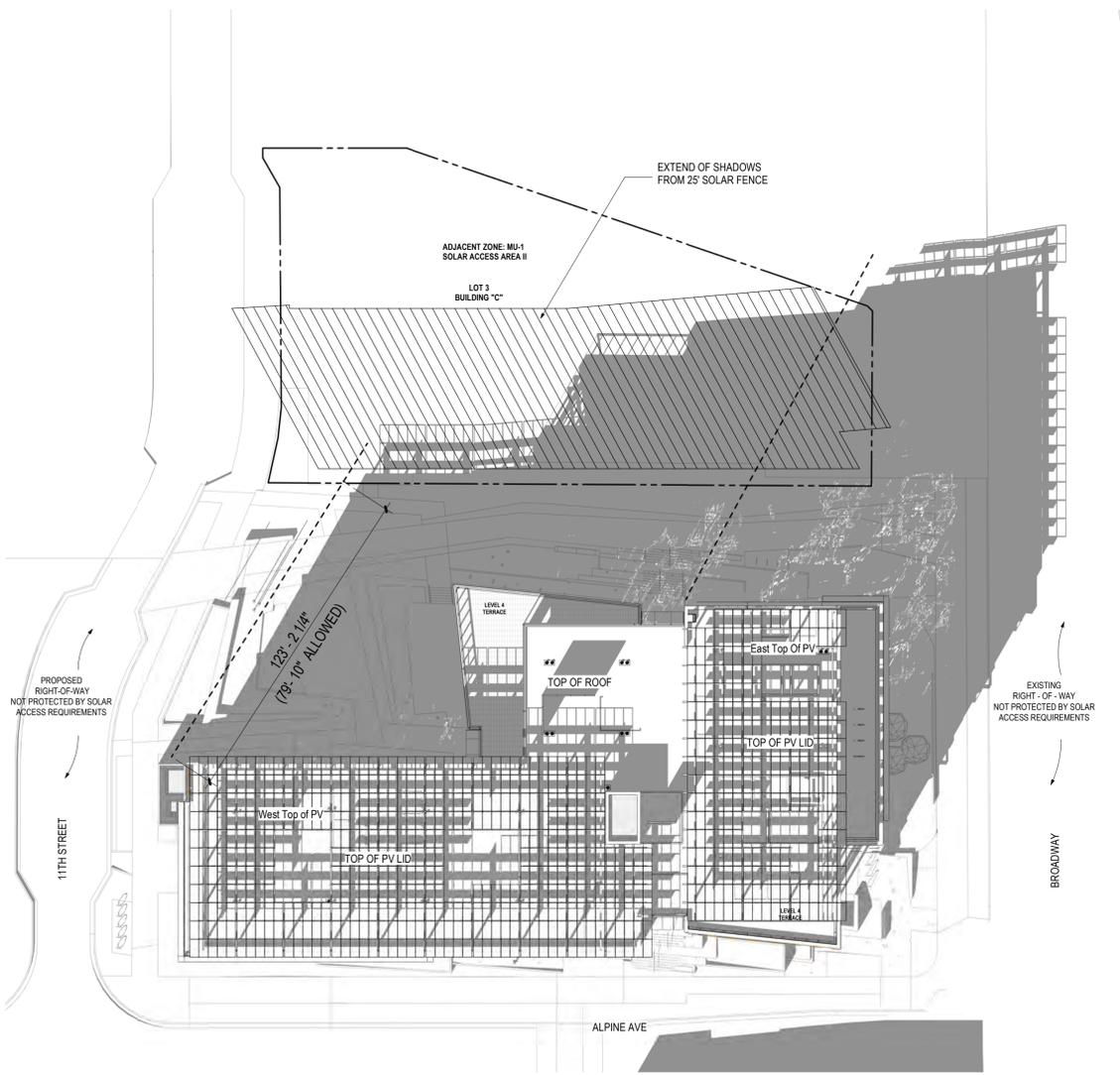
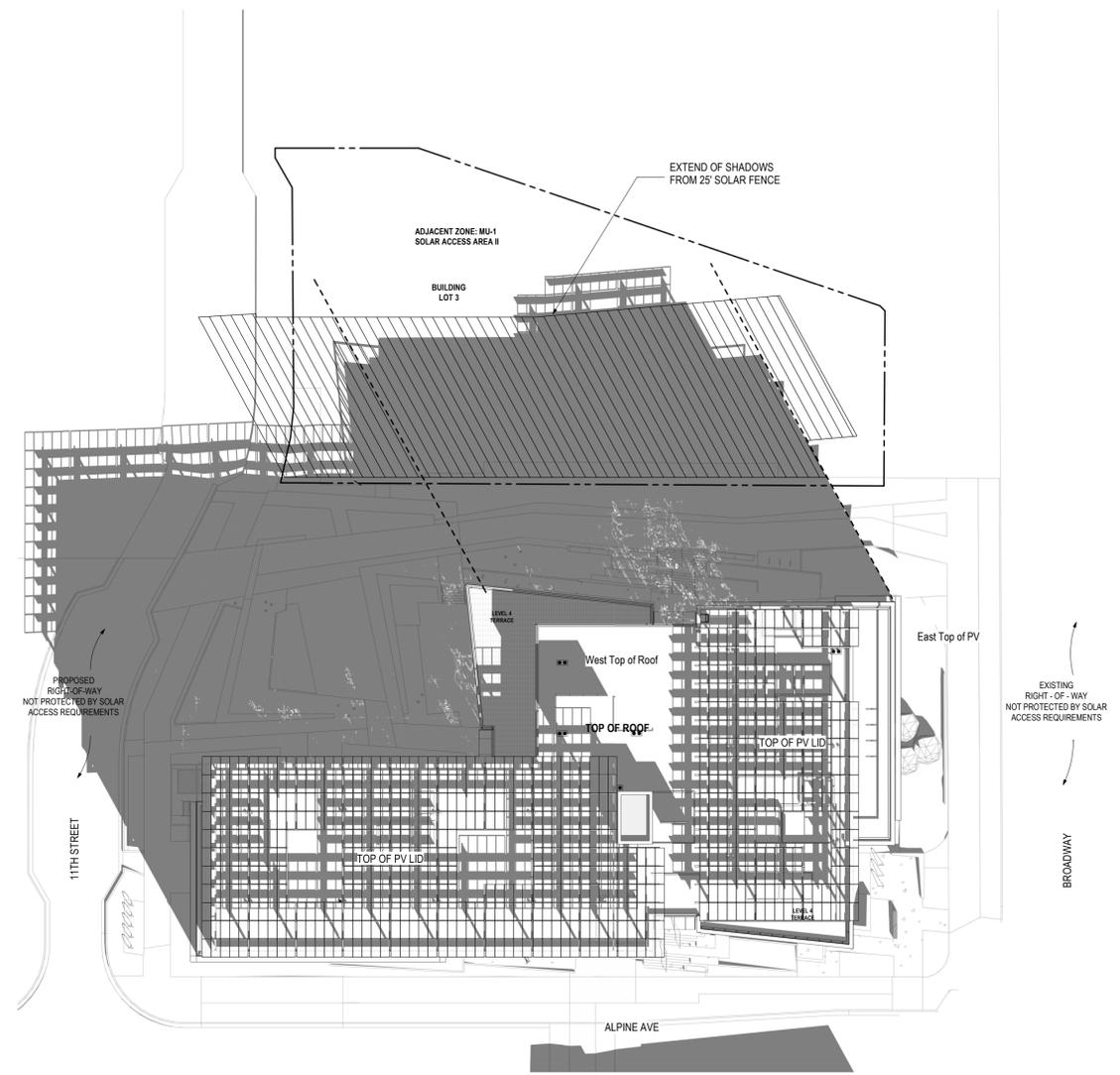
(c) Solar Access Areas Established

(2) Solar Access Area II (RL-2, RM, MU-1, MU-3, RMX, RH-1, RH-2, RH-3, RH-4, RH-5 and I). SA Area II is designed to protect solar access principally for rooftops in areas where, because of planned density, topography or lot configuration or orientation, the preponderance of lots therein currently enjoy such access and where solar access of this nature would not unduly restrict permissible development. SA Area II includes all property in RL-2, RM, MU-1, MU-3, RMX, RH-1, RH-2, RH-3, RH-4, RH-5 and I zoning districts.

(d) Solar Access Protection

(1) Solar Fence: A solar fence is hereby hypothesized for each lot located in SA Area I and SA Area II. Each solar fence completely encloses the lot in question, and its foundation is contiguous with the lot lines. Such fence is vertical, is opaque and lacks any thickness.

(B) No person shall erect an object or structure on any other lot that would shade a protected lot in SA Area II to a greater degree than the lot would be shaded by a solar fence twenty-five feet in height, between two hours before and two hours after local solar noon on a clear winter solstice day.



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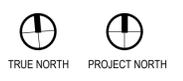
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BASED CODE
DIAGRAMS - SHADOW
ANALYSIS

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1-A0.05

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PERSPECTIVE — SOUTHEAST VIEW FROM CAMPUS GATEWAY AT BROADWAY AND ALPINE AVE



PERSPECTIVE — NORTHEAST VIEW FROM BROADWAY AND PASEO



PERSPECTIVE — NORTHWEST VIEW FROM PLAZA



PERSPECTIVE — SOUTHWEST VIEW FROM ALPINE AVE AND 11TH STREET

NOTES:
IMAGES REPRESENT THREE-
DIMENSIONAL PERSPECTIVES
ILLUSTRATING THE SURROUNDING
CONTEXT FOR VIEW AND SCALE

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BASED CODE - 3D
VIEWS

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1-A0.06

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FBC - EXTERIOR MATERIALS BOARD

- PERFERATED METAL PANEL (BRONZE VARIATION)
- METAL WALL PANEL (BRONZE VARIATION)
- STONE TYPE C (LIMESTONE) VERTICAL ORIENTATION, HONED FINISH
- STONE TYPE B (LIMESTONE) HORIZONTAL ORIENTATION, ROUGH FINISH
- MORTAR GROUT FOR STONE TYPE B
- STONE TYPE A, REFER TO LANDSCAPE DRAWINGS



INSULATED GLASS UNIT, FRAME
INSULATED GLASS UNIT, FINISH

FROSTED OR FRITTED GLASS AT LEVEL 1

INSULATED GLASS UNIT



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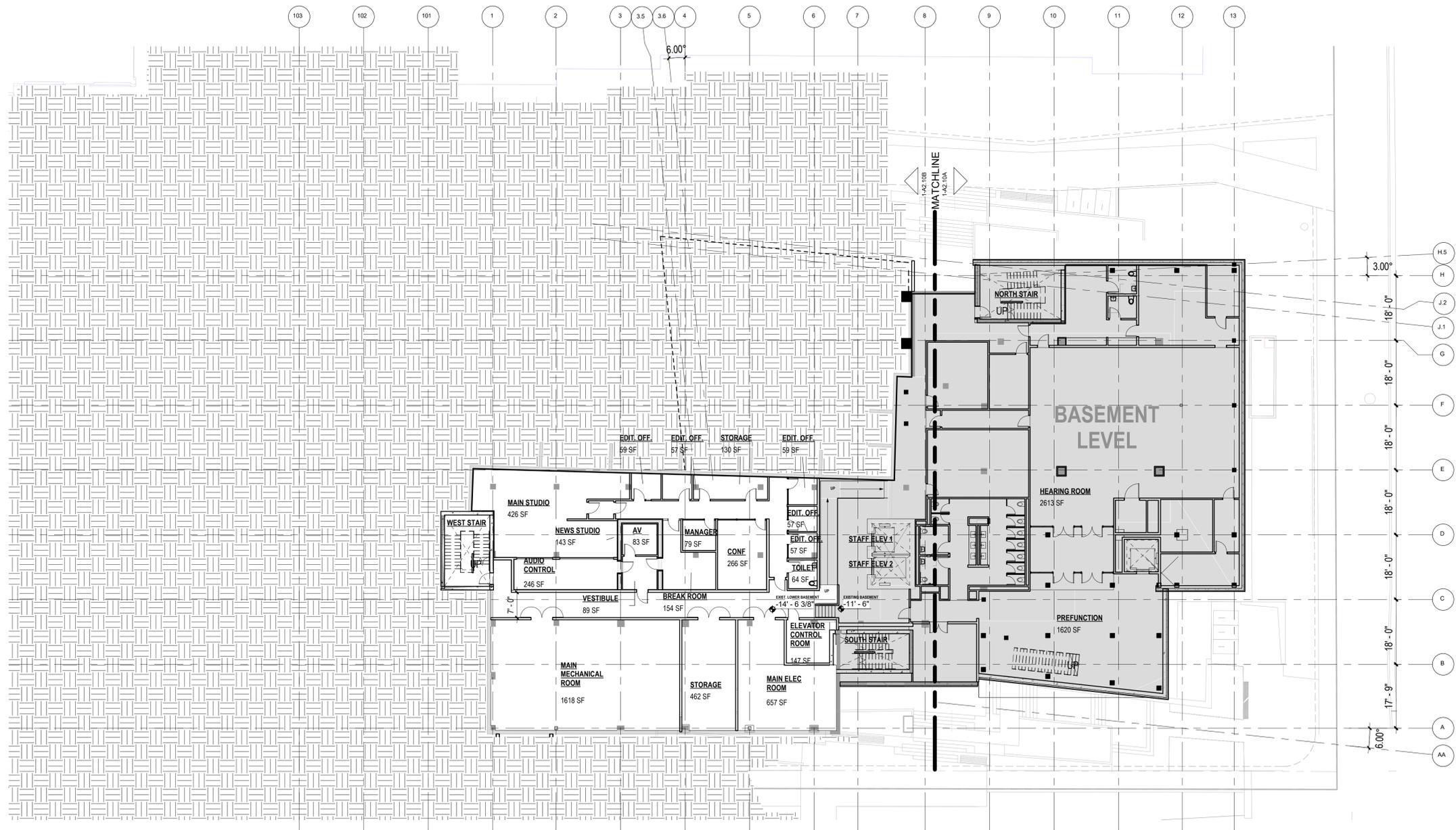
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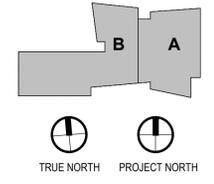
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1 LOWER BASEMENT FLOOR PLAN, SHELL & CORE
 1-A2.10 1/16" = 1'-0"

GENERAL NOTES

1. ALL WALLS SUPPORTED AT RAISED FLOOR AND TO STRUCTURE ABOVE UNLESS NOTED OTHERWISE.
2. REFER TO WALL SECTIONS FOR ADDITIONAL INFORMATION AT EXTERIOR WALLS AND SOFFIT ASSEMBLIES.
3. REFER TO LIFE SAFETY SHEET 1-LSO.01 FOR LOCATION AND EXTENT OF ALL FIRE RATED ASSEMBLIES.
4. SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL OPENINGS IN WALLS.
5. ALL DOORS ARE # FROM FACE OF SCHEDULED PARTITION TO INSIDE FACE OF FRAME UNLESS NOTED OTHERWISE.
6. SEE SHEET 1-00.03 FOR LEGENDS AND ABBREVIATIONS.
7. ALL WALLS TYPE UNO.



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Sheet Status **NOT FOR CONSTRUCTION**

Sheet Title
PLAN, FLOOR - LOWER BASEMENT, SHELL & CORE

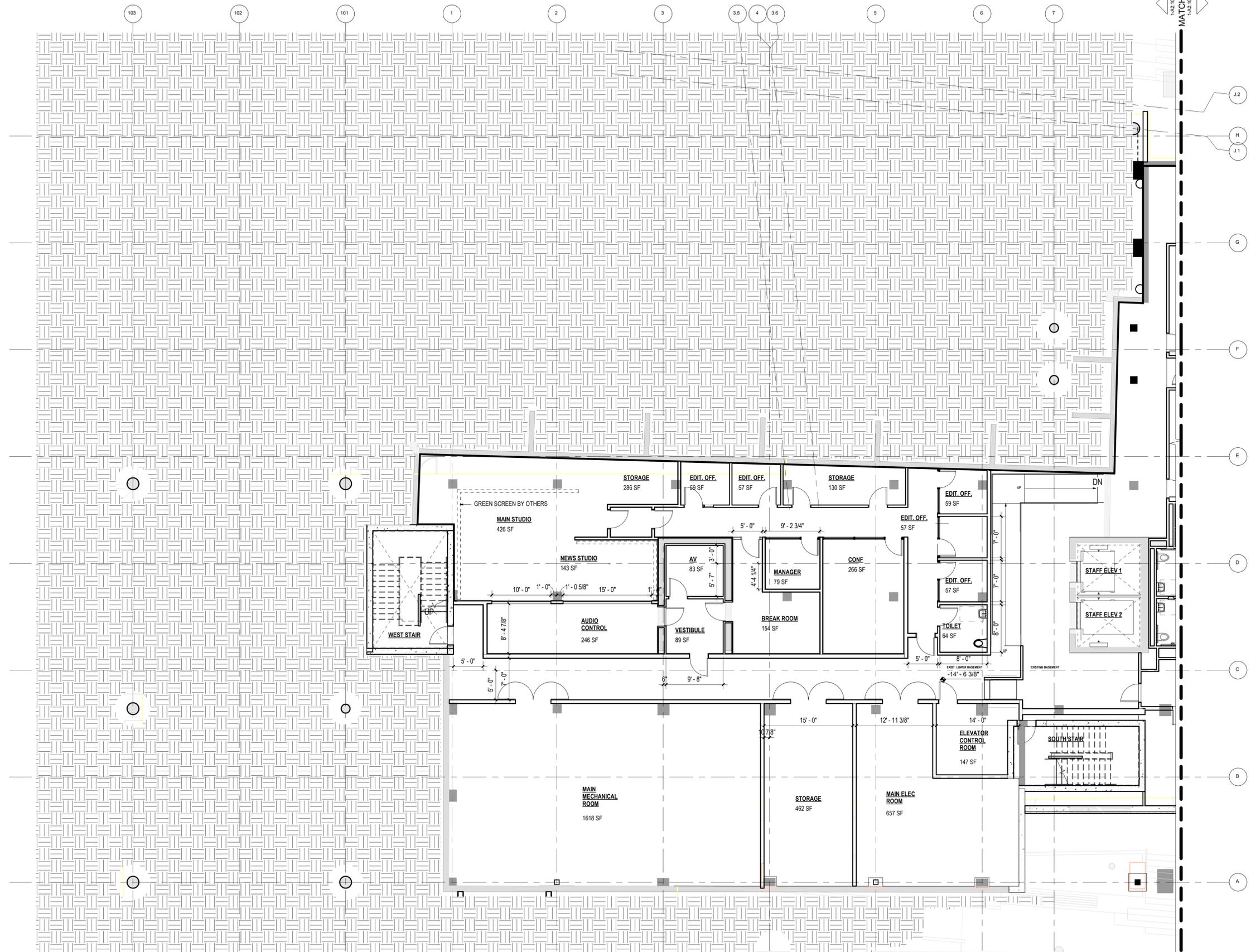
Sheet Number
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1 PLAN, FLOOR - LOWER BASEMENT - WEST ENLARGED
1-A2.10B 1/8" = 1'-0"

GENERAL NOTES

1. ALL WALLS SUPPORTED AT RAISED FLOOR AND TO STRUCTURE ABOVE UNLESS NOTED OTHERWISE.
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5. ALL DOORS ARE 4" FROM FACE OF SCHEDULED PARTITION TO INSIDE FACE OF FRAME UNLESS NOTED OTHERWISE.
6. SEE SHEET 1-00.03 FOR LEGENDS AND ABBREVIATIONS.
7. ALL WALLS TYPE UNO.



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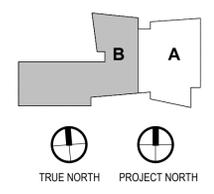
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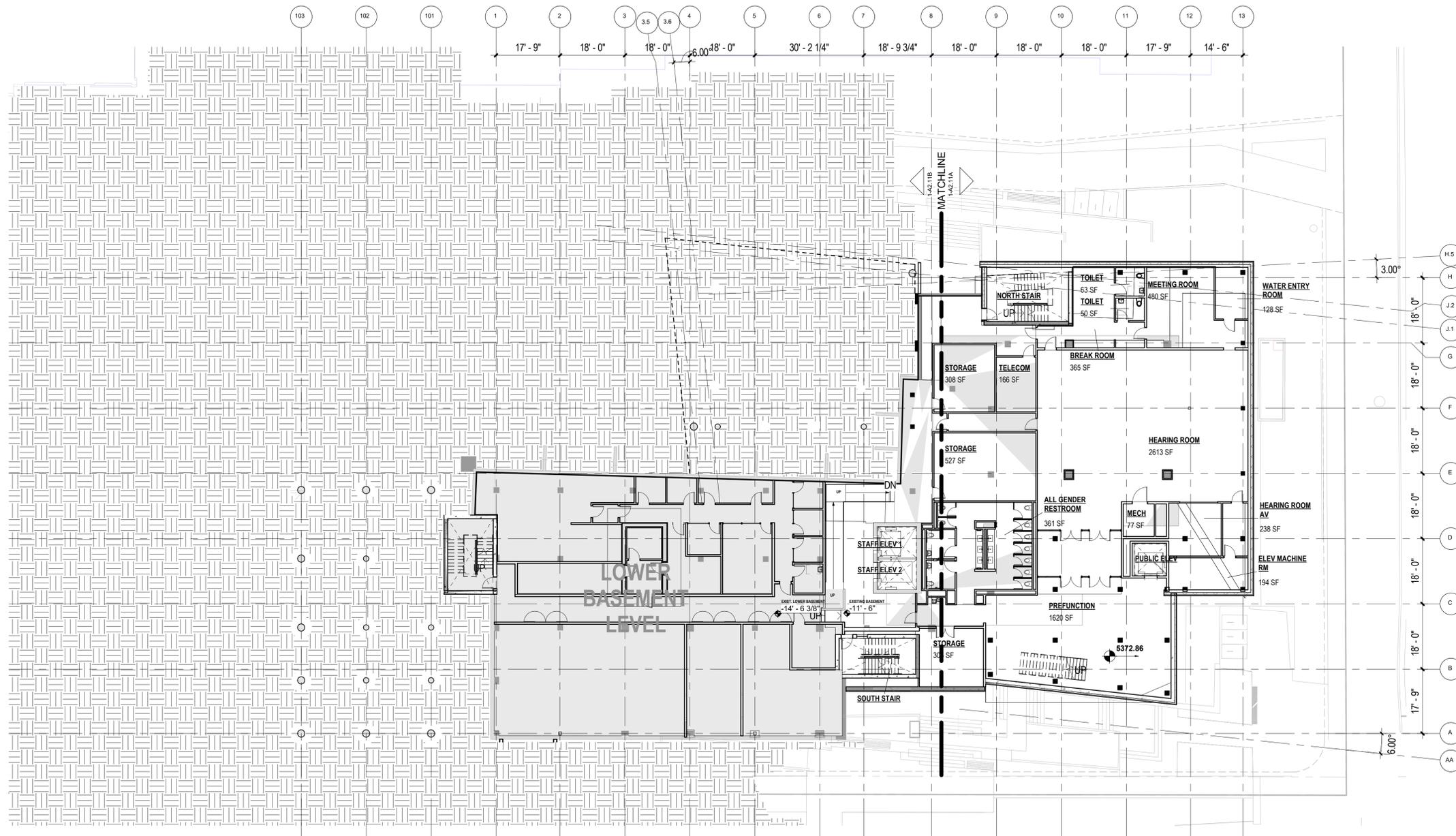
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4. SEE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL OPENINGS IN WALLS.
5. ALL DOORS ARE 4" FROM FACE OF SCHEDULED PARTITION TO INSIDE FACE OF FRAME UNLESS NOTED OTHERWISE.
6. SEE SHEET 1-GO.03 FOR LEGENDS AND ABBREVIATIONS.
7. ALL WALLS TYPE UNO.



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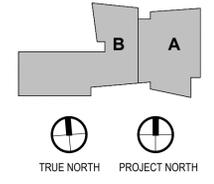
Sheet Title PLAN, FLOOR - BASEMENT, SHELL & CORE

Sheet Number 1-A2.11

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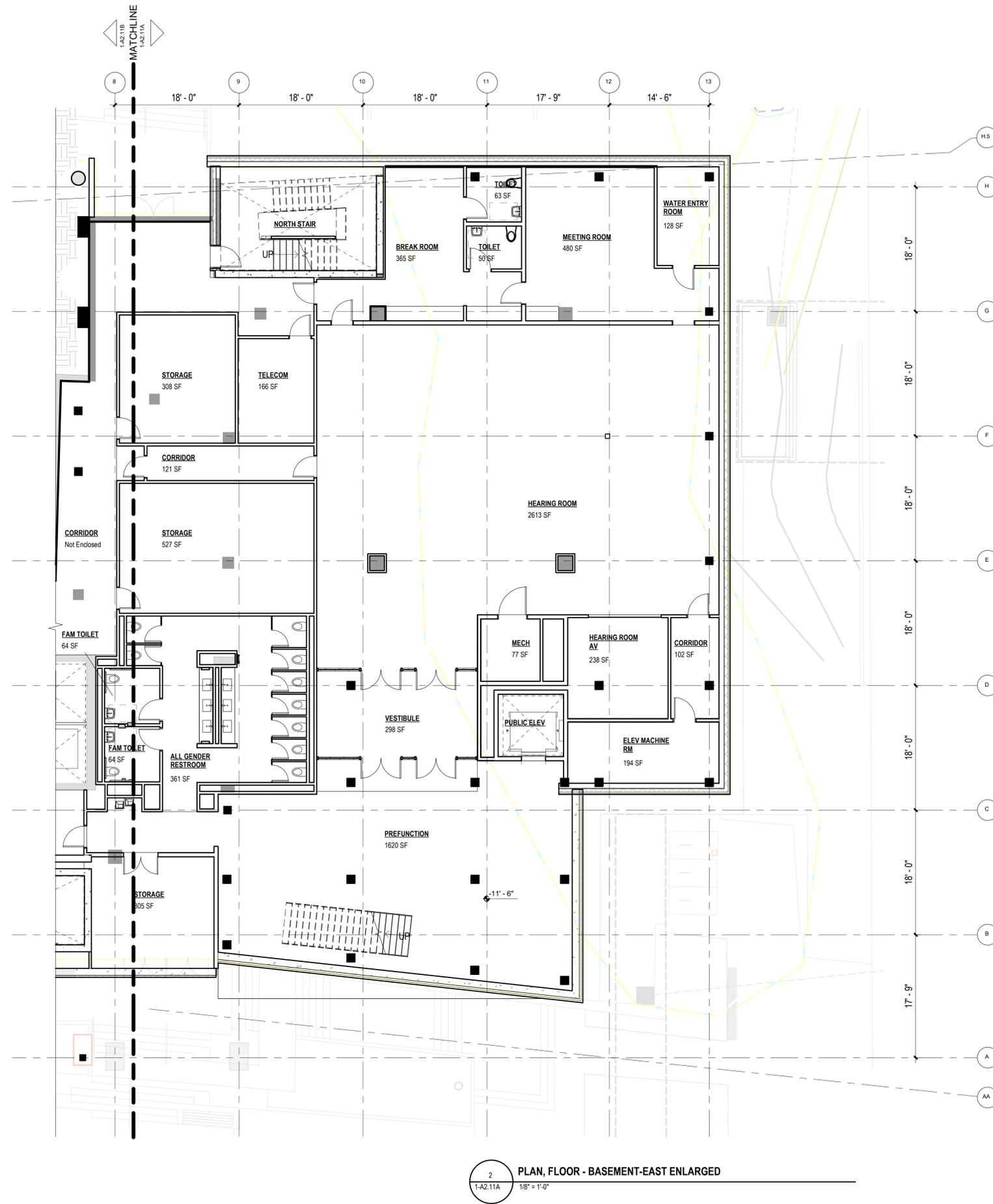
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1 BASEMENT FLOOR PLAN, SHELL & CORE
1-A2.11 1/16" = 1'-0"



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2 PLAN, FLOOR - BASEMENT-EAST ENLARGED
1-A2.11A 1/8" = 1'-0"

GENERAL NOTES

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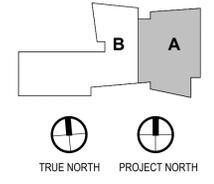
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Sheet Number 1-A2.11A

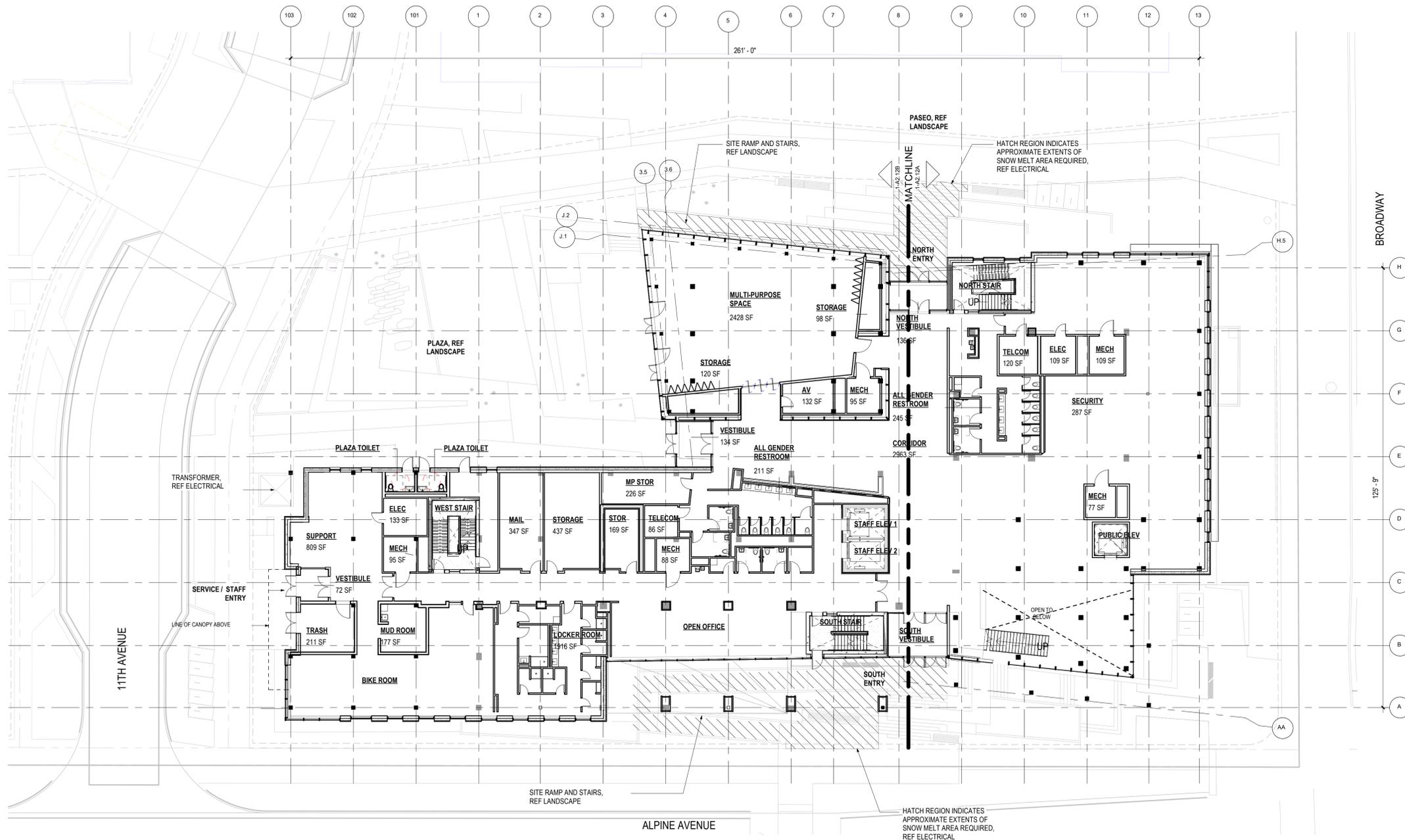
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1 PLAN, FLOOR - LEVEL 1, SHELL & CORE
1-A2.12 1/16" = 1'-0"

GENERAL NOTES

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Full Design Team Roster on Sheet 1-GO.01



Boulder Western City
Campus - Volume 1-Pavilion
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Original Issue

Key Plan and Orientation

Revisions

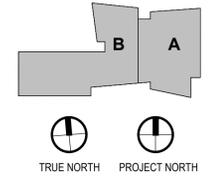
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Sheet Title PLAN, FLOOR - LEVEL 1, SHELL & CORE

Sheet Number 1-A2.12

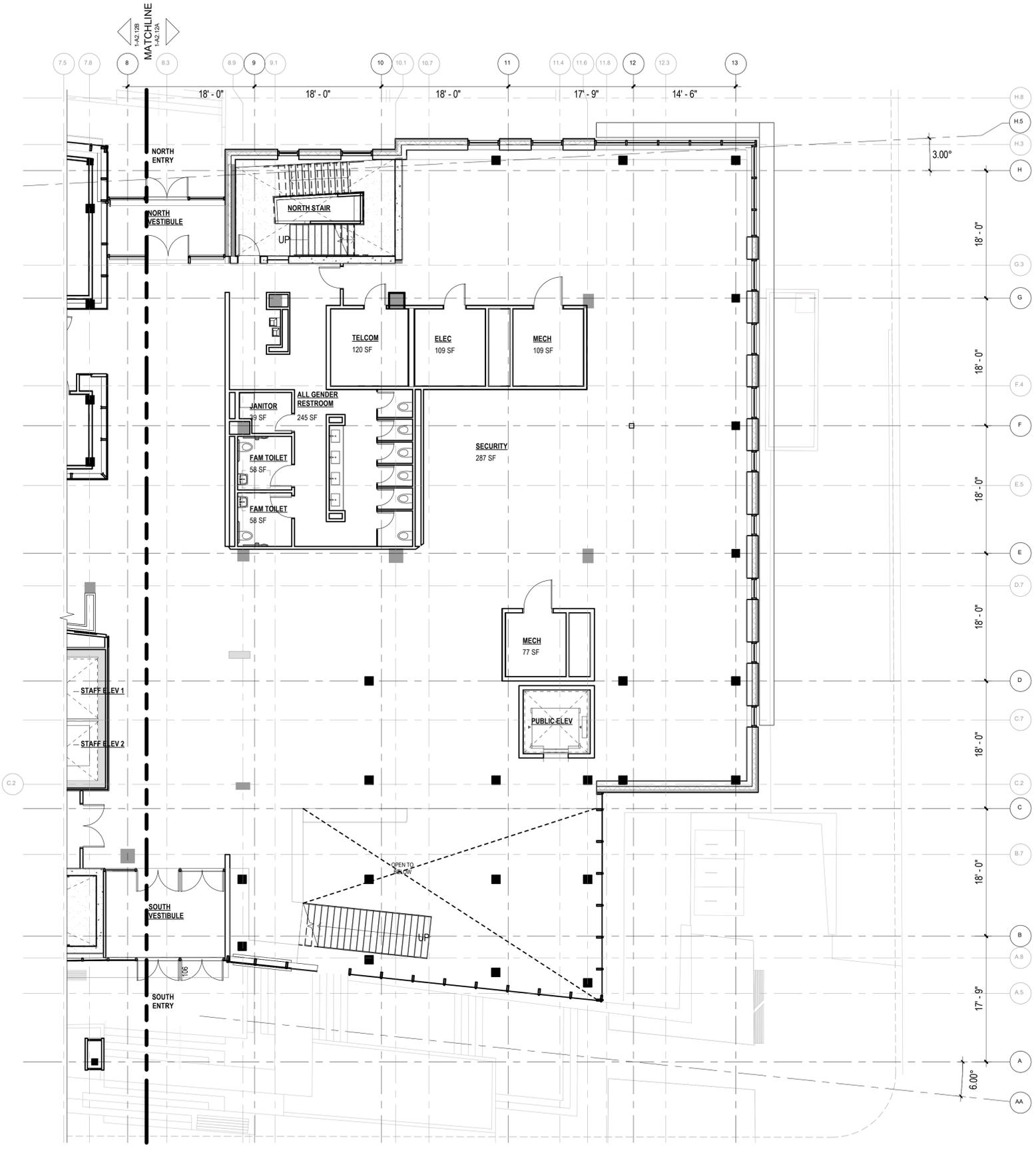
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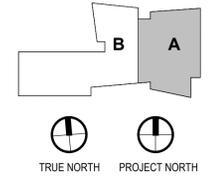
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1 PLAN, FLOOR- LEVEL 1 RAISED - EAST ENLARGED
 1-A2.12A 1/8" = 1'-0"

GENERAL NOTES

1. ALL WALLS SUPPORTED AT RAISED FLOOR AND TO STRUCTURE ABOVE UNLESS NOTED OTHERWISE.
2. REFER TO WALL SECTIONS FOR ADDITIONAL INFORMATION AT EXTERIOR WALLS AND SOFFIT ASSEMBLIES.
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6. SEE SHEET 1-GO.03 FOR LEGENDS AND ABBREVIATIONS.
7. ALL WALLS TYPE UNO.



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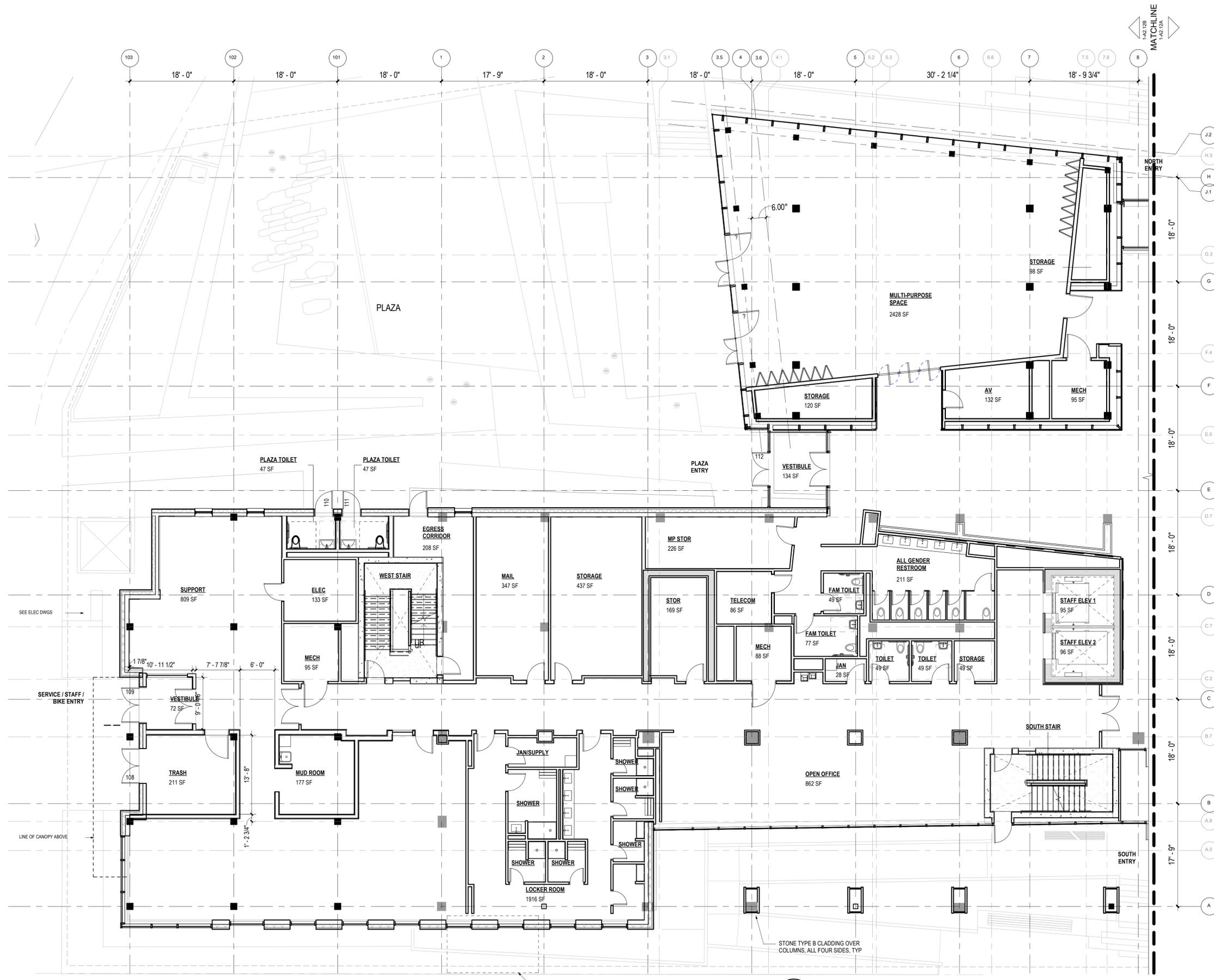
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Sheet Title

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LEVEL 1, WEST
ENLARGED

Sheet Number

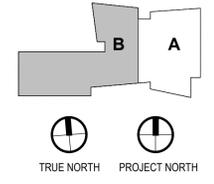
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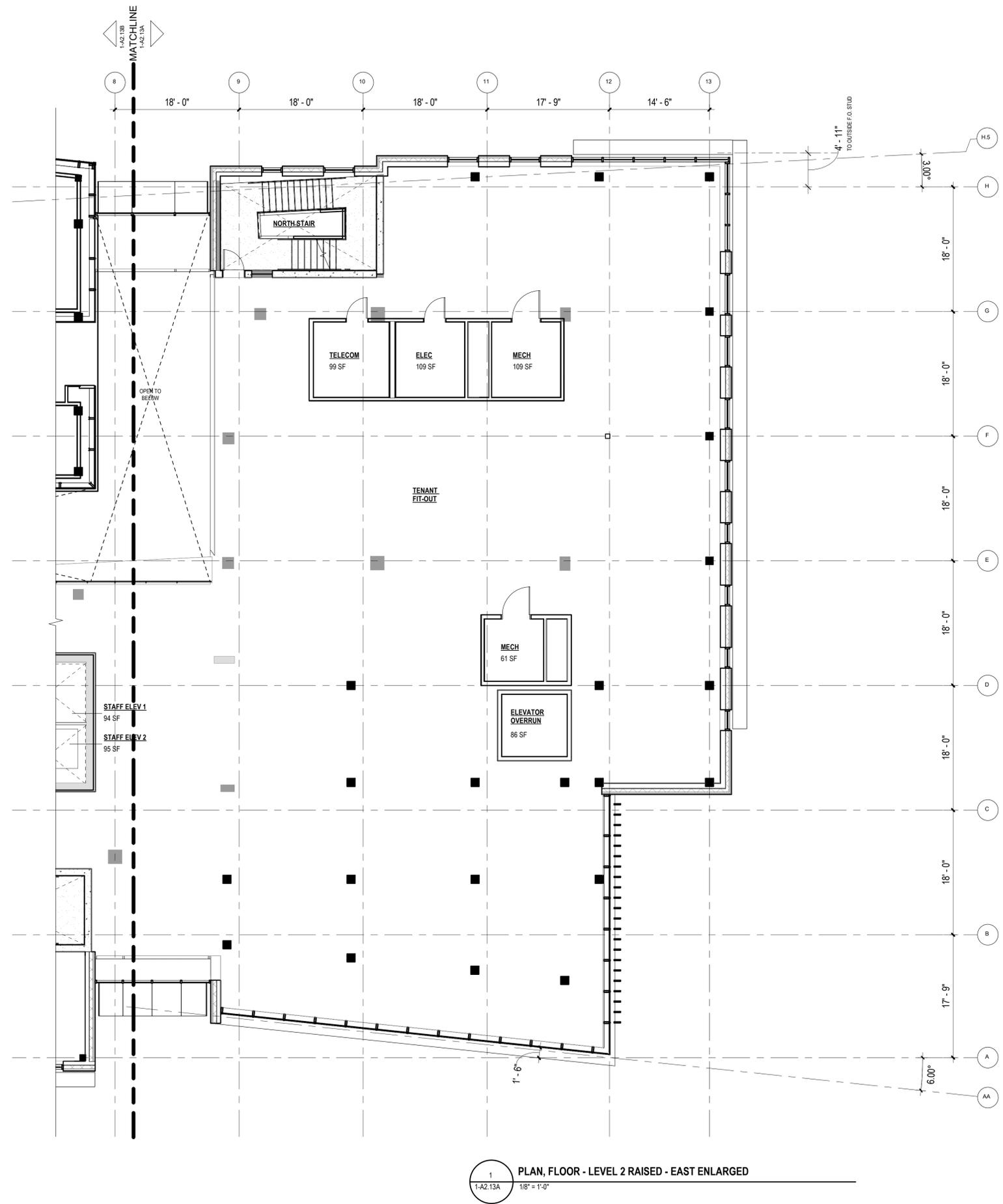
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1 PLAN, FLOOR - LEVEL 1 RAISED- WEST ENLARGED
1-A2.12B 1/8" = 1'-0"

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1 PLAN, FLOOR - LEVEL 2 RAISED - EAST ENLARGED
 1-A2.13A 1/8" = 1'-0"

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Client and Project Information



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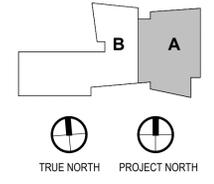
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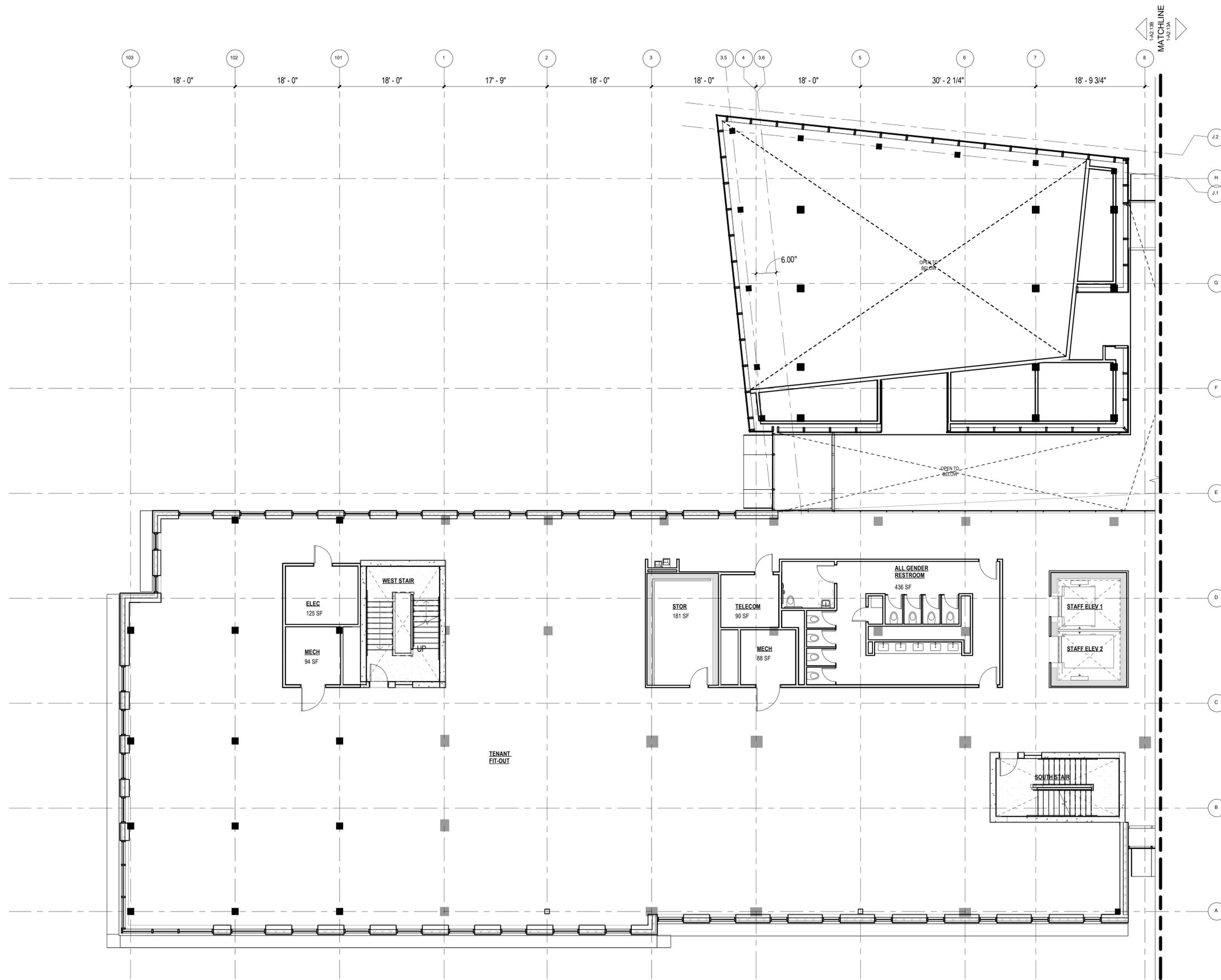
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Client and Project Information



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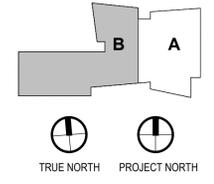
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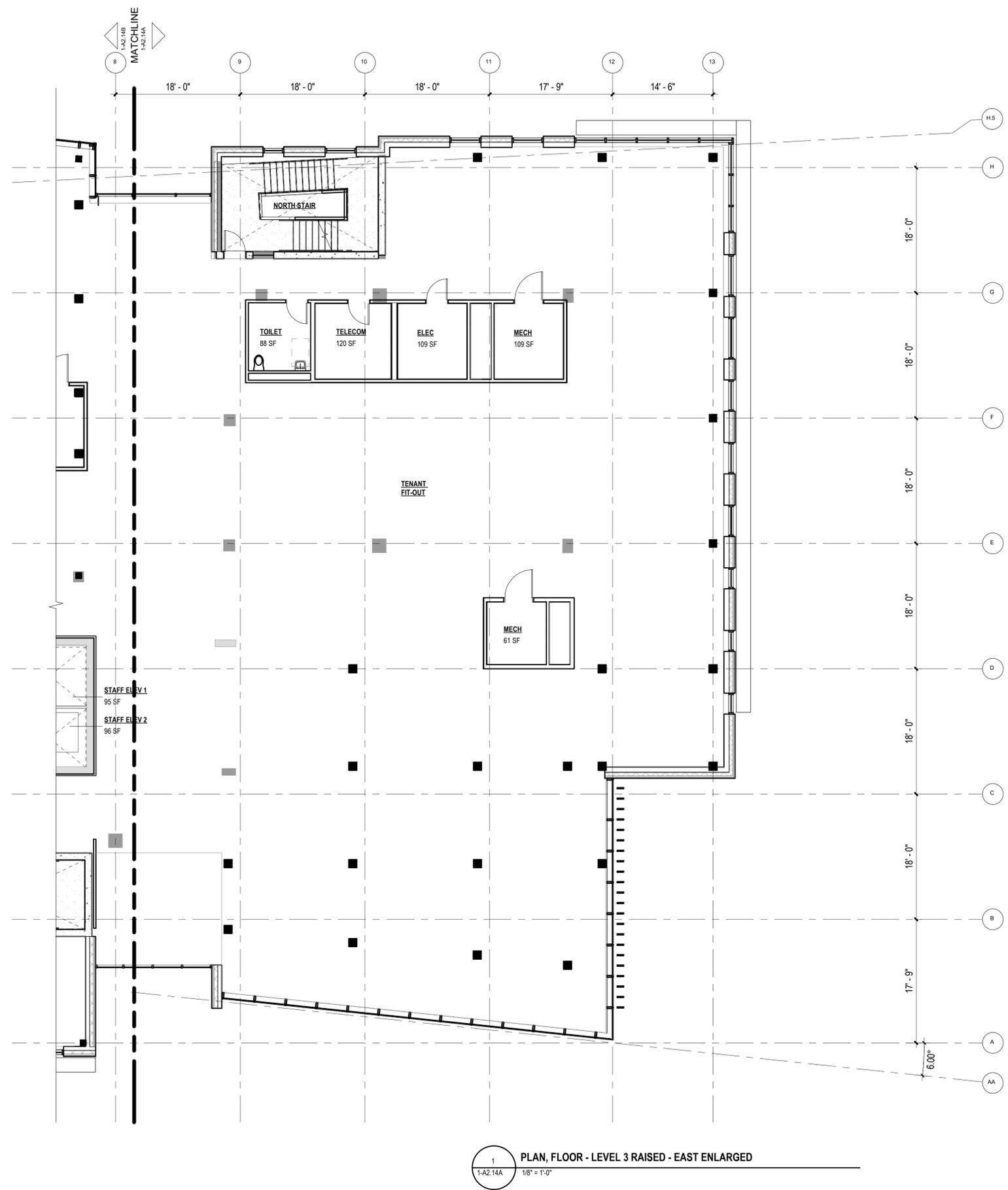
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1-A2.13B 1/8" = 1'-0"



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1 PLAN, FLOOR - LEVEL 3 RAISED - EAST ENLARGED
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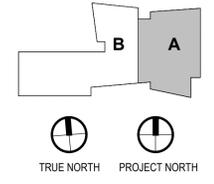
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7. ALL WALLS TYPE UNO.



H.5
H
G
F
E
D
C
B
A
AA

18'-0"
18'-0"
18'-0"
18'-0"
18'-0"
18'-0"
18'-0"
17'-9"
6'-00"



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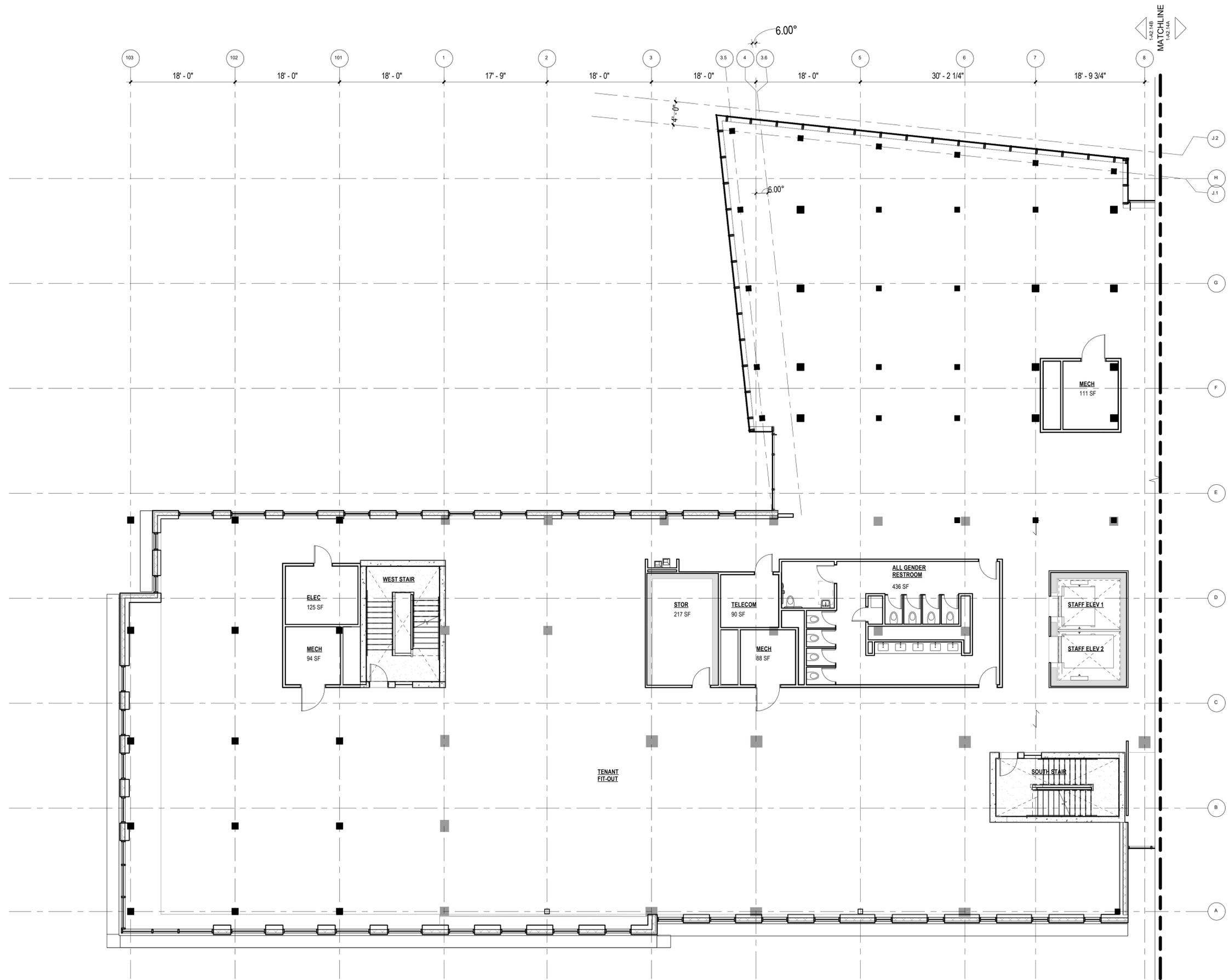
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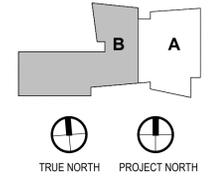
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Sheet Number
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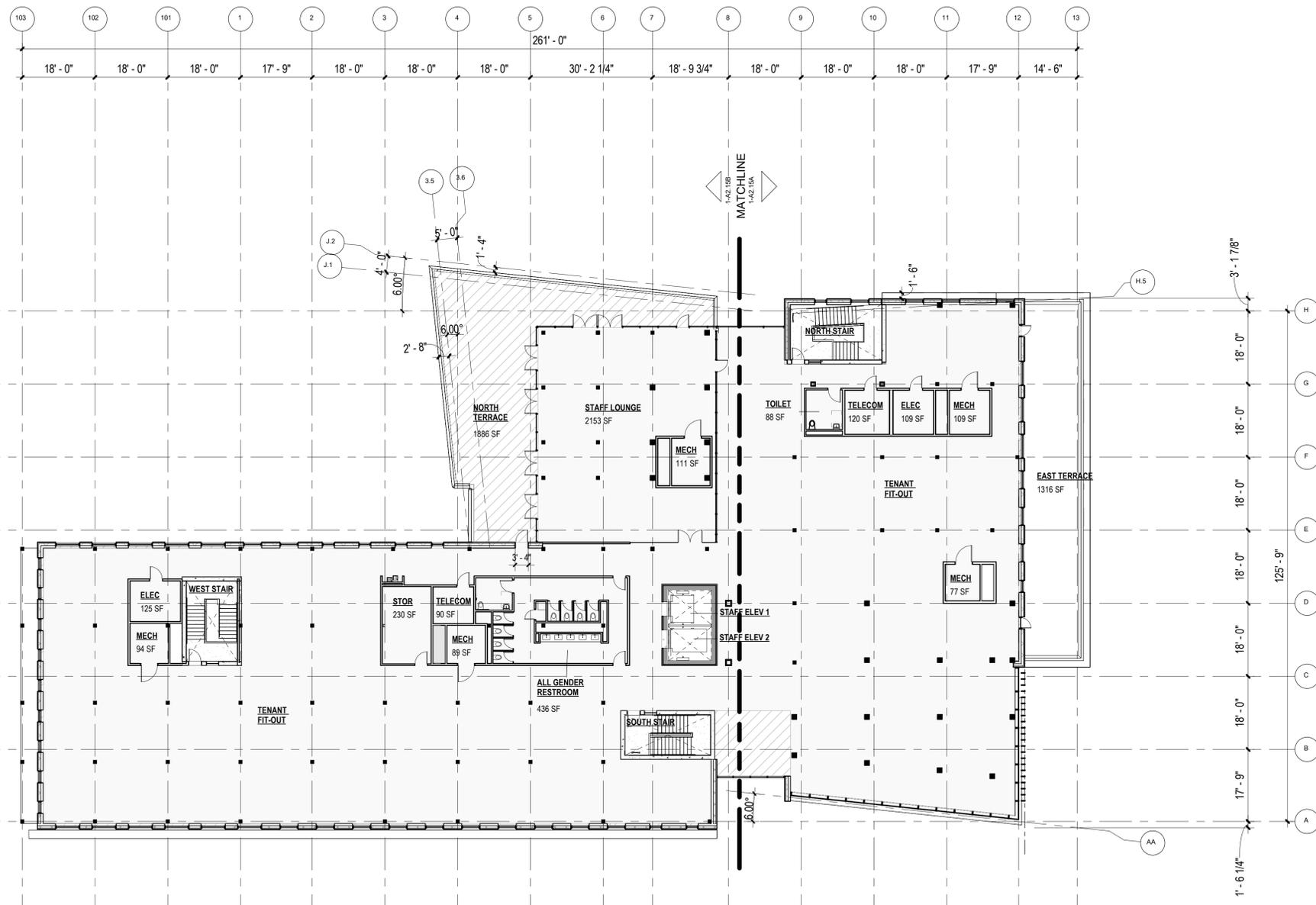
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1 PLAN, FLOOR - LEVEL 3 RAISED - WEST ENLARGED
1-A2.14B 1/8" = 1'-0"



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1 PLAN, FLOOR - LEVEL 4 RAISED, SHELL & CORE
1-A2.15 1/16" = 1'-0"

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Client and Project Information



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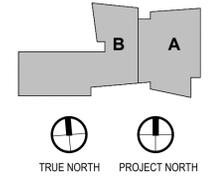
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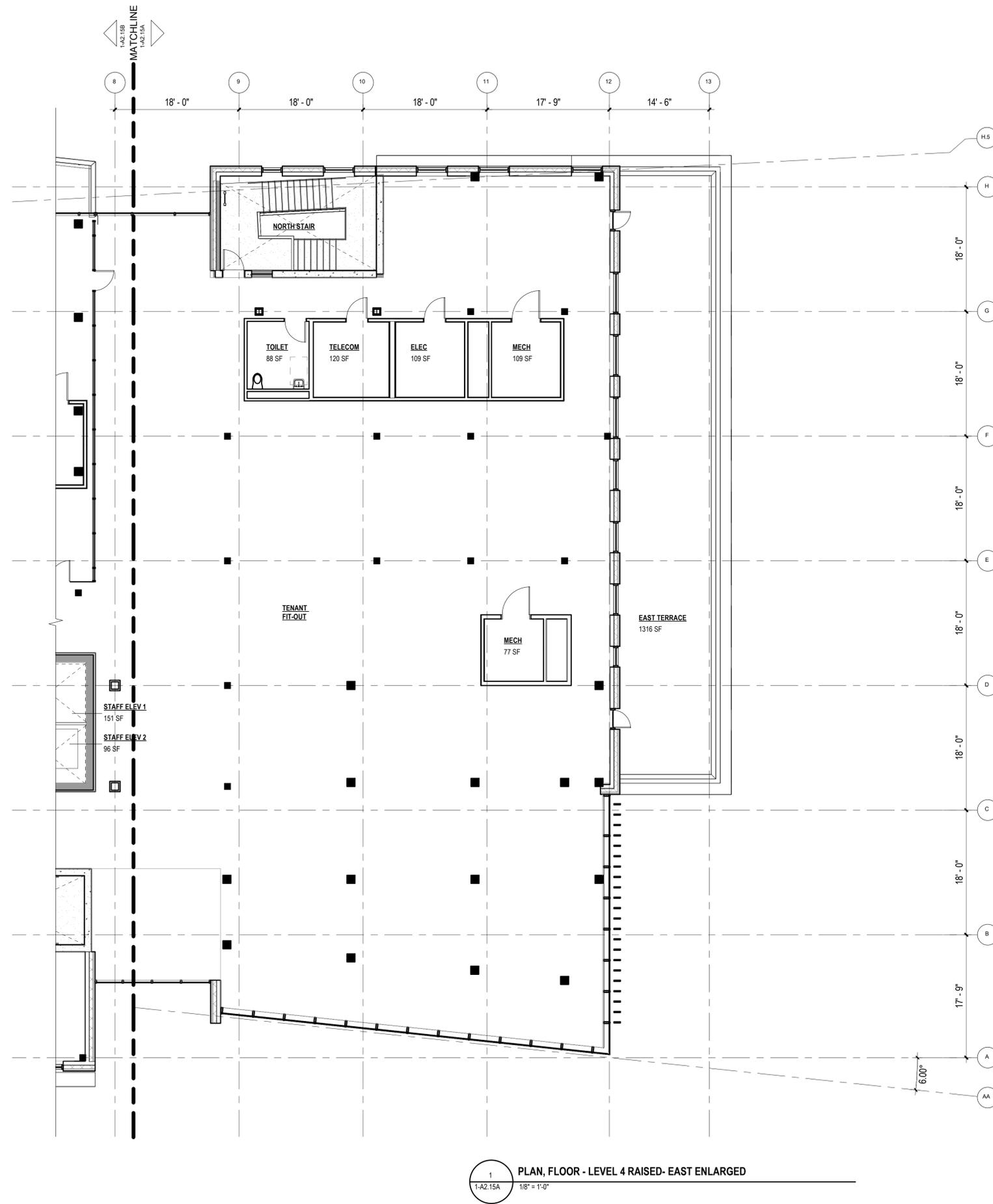
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1 PLAN, FLOOR - LEVEL 4 RAISED- EAST ENLARGED
 1-A2.15A 1/8" = 1'-0"

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 3344 WALNUT STREET
 DENVER, CO 80205
 T 303 362 1929
- LIGHTING**
AE DESIGN
 1900 WAZEE STREET, #205
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 T 303 296 3034
- AV/TECHNOLOGY/SECURITY**
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 T 303 865 5500

Full Design Team Roster on Sheet 1-GO.01

Client and Project Information



Boulder Western City
 Campus - Volume 1-Pavilion
 Office Building
 1155 Alpine Ave
 Boulder, CO 80302

Original Issue

Key Plan and Orientation

Revisions

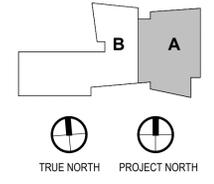
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Sheet Title
 PLAN, FLOOR - LEVEL
 4, EAST ENLARGED

Sheet Number
1-A2.15A

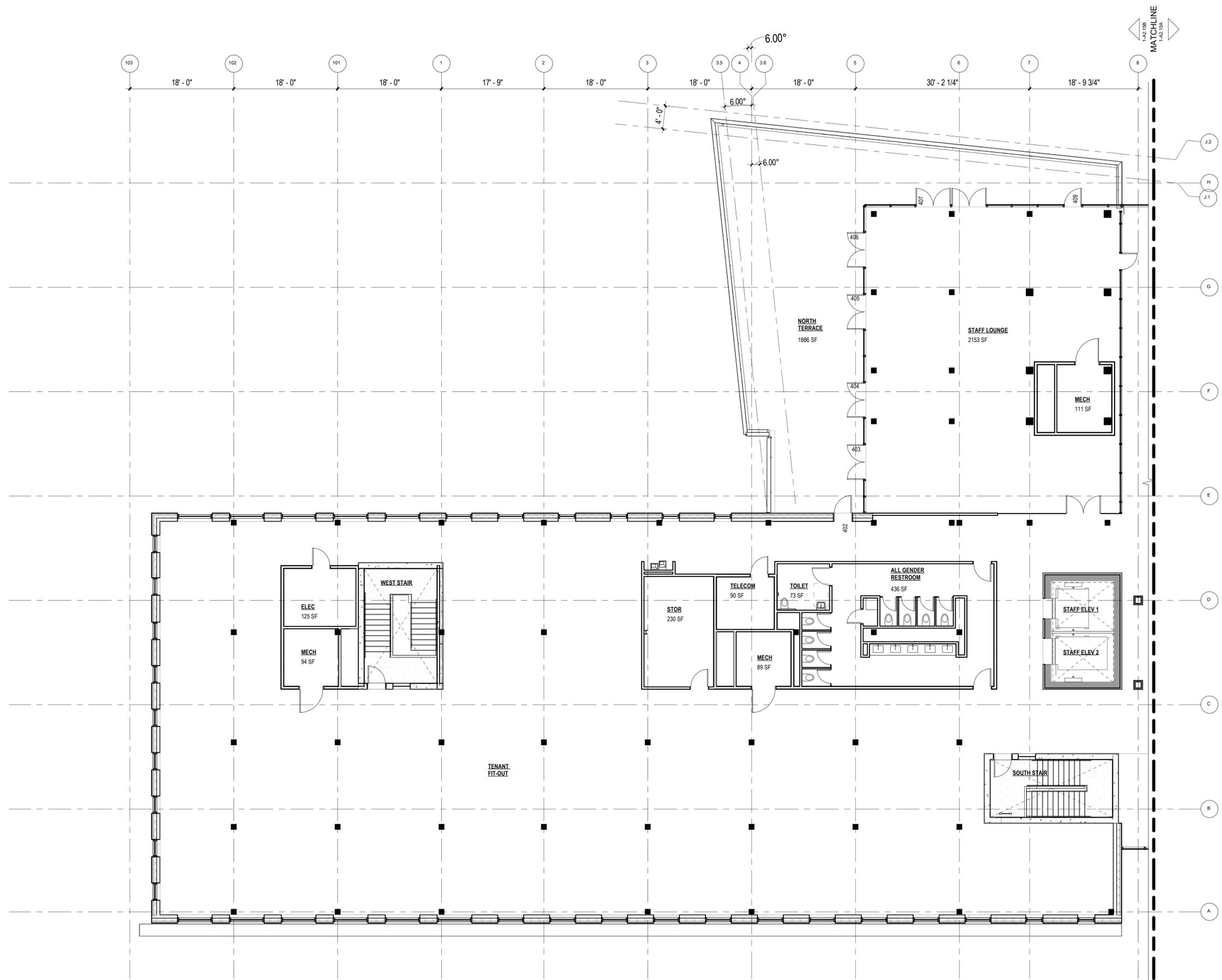
Current Issue
SITE REVIEW

Current Issue Date
11/03/2023



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- GENERAL NOTES**
1. ALL WALLS SUPPORTED AT RAISED FLOOR AND TO STRUCTURE ABOVE UNLESS NOTED OTHERWISE.
 2. REFER TO WALL SECTIONS FOR ADDITIONAL INFORMATION AT EXTERIOR WALLS AND SOFFIT ASSEMBLIES.
 3. REFER TO LIFE SAFETY SHEET 1-LS-01 FOR LOCATION AND EXTENT OF ALL FIRE RATED ASSEMBLIES.
 4. SEE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL OPENINGS IN WALLS.
 5. ALL DOORS RISE 4" FROM FACE OF SCHEDULED PARTITION TO INSIDE FACE OF FRAME UNLESS NOTED OTHERWISE.
 6. SEE SHEET 1-GO.03 FOR LEGENDS AND ABBREVIATIONS.
 7. ALL WALLS TYPE UNO.



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Full Design Team Roster on Sheet 1-G0.01



Boulder Western City
Campus - Volume 1-Pavilion
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Key Plan and Orientation

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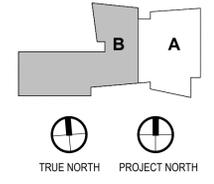
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Sheet Number
1-A2.15B

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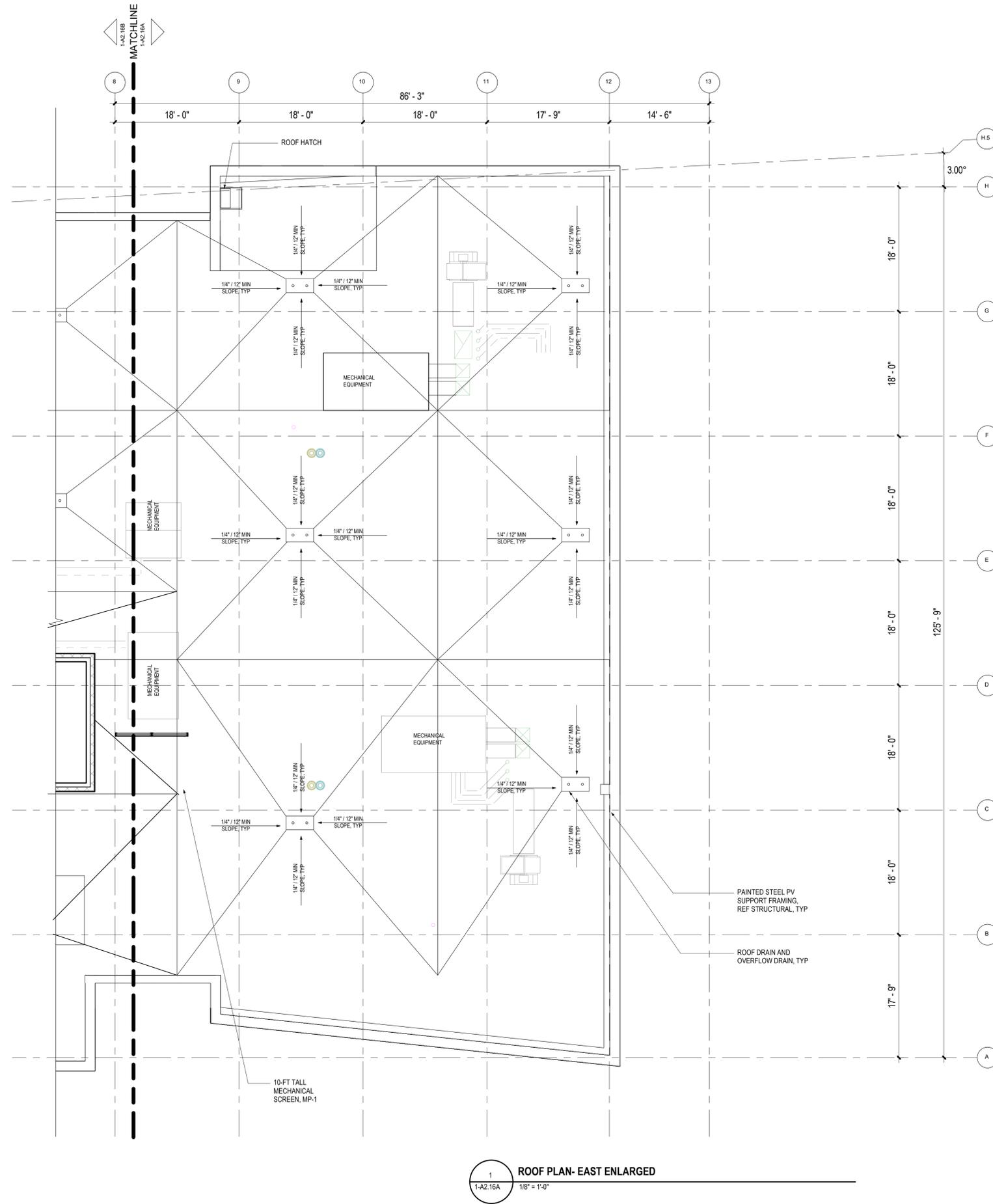
Current Issue Date
11/03/2023

1 PLAN, FLOOR - LEVEL 4 RAISED- WEST ENLARGED
1-A2.15B 1/8" = 1'-0"



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- 7. ALL WALLS TYPE UNO.



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Full Design Team Roster on Sheet 1-G0.01

Client and Project Information



Boulder Western City
Campus - Volume 1-Pavilion
Office Building

1155 Alpine Ave
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Original Issue

Key Plan and Orientation

Revisions

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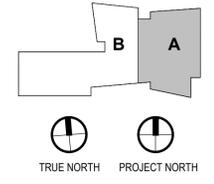
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EAST ENLARGED

Sheet Number
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Current Issue
SITE REVIEW

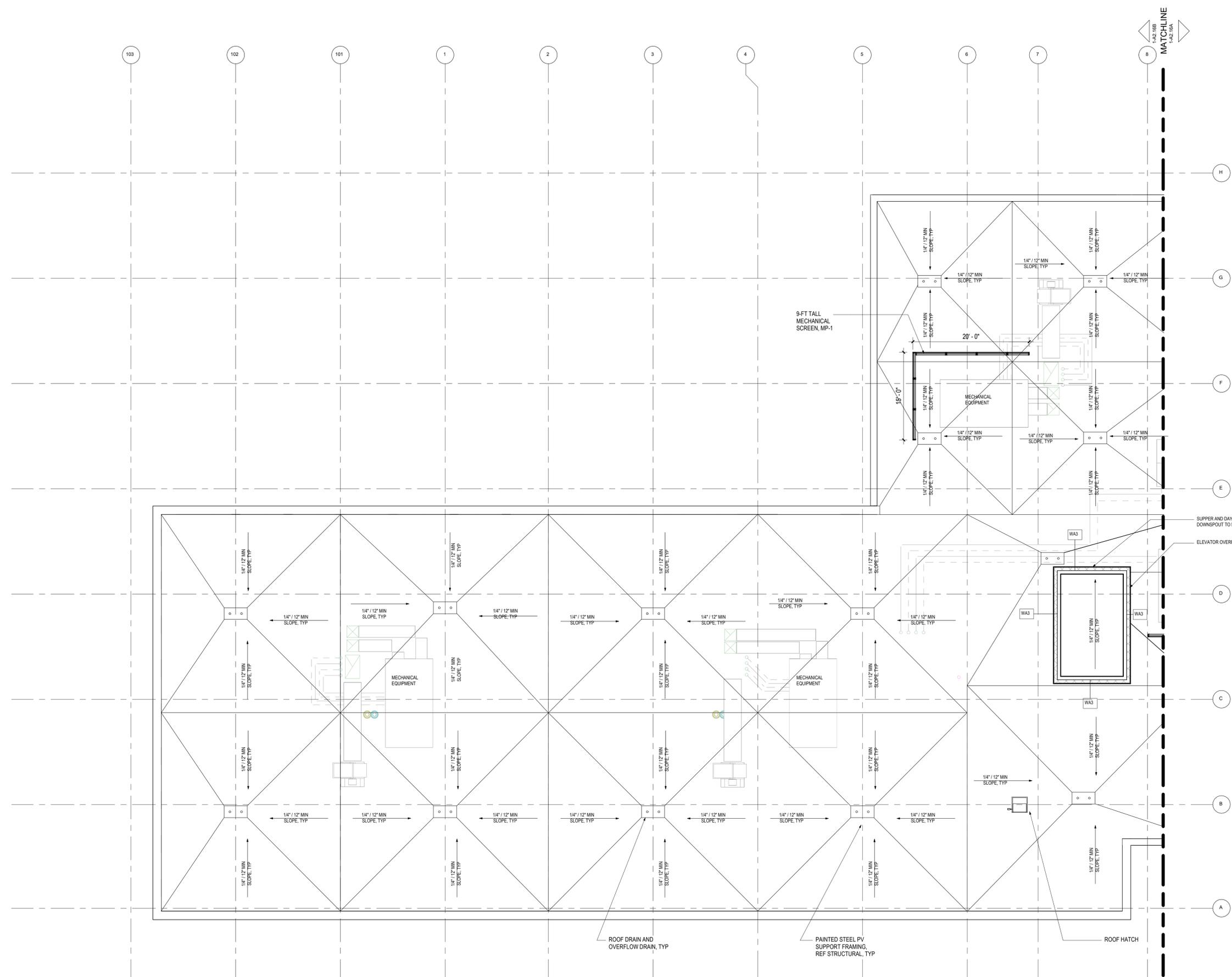
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11/03/2023

1 ROOF PLAN- EAST ENLARGED
1-A2.16A 1/8" = 1'-0"



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Full Design Team Roster on Sheet 1-G0.01



Boulder Western City
Campus - Volume 1-Pavilion
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Original Issue

Key Plan and Orientation

Revisions

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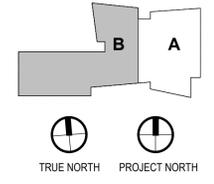
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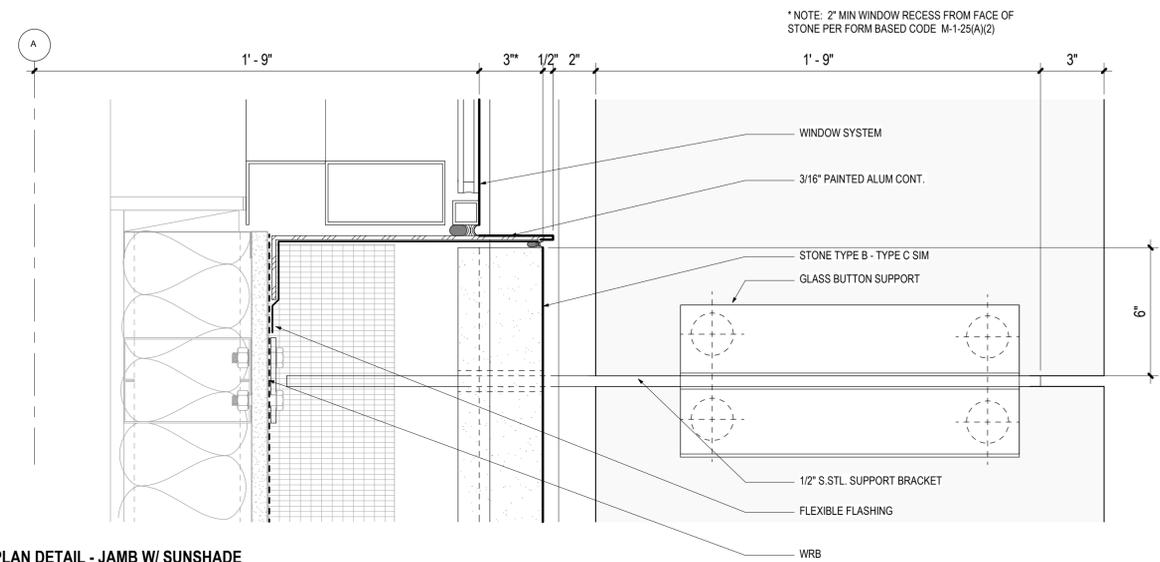
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11/03/2023

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1-A2.16B 1/8" = 1'-0"

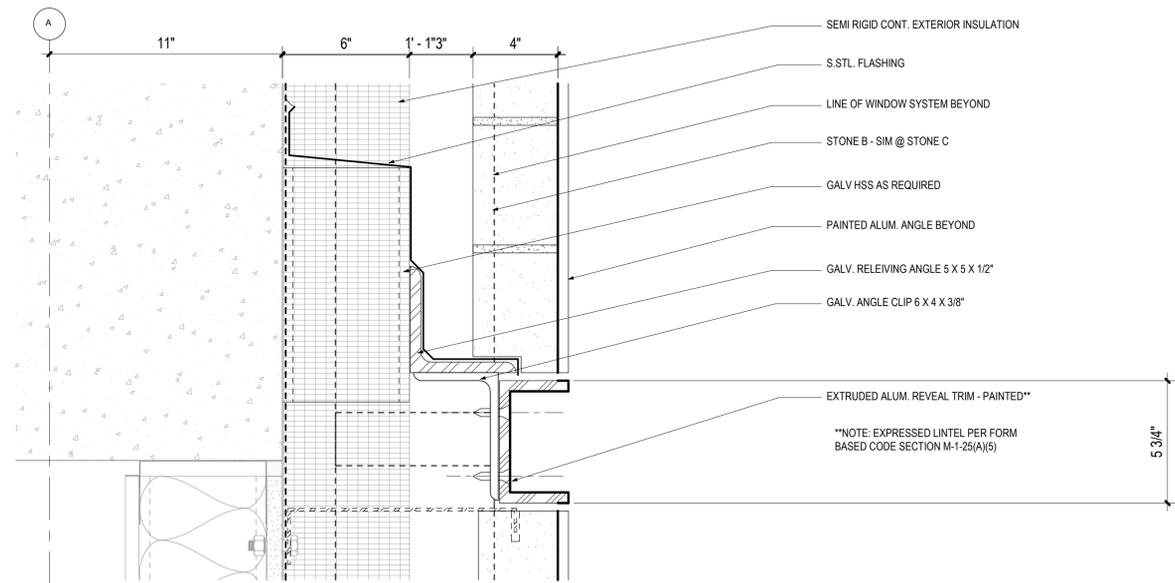


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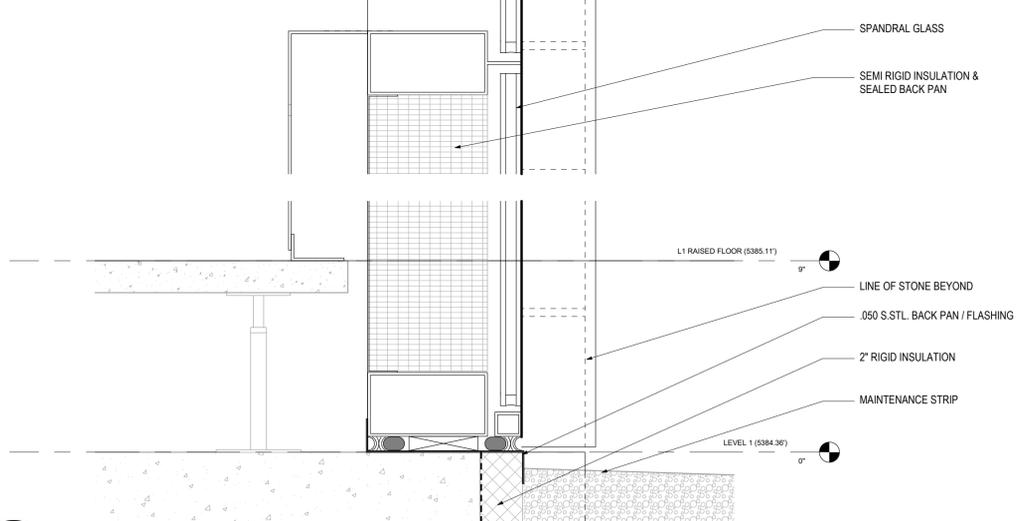
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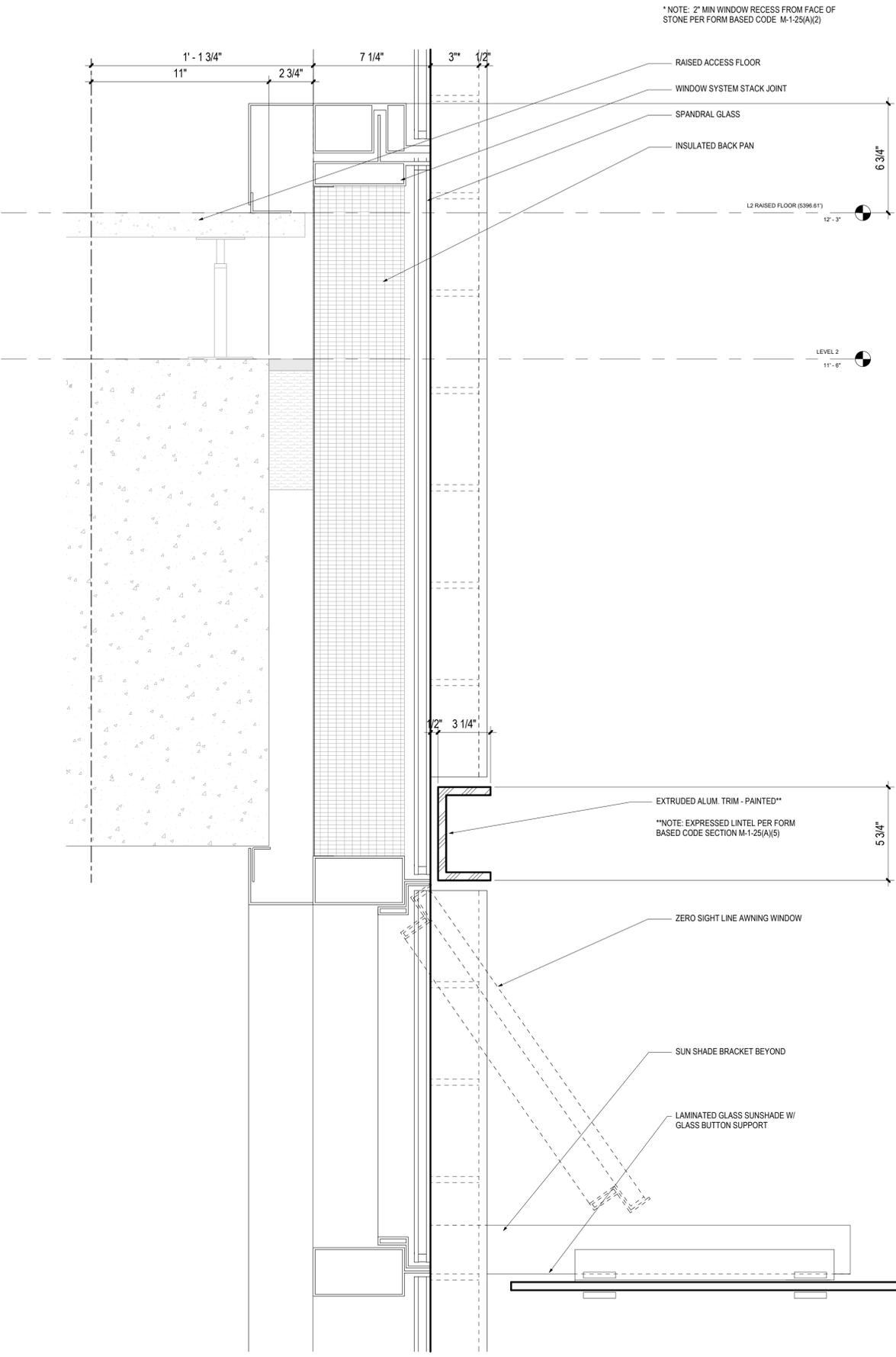
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1-A4.01 3\"/>



3 SECTION DETAIL - STONE @ FLOOR
1-A4.01 3\"/>



4 SECTION DETAIL - BASE @ WINDOW
1-A4.01 3\"/>

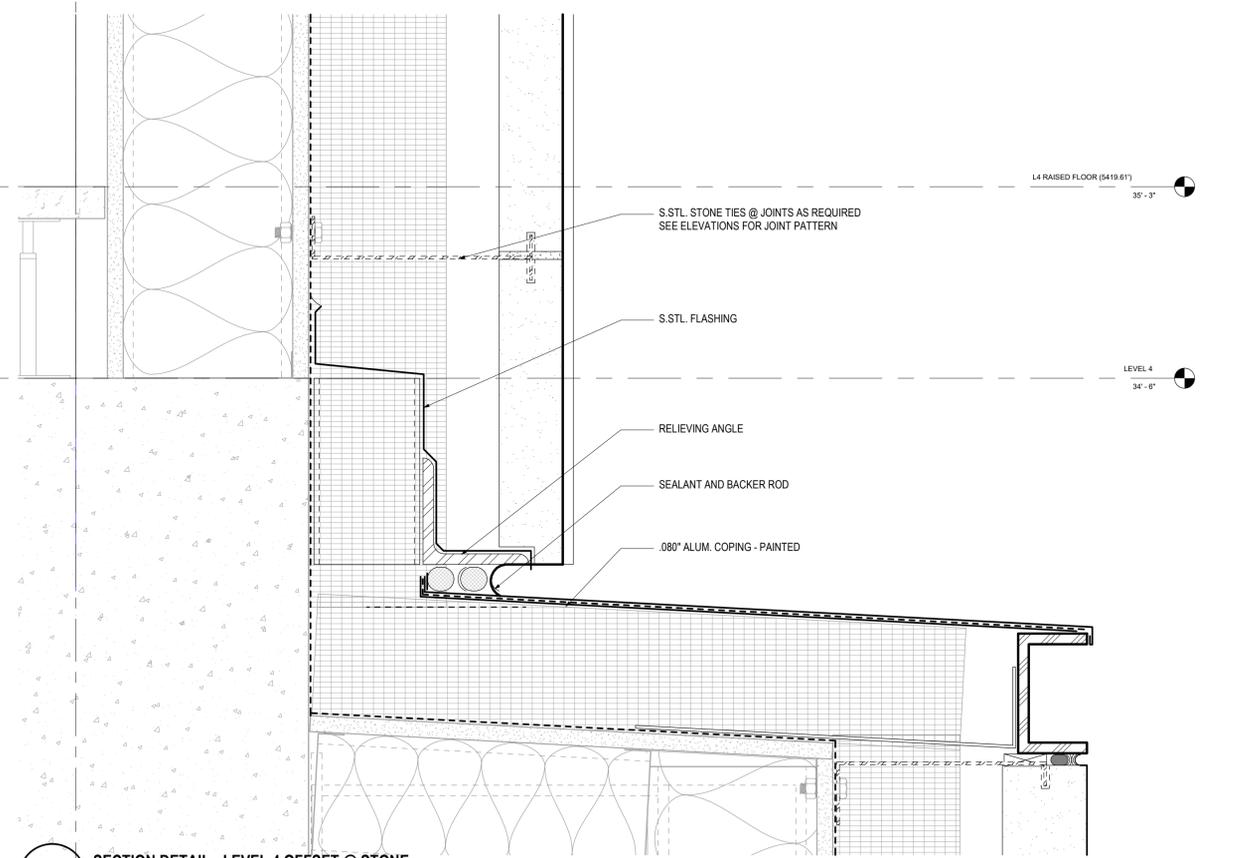
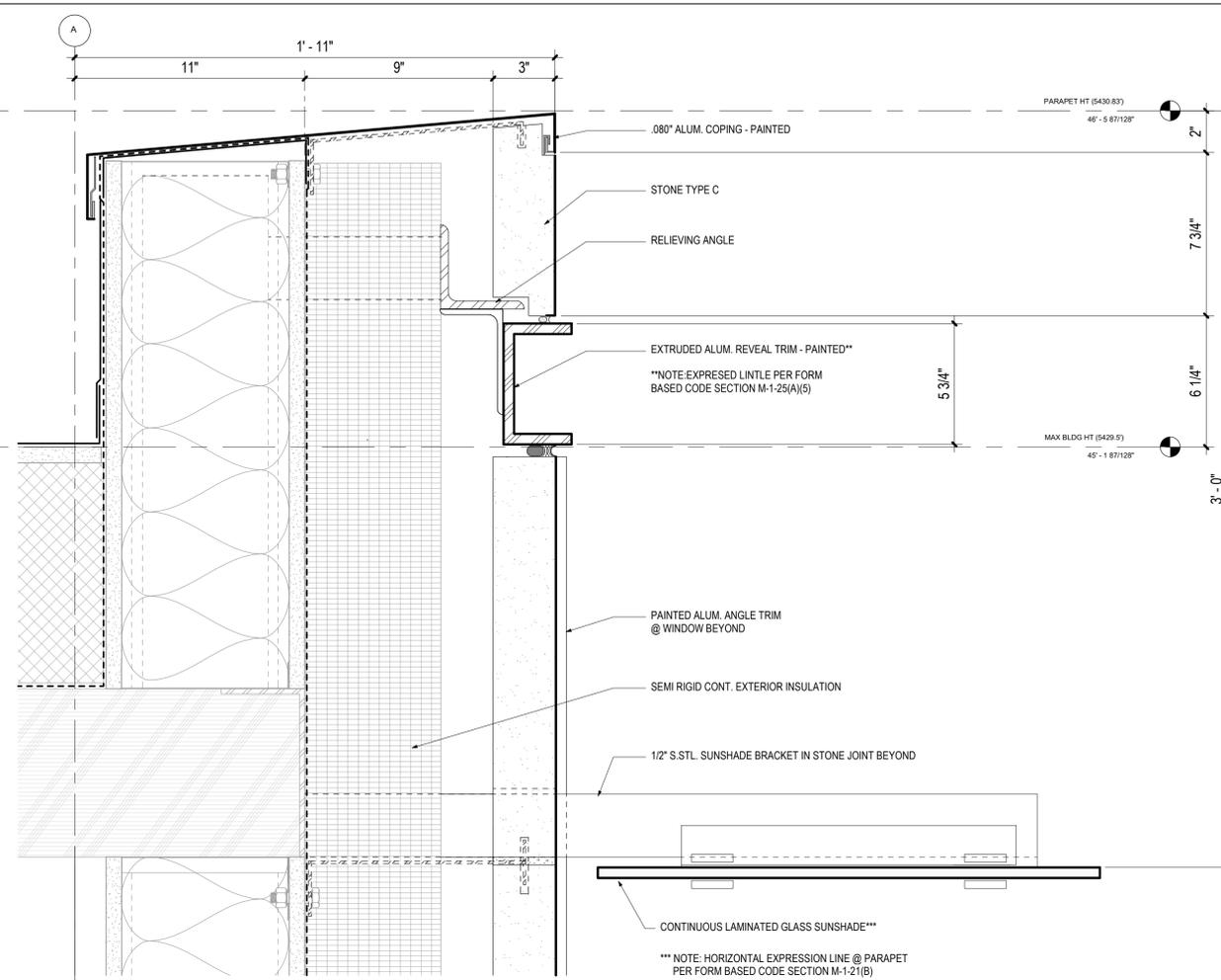


1 SECTION DETAIL - WINDOW SYSTEM @ FLOOR & SUN SHADE
1-A4.01 3\"/>

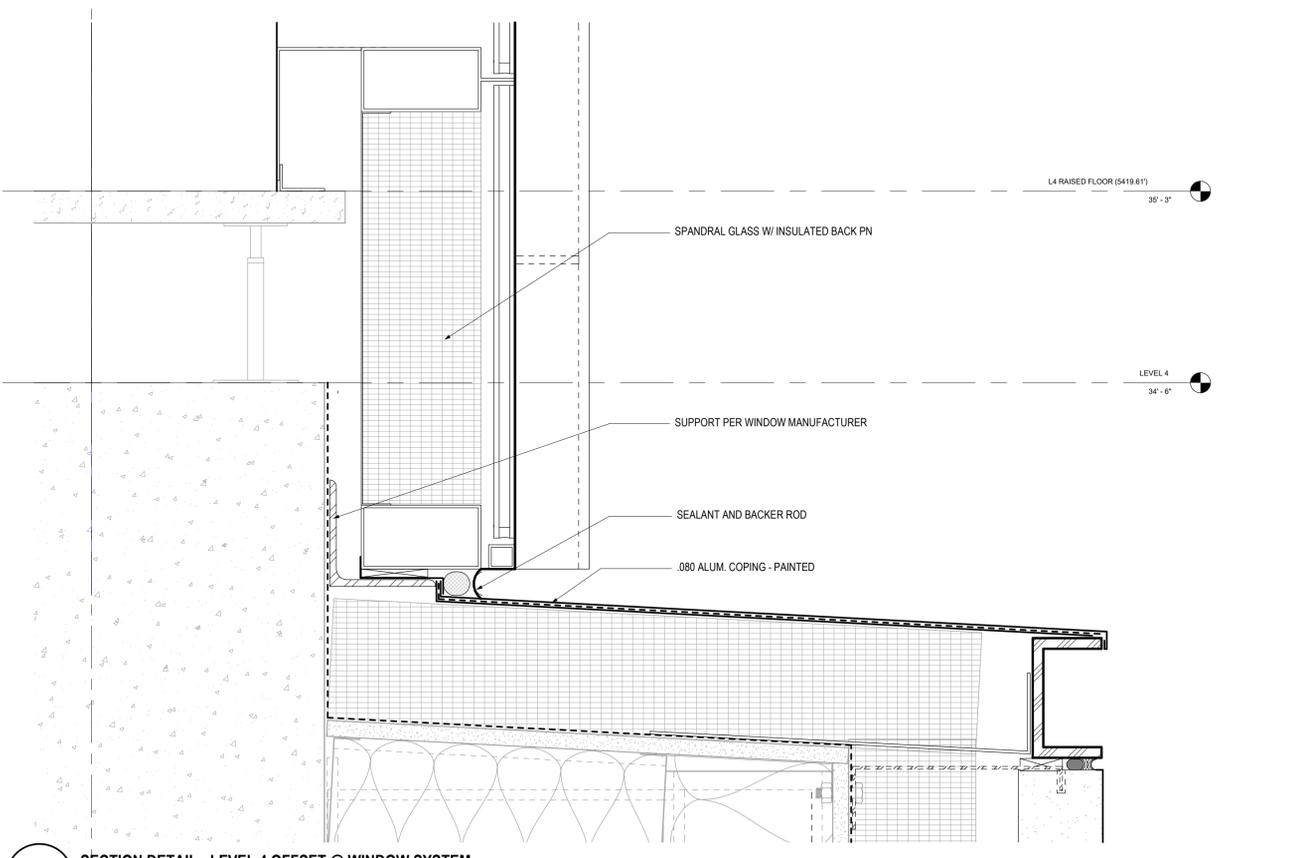
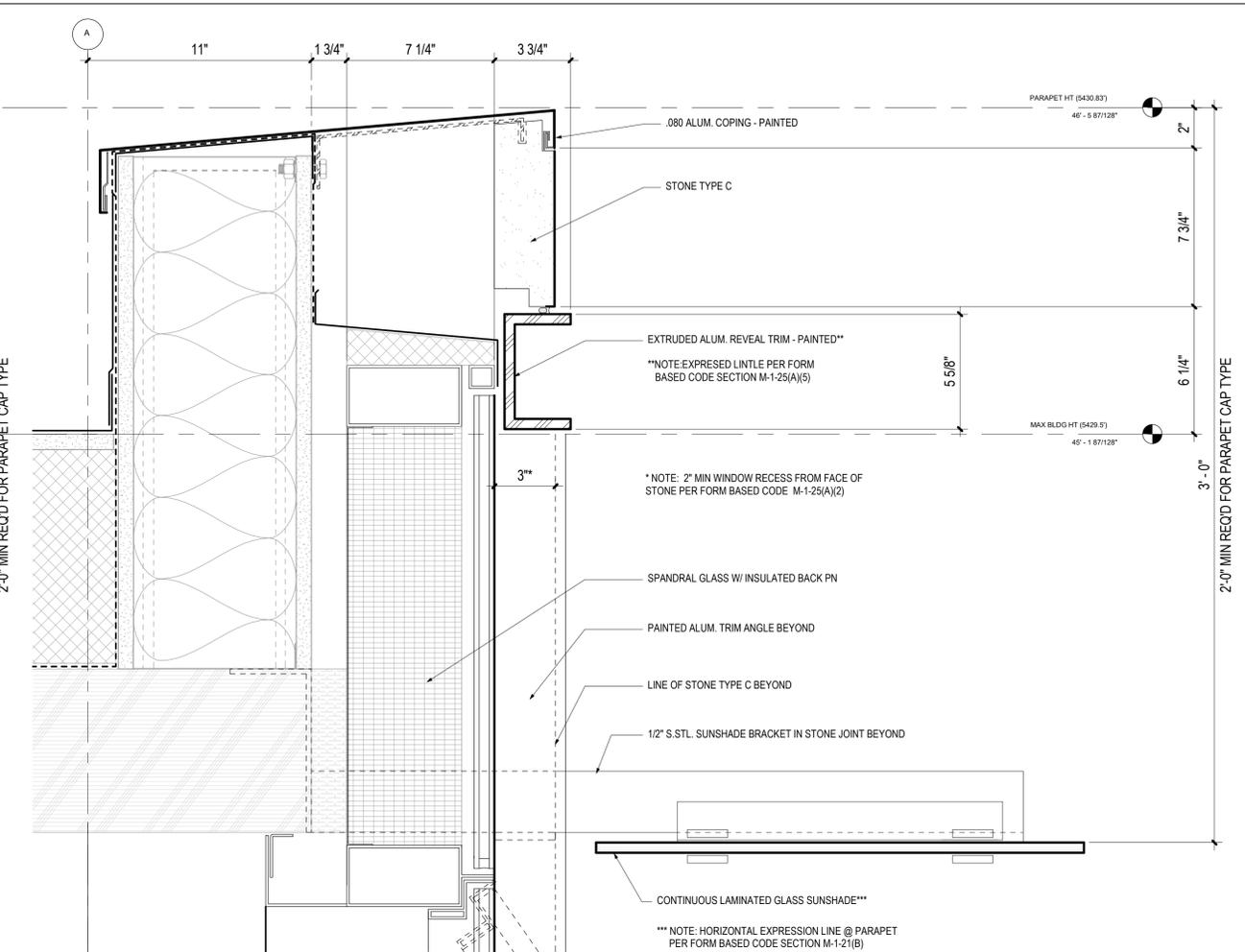


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2 SECTION DETAIL - LEVEL 4 OFFSET @ STONE



1 SECTION DETAIL - LEVEL 4 OFFSET @ WINDOW SYSTEM



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Sheet Title **BUILDING DETAILS**

Sheet Number **1-A4.02**

Current Issue **SITE REVIEW**

Current Issue Date **11/03/2023**



LEGEND

- LIMIT OF WORK
- PROPERTY LINE
- BUILDING OVERHANG
- PLANTING AREA
- ENHANCED PLANTING AREA
- STORMWATER AREA
- STANDARD CONCRETE
- COLORED CONCRETE
- CONCRETE PAVERS
- ENTRANCE

1 LANDSCAPE SITE PLAN - SITE REVIEW
2-L0.00 1" = 20'-0"



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Full Design Team Roster on Sheet A0.02

Client and Project Information



COB West Campus
Parking Garage
 2655 BROADWAY
 Boulder, CO 80302

Original Issue

Key Plan and Orientation

Revisions

Sheet Status **NOT FOR CONSTRUCTION**

Sheet Title
SITE REVIEW
LANDSCAPE
COMPLIANCE

Sheet Number

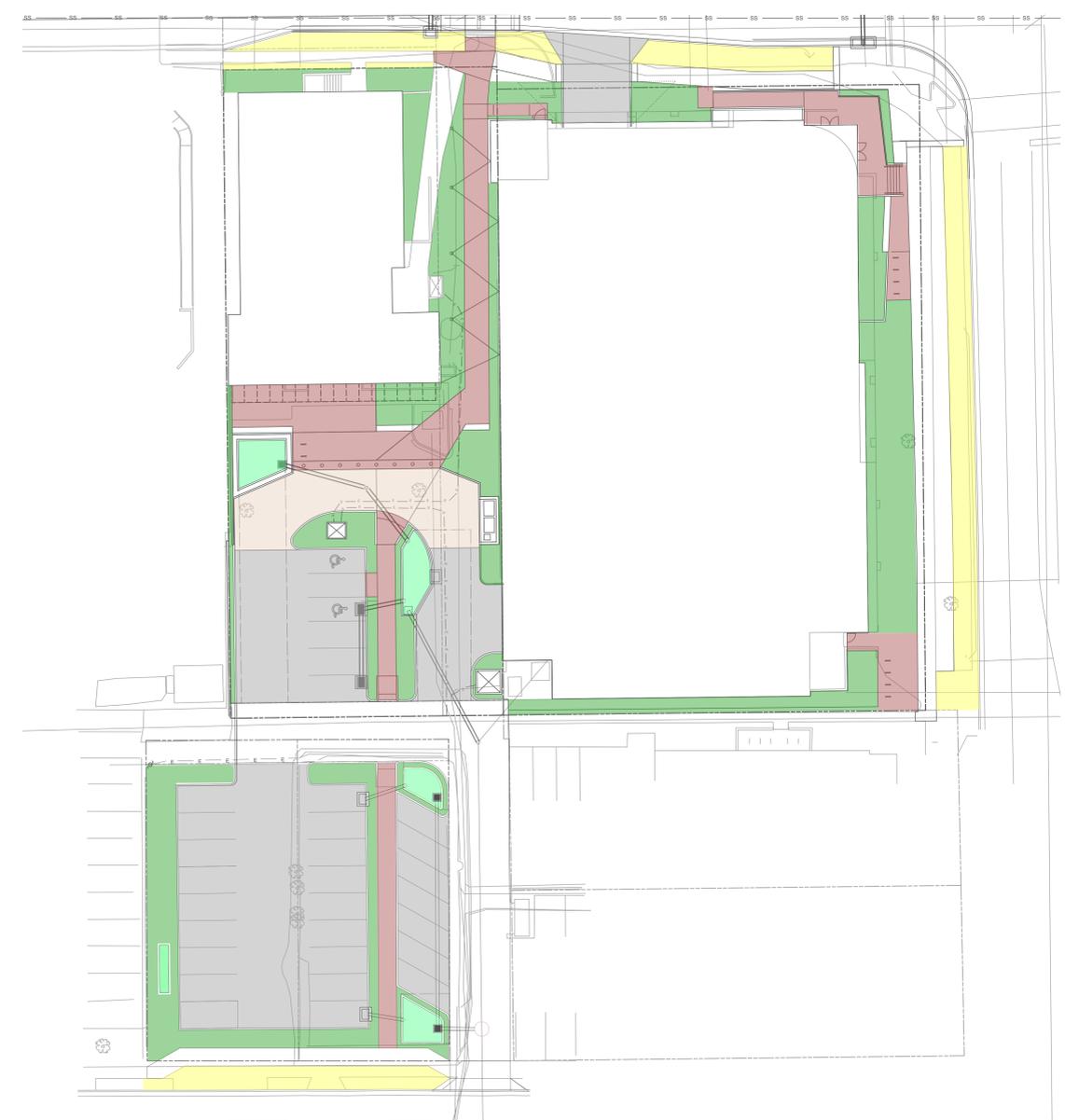
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Current Issue
SITE REVIEW

Current Issue Date
03/01/2023



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OPEN SPACE LEGEND

- LANDSCAPE
- LANDSCAPE - WATER QUALITY PLANTER
- ROW LANDSCAPE - NOT INCLUDED IN OS CALC
- HARDSCAPE - ENHANCED PAVING

Western City Campus
 Open Space Calculation - South of Alpine
 2/23/24

PUBLIC ZONE CALCULATION
 20% of Total Land Area
 Total Land Area = 58,208 SF
 Interior ground floor OS can count up to 50% of required
11,642 SF required (20%) 14,759 SF provided (25%+C2711272%)

Open Space		Actual	Can Count
1 Landscape			
Site Landscape	8,985	8,985 SF	
Rain Gardens (WQ Features)	438	438 SF	
2 Hardscape			
Enhanced paving	5,336	5,336 SF	
	14,759	14,759 SF	

Landscape Requirements

A 1 Tree/5 Shrubs for each 1,500 SF not covered by building or parking

	Required	Provided
Total Site	58,208 SF	
Total Building Coverage	28,285 SF	
Total Parking Coverage	11,272 SF	
Remaining	18,651 SF	
Trees	12	15 33% more than required
Shrubs	62	100% 8,375 SF of Shrub beds provided

B Sod Quantity - no sod anticipated on this project.

C Street trees - one tree every 40 LF

Street Frontage	Required	Provided
Alpine Ave	214 LF	5
Broadway	188 LF	5
North Street	99 LF	2

D Parking Lot Landscape

5% required of 10,645 SF	Required	Provided
Interior Prkg Lot Landscape	532 SF	1,122 SF
Interior Trees 1/200 SF	3 EA	3 EA
Parking Lot Screening Trees	4 EA	4 EA
Parking Lot Screening	42" screen	42" screen

Vines to be planted along existing chain link fence

1 OPEN SPACE AREAS
 Scale: 1" = 20'-0"



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RENDERING - NORTH PARKING GARAGE ENTRANCE

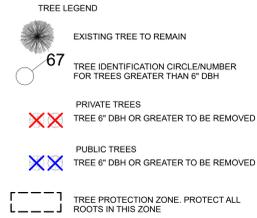
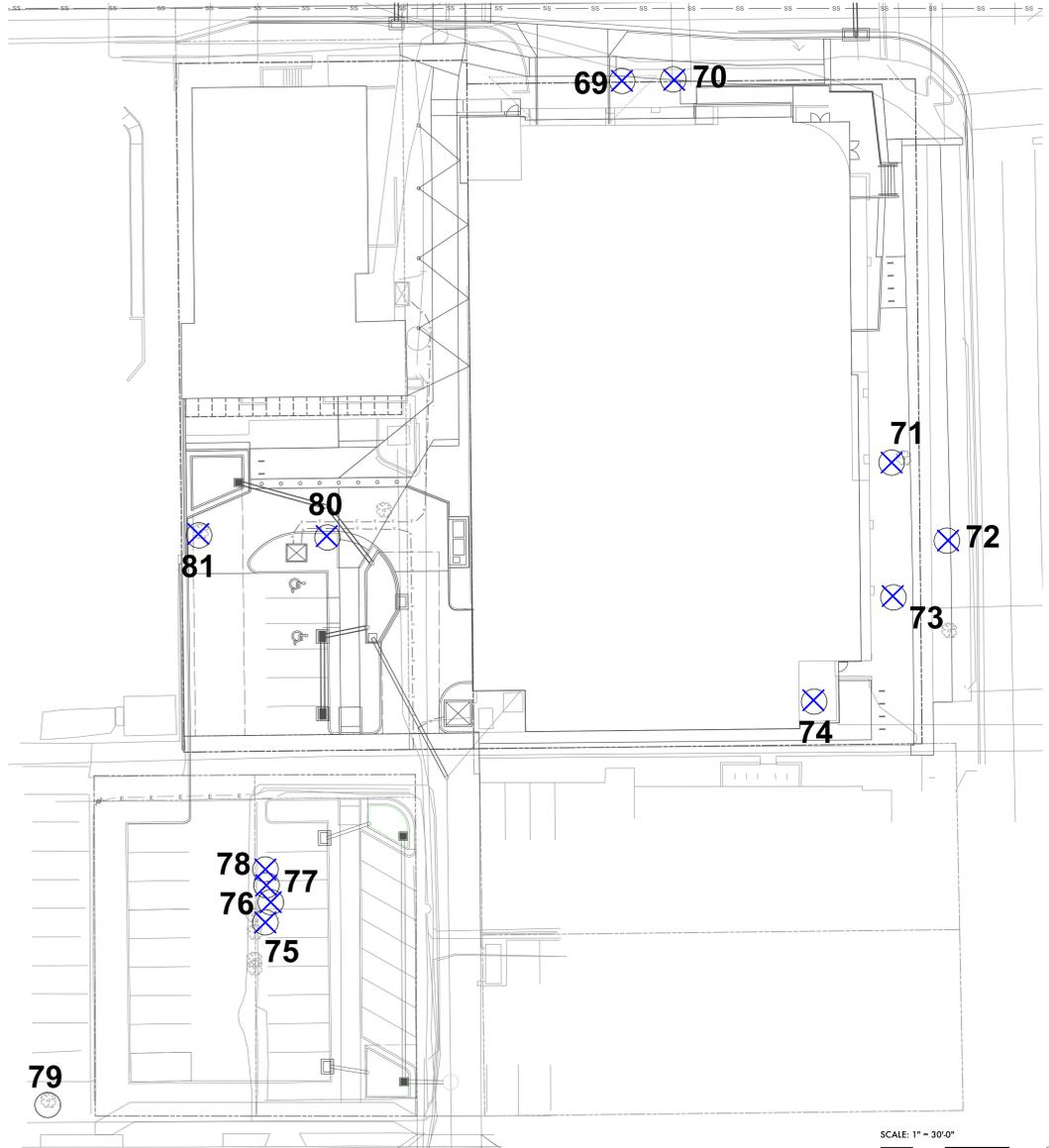


RENDERING - BRENTON SOUTH ENTRANCE AND DROP-OFF ZONE



**CITY OF BOULDER
DESIGN AND CONSTRUCTION STANDARDS
3.05 Tree Protection for Construction Sites**

- (A) Tree Protection Required
 (1) An applicant for construction approval shall protect trees and plants in the public right-of-way and on any project or construction site where public improvements are proposed.
 (2) An applicant for construction approval shall submit a landscaping plan incorporating proposed tree protection measures for any existing trees located in the public right-of-way and on site at any project or construction site where public improvements are proposed in compliance with these Standards.
 (3) The landscaping plan shall identify any potential detrimental effects to existing trees that might result from proposed construction activities within 20 feet of the dripline of any existing trees located on site or in the adjacent public right-of-way. The plan shall include the species, size, and location of all existing trees that are 1-inch or larger caliper size. If no existing trees are present that require protection, this shall be noted on the plan. Existing trees approved to be removed or relocated shall be clearly identified on the landscaping plan.
 (4) The applicant for construction approval shall notify the City within 24-hours of any suspected damage to trees resulting from construction activities. If damage occurs during construction, the applicant shall have the damaged tree restored immediately by a qualified arborist.
 (B) Tree Protection Procedures
 (1) Protective Maintenance: An applicant for construction approval shall provide maintenance and care for existing trees required to be protected on site and in the public right-of-way adjacent to any project or construction site during construction activities and the public improvement warranty period to ensure that existing trees survive and are not damaged.
 (2) Soil Compaction Prevention
 (a) To prevent soil compaction, designated routes for equipment and foot traffic by work crews shall be determined prior to commencing construction activities and indicated in the landscaping tree protection plan.
 (b) These planned routes shall be marked at the site before construction commences with durable fencing material that is at least 4 feet high. Flagging tape or any other material that may be torn down, moved, or evaded is not acceptable.
 (c) The contractor shall inform all construction crew members on the site of access routes and will ensure that only these routes are used.
 (d) To prevent tree root smothering, no soil stockpiles, supplies, equipment, or any other material shall be placed or stored within a tree dripline or within 15 feet of the tree trunk for column-shaped trees, whichever distance is greater (e) Soil around a tree dripline may be required to be aerated during and after construction activities. This is necessary even when compaction results from heavy foot traffic. A professional arborist shall do the vertical aeration or soil fracturing. Oil fracturing techniques comparable to using a "growgun" with Isolite material are acceptable. Conventional turf aeration is not acceptable.
 (f) When foot traffic or equipment use is unavoidable within the dripline, the area within the dripline shall be mulched with wood chips to a depth of 6 inches before construction activity begins. A 6-inch mulch depth shall be maintained for the duration of the project, then removed when construction activities are completed.
 (3) Root Protection
 (a) Tree roots shall not be cut unless cutting is unavoidable.
 (b) When root cutting is unavoidable, a clean, sharp cut shall be made to avoid shredding or smashing. Root cuts should be made back to a lateral root.
 (c) Whenever possible, tree roots should be cut between late fall and bud opening, when root energy supplies are high and conditions are least favorable for disease causing agents.
 (d) The City shall be notified of any cutting of the following roots:
 (i) Two roots having a diameter of more than 3 inches, or
 (ii) Four roots having diameters between 2 and 3 inches.
 (e) Trenches shall be hand-dug within the dripline in areas where roots 2 inches and larger in diameter are present, and when low branches which may be damaged by equipment are present.
 (f) Whenever possible, roots 2 inches or larger in diameter shall be tunneled or bored under and shall be covered to prevent dehydration. Exposed roots shall be covered immediately with soil or burlap and kept moist.
 (g) Power tools shall not be used to prune roots, with the exception of arboriculturally approved root-cutting equipment used under the supervision of the City. Only the following approved tools shall be acceptable: scissors-type hand pruners and loppers, except anvil-types, and arborist-type pruning saws.
 (h) When more than one root 2 inches or larger in diameter on any public tree is cut, supplemental watering shall be provided if the tree lacks an operational sprinkler system. The applicant or abutting landowner shall provide the watering.
 (i) Sidewalk and paving surfaces shall be sufficiently contoured to avoid cutting surface tree roots. Whenever possible, tree roots should be bridged or floated over with walks.
 (j) To allow maximum aeration and water penetration to roots, walk materials other than concrete may be selected (e.g., brick, flagstone, honeycomb block, chips, gravel) subject to City approval. Under no circumstances shall impervious material make contact with or completely encircle a tree trunk.
 (k) Auger tunneling, not trenching, shall be used where possible for utility placement within the dripline of a tree.
 (l) If roots are cut between March and August, trees may need supplemental deep root watering once per week for at least 2 months after the roots are cut. When roots are cut between September 1 and October 15, trees may need supplemental watering once per week until at least October 31.
 (m) Tree roots shall not be fertilized for a period of 1 year following the cessation of construction activities. Thereafter, for the next 2 years, a light annual fertilization using a slow release nitrogen source is acceptable.
 (4) Tree Fencing
 (a) Fencing material shall encircle any tree whose outer dripline edge is within 20 feet of any construction activities.
 (b) Fencing material shall be a bright, contrasting color, durable, and at least 4 feet high. Fence posts shall be comparable to metal T-posts or heavier posts and placed at least 2 feet below ground.
 (c) Fencing material shall be placed at the dripline or at least 15 feet from any tree trunk, whichever distance is greater, and maintained in an upright position throughout the duration of construction activities.
 (d) The applicant for construction approval shall indicate fencing locations on the landscaping tree protection plan.
 (e) Heavy objects, such as wood pallets or metal railings, shall not lean against or come into contact with any tree trunk.
 (5) Grade Changes: Grade changes, such as removing topsoil or adding fill material, shall not occur within the dripline of any existing tree. If necessary as part of project or site development, retaining walls and tree wells to maintain the existing grade within the dripline of any tree may be acceptable when constructed prior to site grading changes near the tree. A landscaping plan containing an illustrated design scheme of the tree protection improvement shall be approved by the City prior to initiating any grade changes near existing trees.
 (6) Transplanting: Any proposed or required transplanting shall conform with the requirements in Section 3.04(D), "Tree Relocation (Transplanting)."
 (7) Chemical/Foreign Material Disposal
 (a) Disposing of chemicals or foreign material anywhere on site or in the public right-of-way is prohibited. This shall include, but is not limited to: paint, stain, solvents, concrete or any construction material onsite, and rinse water from any cans or tools containing chemicals.
 (b) Soil samples may be taken to determine the presence of chemicals or foreign materials for any planter containing proposed or existing plant material.
 (8) Pruning: Pruning shall not occur during construction activities or the public improvement warranty period, except to remove dead or damaged branches or to prevent branch damage that could occur during construction, without the prior approval of the City. Pruning of healthy branches shall be delayed for a period of 2 years after construction activities are completed.



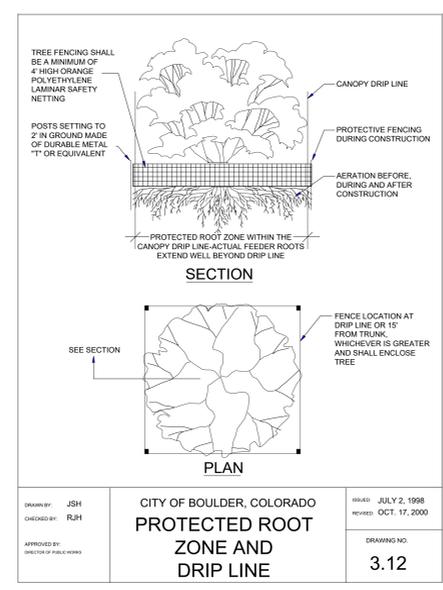
All tree protection standards of Ch. 3 and 10 of the Design and Construction Standards shall be met with particular attention given to grading impacts, limitations of stockpiling, soil compaction prevention and vehicular routes. Tree protection fencing shall be installed prior to any site disturbance and remain in place for the duration of the project. Only hand digging may occur within the dripline of any tree to be preserved. Provide sufficient irrigation throughout construction to maintain the long term health of the tree(s).



West City Campus Site
Tree Inventory

ID#	Common Name	Scientific Name	DBH (in)	Condition Rating	Comments
35	Austrian pine	Pinus nigra	13.0	Good	Remove
36	Austrian pine	Pinus nigra	13.5	Good	Remove
37	Crabapple	Malus sp.	38.0	Good	Remove
38	Hawthorn	Crataegus sp.	6.0	Good	Remove
39	Hawthorn	Crataegus sp.	7.0	Good	Remove
40	Hawthorn	Crataegus sp.	8.0	Good	Remove
41	Austrian pine	Pinus nigra	15.5	Good	Remove
42	Austrian pine	Pinus nigra	17.0	Good	Remove
43	Austrian pine	Pinus nigra	16.0	Good	Remove
44	Red oak	Quercus rubra	7.5	Fair	Remove
45	Hawthorn	Crataegus sp.	6.0	Good	Remove
46	Hawthorn	Crataegus sp.	6.0	Good	Remove
47	Hawthorn	Crataegus sp.	6.0	Good	Remove
48	Hawthorn	Crataegus sp.	6.0	Good	Remove
49	Red oak	Quercus rubra	8.5	Fair	Remove
50	Red oak	Quercus rubra	7.5	Fair	Remove
51	Hawthorn	Crataegus sp.	6.0	Good	Remove
52	Hawthorn	Crataegus sp.	6.0	Good	Remove
53	Hawthorn	Crataegus sp.	6.0	Good	Remove
54	Austrian pine	Pinus nigra	16.0	Good	Remove
55	Austrian pine	Pinus nigra	17.0	Good	Remove
56	Quaking aspen	Populus tremuloides	12.0	Very Poor	Remove
69	Norway maple	Acer platanoides	6.0	Good	Remove
70	Norway maple	Acer platanoides	9.0	Good	Remove
71	Amur maple	Acer ginnala	8.0	Good	Remove
72	Norway maple	Acer platanoides	8.0	Good	Remove
73	Swamp white oak	Quercus bicolor	8.5	Good	Remove
74	Tree of heaven	Ailanthus altissima	11.0	Good	Remove
75	Tree of heaven	Ailanthus altissima	8.0	Poor	Remove
76	Tree of heaven	Ailanthus altissima	8.0	Poor	Remove
77	Tree of heaven	Ailanthus altissima	9.0	Poor	Remove
78	Tree of heaven	Ailanthus altissima	12.0	Poor	Remove
79	Red oak	Quercus rubra	6.0	Good	Off property
80	Honey locust	Gleditsia triacanthos	9.0	Fair	Remove
81	Honey locust	Gleditsia triacanthos	8.0	Good	Remove
82	Siberian elm	Ulmus pumila	14.5	Good	Remove
83	Siberian elm	Ulmus pumila	19.5	Good	Remove
84	Plains cottonwood	Populus deltoides ssp. monilifera	24.0	Good	Remove
85	Plains cottonwood	Populus deltoides ssp. monilifera	15.0	Poor	Remove
86	Plains cottonwood	Populus deltoides ssp. monilifera	19.0	Fair	Remove
87	Plains cottonwood	Populus deltoides ssp. monilifera	20.0	Fair	Remove

PRICING NOTE:
CITY FORESTOR WILL ASSESS MITIGATION FEE FOR ALL HEALTHY PUBLIC TREES TO BE REMOVED. NEW TREES PLANTED CAN OFFSET THIS FEE.



CITY OF BOULDER, COLORADO
PROTECTED ROOT ZONE AND DRIP LINE
 DRAWN BY: JSH
 CHECKED BY: RJM
 APPROVED BY: DIRECTOR OF PUBLIC WORKS
 REVISION: JULY 2, 2008
 REVISION: OCT. 17, 2000
 DRAWING NO. 3.12

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Full Design Team Roster on Sheet A0.02



COB West Campus
Parking Garage
2655 BROADWAY
Boulder, CO 80302

Original Issue

Key Plan and Orientation
SALAS O'BRIEN

Revisions

Sheet Status **NOT FOR CONSTRUCTION**

Sheet Title
TREE REMOVAL PLAN

Sheet Number

2-L4.00

Current Issue
SITE REVIEW

Current Issue Date
03/01/2023



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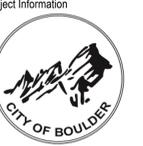
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Full Design Team Roster on Sheet A0.02

Client and Project Information



**COB West Campus
 Parking Garage**
 2655 BROADWAY
 Boulder, CO 80302

Original Issue

Key Plan and Orientation

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**PLANT
 SCHEDULE**

Sheet Number

2-L4.01

Current Issue

SITE REVIEW

Current Issue Date

03/01/2023

PLANT SCHEDULE

PERENNIALS										
KEY	SIZE	QUANTITY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	WATER USE	EXPOSURE	FLOWER COLOR	SEASON
AMTC	1 GAL	TBD	ACHILLEA MILLEFOLIUM 'TERRA COTTA'	TERRA COTTA YARROW	18-24"	18-24"	LOW	SUN	PEACH	SUMMER
ARU	1 GAL	TBD	AGASTACHE RUPESTRIS	SUNSET HYSOP	2-3'	2-3'	LOW	SUN	ORANGE PINK	SUMMER TO FALL
AMMG	1 GAL	TBD	ALYSSUM MONTANUM 'MOUNTAIN GOLD'	MOUNTAIN BASKET OF GOLD	6-12"	12-18"	LOW	SUN	MUSTARD YELLOW	MID-SPRING
ACOE	1 GAL	TBD	AQUILEGIA COERULEA	ROCKY MOUNTAIN COLUMBINE	18-24"	12-18"	MEDIUM	FILTERED SHADE TO SHADE	BLUE WITH WHITE CENTER	LATE SPRING TO EARLY SUMMER
AXCC	1 GAL	TBD	ARCTOSTAPHYLOS X COLORADOENSIS CHIEFTAN	CHIEFTAN MANZANITA	3-4'	5-6'	LOW	SUN TO FILTERED SHADE	SOFT PINK	LATE WINTER TO EARLY SPRING
OP1	1 GAL	TBD	CERATOSTIGMA PLUMBAGINOIDES	PLUMBAGO	8-12"	18-24"	LOW	ADAPTABLE	BLUE	MID TO LATE SUMMER
QVZ	1 GAL	TBD	COREOPSIS VERTICILLATA 'ZAGREB'	ZAGREB COREOPSIS	12-18"	12-18"	LOW	SUN	GOLD	MID-SUMMER TO FALL
EFC	1 GAL	TBD	EUONUMUS FORTUNEI 'COLORATUS'	PURPLELEAF WINTERCREEPER	12-18"	3-6'	LOW	ADAPTABLE	INSIGNIFICANT	EARLY SUMMER
GVI	1 GAL	TBD	GERANIUM VISCOSSISSIMUM	STICKY GERANIUM	1-3'	18-24"	LOW	ADAPTABLE	ROSE-PURPLE	LATE SPRING TO SUMMER
MMF	1 GAL	TBD	MONARDA FISTULOSA MENTHIFOLIA	NATIVE LAVENDER BEE-BALM	2-3'	18-24"	LOW	SUN	LAVENDER	MID-SUMMER
PMC	1 GAL	TBD	PENSTEMON X MEXICALI 'CAROLYN'S HOPE'	CAROLYN'S HOPE PINK PENSTEMON	12-15"	8-12"	LOW	SUN	PINK	SPRING TO SUMMER
PATR	1 GAL	TBD	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	3-4'	3-4'	VERY LOW	SUN	BLUE	MID TO LATE SUMMER
ZGG	1 GAL	TBD	ZINNIA GRANDIFLORA 'GOLD ON BLUE'	GOLD ON BLUE ROCKY MOUNTAIN ZINNIA	6-8"	8-12"	VERY LOW	SUN	GOLDEN YELLOW	MID TO LATE SUMMER

ORNAMENTAL GRASSES										
KEY	SIZE	QUANTITY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	WATER USE	EXPOSURE	FLOWER COLOR	SEASON
AC	1 GAL	TBD	ACHNATHERUM CALAMAGROSTIS	UNDAUNTED APLINE PLUME GRASS	2-3'	2-3'	LOW	SUN	TAN	MID-SUMMER
AGW	1 GAL	TBD	ANDROPOGON GERARDII WINDWALKER	WINDWALKER BIG BLUESTEM GRASS	4-6'	2-3'	LOW	SUN	PURPLE	SUMMER
CB	1 GAL	TBD	CALAMAGROSTIS BRACHYTRICHA	KOREAN FEATHER REED GRASS	3-4'	2-3'	LOW	SUN TO FILTERED SHADE	PINKISH-TAN	LATE SUMMER
MR	1 GAL	TBD	MUEHLENBERGIA REVERCHONII UNDAUNTED	UNDAUNTED RUBY MUIRLY GRASS	15-30"	18-24"	LOW	SUN	RUBY-PINK	FALL
SSS	1 GAL	TBD	SCHIZACHYRIUM SCOPARIUM 'STANDING OVATION	STANDING OVATION LITTLE BLUESTEM GRAS	3-4'	12-18"	LOW	SUN	SILVER	LATE SUMMER
SNT	1 GAL	TBD	SORGHASTRUM NUTANS 'THIN MAN'	THIN MAN INDIAN GRASS	5-7'	2-3'	LOW	SUN	YELLOW	SUMMER

DECIDUOUS SHRUBS										
KEY	SIZE	QUANTITY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	WATER USE	EXPOSURE	COLOR	SEASON
AN	5 GAL	TBD	AMORPHIA NANA	DWARF FALSE INDIGO	1-2'	1-2'	VERY LOW	SUN	PURPLE	SUMMER
AML	5 GAL	TBD	ARONIA MELANOCARPA LOW SCAPE MOUND	LOW SCAPE MOUND BLACK CHOKEBERRY	1-2'	18-24"	LOW	ADAPTABLE	WHITE	LATE SPRING
BBC	5 GAL	TBD	BUDDELEIA 'BLUE CHIP'	DWARF PURPLE-BLUE BUTTERFLY BUSH	24-30"	2-4'	MEDIUM	SUN	PURPLE-BLUE	SUMMER TO FALL
OHM	5 GAL	TBD	CHAMAEBATIARIA MILLEFOLIUM	FERNBUSH	3-5'	3-6'	VERY LOW	SUN	WHITE	MID TO LATE SPRING
DBC	5 GAL	TBD	DAPHNE X BURKWOODII 'CAROL MACKIE'	CAROL MACKIE DAPHNE	3-5'	3-5'	MEDIUM	FILTERED SHADE TO SHADE	WHITE	SPRING
EFE	5 GAL	TBD	EUONYMUS FORTUNEI 'EMERALD GAIETY'	EMERALD GAIETY EUONYMUS	18-24"	3-4'	MEDIUM	FILTERED SHADE TO SHADE	N/A	EARLY SUMMER
FP	5 GAL	TBD	FALLUGIA PARADOXA	APACHE PLUME	3-6'	3-6'	VERY LOW	SUN	WHITE	SUMMER
HP	5 GAL	TBD	HESPERALOE PARVIFLORA	RED FALSE YUCCA	3-4'	3-4'	VERY LOW	SUN	RED TO ORANGE-RED	SUMMER
HPY	5 GAL	TBD	HESPERALOE PARVIFLORA 'YELLOW'	YELLOW FALSE YUCCA	3-4'	3-4'	VERY LOW	SUN	YELLOW	SUMMER
LVL	5 GAL	TBD	LIGULSTRUM VULGARE 'LODENSE'	LODENSE PRIVET	2-3'	3-4'	LOW	SUN TO FILTERED SHADE	WHITE	EARLY SUMMER
PS	5 GAL	TBD	PHILADELPHUS X 'SNOWBELLE'	SNOWBELLE MOCKORANGE	3-4'	3-4'	LOW	SUN	WHITE	LATE SPRING TO EARLY SUMMER
PON	5 GAL	TBD	PHYSOCARPUS OPULIFOLIUS 'NANUS'	DWARF NINEBARK	4-5'	4-5'	LOW	SUN TO FILTERED SHADE	WHITE	LATE SPRING
PBBP	5 GAL	TBD	PRUNUS BESSEYI PAWNEE BUTTES	CREeping WESTER SAND CHEERY	15-30"	4-6'	LOW	SUN	WHITE	SPRING
RAG	5 GAL	TBD	RHUS AROMATICA 'GRO-LOW'	DWARF FRAGRANT SUMAC	2-3'	6-8"	LOW	SUN	YELLOW	EARLY SPRING
RA	5 GAL	TBD	RIBES ALPINUM	ALPINE CURRANT	3-6'	3-6'	LOW	SUN TO FILTERED SHADE	YELLOWISH-GREEN	MID-SPRING
RW	5 GAL	TBD	ROSA WOODSII	WOODS' ROSE	3-6'	3-6'	LOW	SUN	PINK	EARLY SUMMER

EVERGREEN SHRUBS										
KEY	SIZE	QUANTITY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	WATER USE	EXPOSURE	COLOR	SEASON
JCG	5 GAL	TBD	JUNIPERUS COMMUNIS 'GREEN CARPET'	GREEN CARPET JUNIPER	8-10"	2-3'	LOW	SUN	N/A	N/A
JHI	5 GAL	TBD	JUNIPERUS HORIZONTALIS ICEE BLUE	ICEE BLUE JUNIPER	2-4"	6-8"	LOW	SUN	N/A	N/A
JSC	5 GAL	TBD	JUNIPERUS SABINA CALGARY CARPET	CALGARY CARPET JUNIPER	12-18"	6-8"	LOW	SUN TO FILTERED SHADE	N/A	N/A
MAC	5 GAL	TBD	MAHONIA AQUIFOLIUM 'COMPACTA'	COMPACT OREGON GRAPE HOLLY	2-3'	2-3'	LOW	SHADE	YELLOW	MID-SPRING
PMW	5 GAL	TBD	PINUS MUGO 'WHITE BUD'	WHITE BUD MUGO PINE	2-3'	3-4'	LOW	SUN TO FILTERED SHADE	N/A	N/A
PSA	5 GAL	TBD	PINUS SYLVESTRIS 'ALBYN PROSTRATA'	SPREADING SCOTS PINE	2'	8'	VERY LOW	SUN	N/A	N/A

ORNAMENTAL TREES										
KEY	SIZE	QUANTITY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	WATER USE	EXPOSURE	COLOR	SEASON
GTS	2.0' CAL	4	GLEDITSIA TRIACANTHOS STREET KEEPER	STREET KEEPER HONEYLOCUST	30-45'	15-20'	LOW	SUN	N/A	N/A
PVS	2.0' CAL	3	PRUNUS VIRGINIANA 'SHUBERT'	SHUBERT OR CANADA RED CHOKEBERRY	20-30'	15-25'	LOW	SUN	WHITE	SPRING
PCR	2.0' CAL	1	PRUNUS CALLERYANA 'REDSPIRE'	REDSPIRE PEAR	30-35'	20-25'	MEDIUM	SUN	WHITE	SPRING
XS	2.0' CAL	1	XANTHOCERAS SORBIFOLIA	YELLOWHORN	8-25'	10-25'	MEDIUM	SUN	WHITE W/ RED OR YELLOW	SPRING

SHADE TREES										
KEY	SIZE	QUANTITY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	WATER USE	EXPOSURE	COLOR	SEASON
CC	2.5' CAL	6	CORYLUS COLURNA	TURKISH FILBERT	30-45'	25-30'	LOW	SUN	N/A	N/A
GDE	2.5' CAL	1	GYMNOCALOUS DIOICUS 'ESPRESSO'	SEEDLESS KENTUCKY COFFEETREE	50-60'	40-50'	LOW	SUN	YELLOW-GREEN	SPRING
QB	2.5' CAL	2	QUERCUS BICOLOR	SWAMP WHITE OAK	40-60'	40-60'	LOW	SUN TO FILTERED SHADE	N/A	N/A
QM	2.5' CAL	2	QUERCUS MACROCARPA	BUR OAK	50-80'	50-80'	LOW	SUN	N/A	N/A
QMU	2.5' CAL	6	QUERCUS MUEHLENBERGII	CHINKAPIN OAK	35-50'	35-50'	LOW	SUN	N/A	N/A
UA	2.5' CAL	2	ULMUS ACCOLADE	ACCOLADE ELM	50-70'	30-40'	MEDIUM	SUN	N/A	N/A

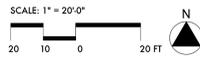
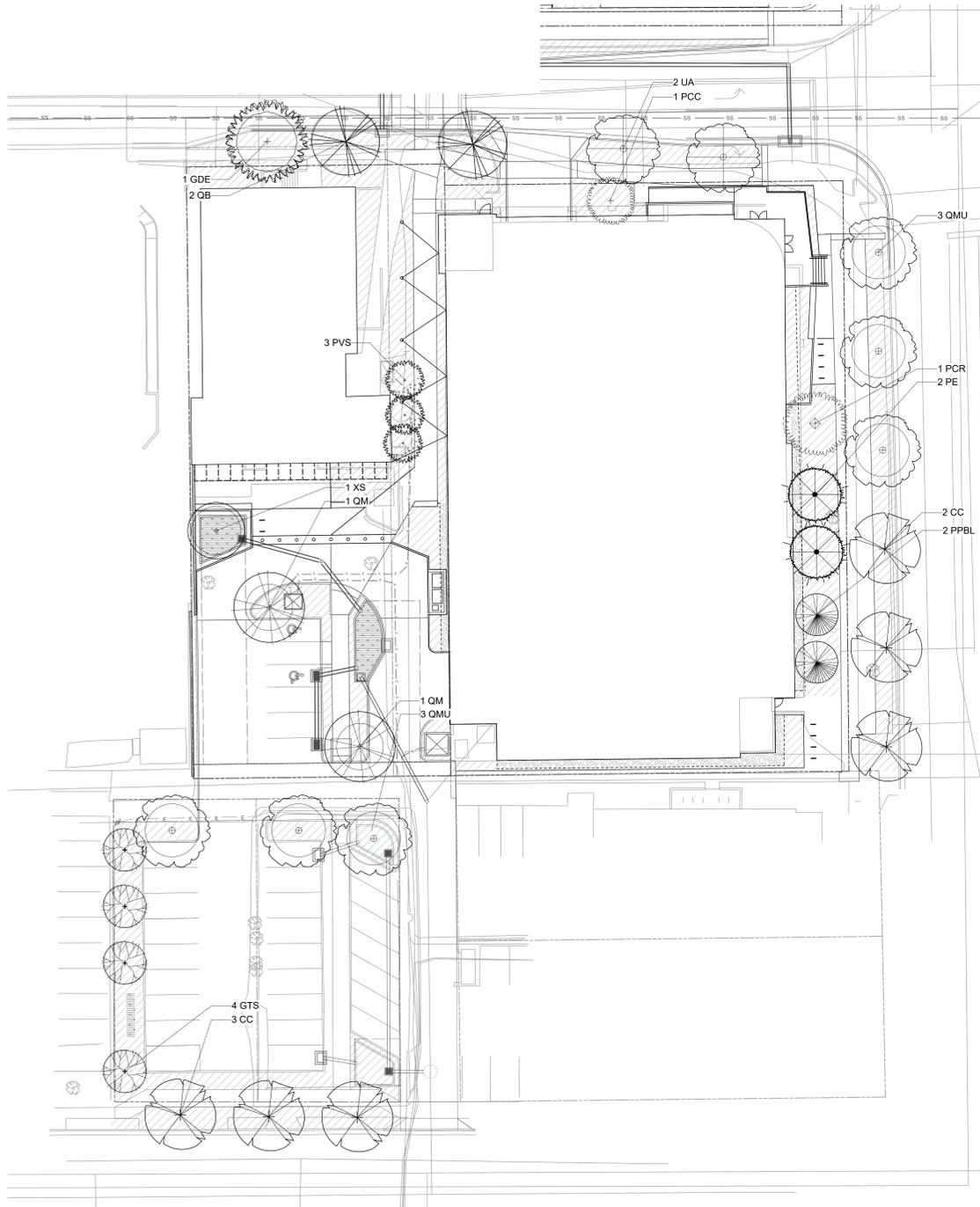
EVERGREEN TREES										
KEY	SIZE	QUANTITY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	WATER USE	EXPOSURE	COLOR	SEASON
PPBL	6 FT.	2	PICEA PLUNGENS 'BLUE TOTEM'	FASTIGIATE SPRUCE	25-40'	10-15'	MEDIUM	SUN	N/A	N/A
PE	6 FT.	2	PINUS EDULIS	PINON PINE	20-30'	10-20'	VERY LOW	SUN TO FILTERED SHADE	N/A	N/A

CITY OF BOULDER LANDSCAPE NOTES:

- LANDSCAPING SCHEDULE: (A) NOTHING SHALL BE PLANTED BETWEEN OCTOBER 15 AND MARCH 1 WITHOUT PRIOR WRITTEN APPROVAL OF THE CITY. STOCK, OTHER THAN CONTAINER-GROWN STOCK, SHALL NOT BE PLANTED BETWEEN JUNE 1 AND SEPTEMBER 1 WITHOUT PRIOR WRITTEN APPROVAL OF THE CITY. BARE ROOT STOCK SHALL NOT BE PLANTED AFTER APRIL 30 OR IF PLANTS HAVE BEGUN TO LEAF OUT. (B) NOTHING SHALL BE PLANTED DURING FREEZING OR EXCESSIVELY WINDY, HOT, OR WET WEATHER OR WHEN THE GROUND CONDITIONS CANNOT BE PROPERLY WORKED FOR DIGGING, MIXING, RAKING, OR GRADING. (C) NOTHING SHALL BE PLANTED UNTIL THE ADJACENT SITE IMPROVEMENTS, PAVEMENTS, IRRIGATION INSTALLATION AND FINISH GRADING IS COMPLETED. THE CONTRACTOR SHALL TEST THE IRRIGATION SYSTEM IN THE PRESENCE OF THE DIRECTOR. THE IRRIGATION SYSTEM SHALL BE IN APPROVED, OPERATING CONDITION PRIOR TO ANY PLANTING.
- SITE PREPARATION AND ALL PLANTING SHALL BE COMPLETED, AT A MINIMUM, IN ACCORDANCE WITH THE CITY OF BOULDER DESIGN AND CONSTRUCTION STANDARDS. SITE PREPARATION SHALL INCLUDE TILLING THE SOIL TO A MINIMUM DEPTH OF SIX INCHES BELOW THE FINISHED GRADE, TOGETHER WITH SOIL AMENDMENTS THAT ARE APPROPRIATE TO ENSURE THE HEALTH AND SUSTAINABILITY OF THE LANDSCAPING TO BE PLANTED.
- TURF GRASS SHALL BE LIMITED TO A MAXIMUM OF 25 PERCENT OF ALL LANDSCAPE AREAS ON THE SITE.
- ALL PLANTING BEDS AND A 3-FOOT DIAMETER RING AT THE BASE OF EACH TREE WITHIN SOD OR SEEDED AREAS SHALL BE MULCHED WITH ORGANIC MULCH AT LEAST 4" DEEP.
- GRAVEL, ROCK MULCH, OR CRUSHER FINES SHALL NOT BE USED UNDER TREES OR ANY PLANTING AREAS. ROCK OR GRAVEL MAY ONLY BE USED AS A SPECIFIC ORNAMENTAL FEATURE IN LIMITED AREAS (SUCH AS AT THE BOTTOM OF A DRAINAGE SWALE OR DRY RIVER BED) OR AS A PEDESTRIAN PATH OR PATIO.
- WEED BARRIER FABRIC SHALL NOT TO BE USED IN ANY PLANTING AREAS.
- ALL PLANTS SHALL BE GROUPED BY WATER NEEDS. A MINIMUM OF 75 PERCENT OF ALL LANDSCAPED AREAS (INCLUDING ANY TURF GRASS) MUST USE LOW TO MODERATE WATER DEMAND PLANTS. THE LANDSCAPE SHALL BE DESIGNED SO THAT, AT MATURITY, NOT MORE THAN 10 PERCENT OF THE LANDSCAPED AREA IS EXPOSED MULCH.
- ALL LANDSCAPE AREAS SHALL BE WATERED BY AN AUTOMATIC IRRIGATION SYSTEM. THE IRRIGATION SYSTEM MUST BE ZONED TO DELIVER DIFFERENT APPROPRIATE AMOUNTS OF WATER TO DIFFERENT PLANT ZONES. THE SITE SHOULD BE IRRIGATED WITH DRIP IRRIGATION, BUBBLER, OR MICRO-SPRAY SYSTEMS. ALL TREES WILL BE ZONED SEPARATELY FROM TURF GRASS. ALL IRRIGATION ZONES SHALL USE A SMART SYSTEM THAT ADJUSTS FOR RAINFALL, SOIL MOISTURE, AND OTHER WEATHER FACTORS.
- PROTECTIVE MAINTENANCE: AN APPLICANT FOR CONSTRUCTION APPROVAL SHALL PROVIDE MAINTENANCE AND CARE FOR ALL EXISTING TREES REQUIRED TO BE PROTECTED IN THE PUBLIC RIGHT-OF-WAY ADJACENT TO ANY PROJECT OR CONSTRUCTION SITE DURING CONSTRUCTION ACTIVITIES AND THE PUBLIC IMPROVEMENT WARRANTY PERIOD TO ENSURE THAT EXISTING TREES SURVIVE AND ARE NOT DAMAGED. REFER TO CHAPTER 3 OF THE DESIGN AND CONSTRUCTION STANDARDS FOR ALL TREE PROTECTION REQUIREMENTS. (ONLY APPLICABLE TO EXISTING PUBLIC STREET TREES OR EXISTING PRIVATE TREES THAT WILL MEET THE STREET TREE REQUIREMENTS OF SECTION 9-9-13 BRC 1981)
- ALL NEW TREES SHALL BE LOCATED A MINIMUM OF 10' FROM ANY EXISTING WATER OR SEWER UTILITY LINES OR FROM LIGHT POLES OR OVERHEAD UTILITY POLES. ALL NEW UTILITY LINES SHALL BE LOCATED A MINIMUM OF 10' FROM ANY EXISTING PUBLIC STREET TREE.

OTHER LANDSCAPE NOTES:

- ALL PLANT MATERIAL SHALL MEET SPECIFICATIONS OF THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) FOR NUMBER ONE GRADE. ALL TREES SHALL BE BALLED AND BURLAPPED OR EQUIVALENT. ALL PLANT MATERIALS SHALL HAVE ALL WIRE, TWINE OR OTHER CONTAINMENT MATERIALS, EXCEPT FOR BURLAP, REMOVED FROM TRUNK AND ROOT BALL OF THE PLANT PRIOR TO PLANTING.
- GRADES SHALL BE SET TO ALLOW FOR PROPER DRAINAGE AWAY FROM STRUCTURES. GRADES SHALL MAINTAIN SMOOTH PROFILES AND BE FREE OF SURFACE DEBRIS, BUMPS, AND DEPRESSIONS.
- OWNERS SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS DONE BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTIONS DOES NOT CONFLICT NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.
- ALL SHRUB BEDS ADJACENT TO TURF AREAS SHALL BE EDGED WITH ROLLED TOP STEEL EDGER.
- ALL SHRUB BED AREAS, PERENNIALS AND GROUND COVER SHALL BE MULCHED WITH A 4" LAYER OF GORILLA HAIR MULCH. DO NOT USE WEED BARRIER FABRIC IN ANY OF THE LANDSCAPE BEDS.
- PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEED. ORGANIC SOIL AMENDMENTS SHALL BE INCORPORATED AT THE RATE OF AT LEAST FOUR (4) CUBIC YARDS PER 1000 SQUARE FEET OF LANDSCAPE AREA.
- PROVIDE 12" OF TOPSOIL IN ALL PLANTING AREAS THAT WERE PREVIOUSLY HARDSCAPE.
- PLANTS ARE GROUPED BY WATER USE ZONE TO CONSERVE WATER.
- CONTRACTOR SHALL VERIFY ALL MATERIAL QUANTITIES PRIOR TO INSTALLATION. ACTUAL NUMBER OF PLANT SYMBOLS SHALL HAVE PRIORITY OVER THE QUANTITY DESIGNATED.
- REFER TO THE CITY OF BOULDER DESIGN AND CONSTRUCTION STREETSCAPING STANDARDS FOR ALL WORK WITHIN PUBLIC AREAS.
- REFER TO THE CIVIL ENGINEER DRAWINGS FOR GRADING AND UTILITY INFORMATION.
- REFER TO THE CITY OF BOULDER DESIGN AND CONSTRUCTION STANDARDS FOR TREE PROTECTION REQUIREMENTS.



LEGEND

-  EXISTING TREE TO REMAIN
-  PLANTING BED - SHRUBS, ORN GRASSES, VINES, PERENNIALS - 5 GAL SHRUBS, 1 GAL GRASSES AND PERENNIALS
-  PLANTING BED - WATER QUALITY PLANTINGS
-  ROCK MULCH
-  LANDSCAPE EDGER

TREE KEY

ORNAMENTAL TREES			
KEY	SIZE	BOTANICAL NAME	COMMON NAME
GTS	2.0"	CAL GLEDITSIA TRIACANTHOS STREET KEEPER	STREET KEEPER HONEYLOCUST
PVS	2.0"	CAL PRUNUS VIRGINIANA 'SHUBERT'	SHUBERT OR CANADA RED CHOKEBERRY
PCR	2.0"	CAL PYRUS CALLERYANA 'REDSPIRE'	REDSPIRE PEAR
XS	2.0"	CAL XANTHOCERAS SORBIFOLIA	YELLOWHORN

SHADE TREES			
KEY	SIZE	BOTANICAL NAME	COMMON NAME
CC	2.5"	CAL CORYLUS COLURNA	TURKISH FILBERT
GDE	2.5"	CAL GYMNOCLADUS DIOICUS 'ESPRESSO'	SEEDLESS KENTUCKY COFFEETREE
QB	2.5"	CAL QUERCUS BICOLOR	SWAMP WHITE OAK
QM	2.5"	CAL QUERCUS MACROCARPA	BUR OAK
QMU	2.5"	CAL QUERCUS MUEHLENBERGII	CHINKAPIN OAK
UA	2.5"	CAL ULMUS ACCOLADE	ACCOLADE ELM

EVERGREEN TREES			
KEY	SIZE	BOTANICAL NAME	COMMON NAME
PPBL	6 FT.	PICEA PUNGENS 'BLUE TOTEM'	FASTIGIATE SPRUCE
PE	6 FT.	PINUS EDULIS	PINON PINE

SIGHT TRIANGLE NOTES:
 PER BOULDER REVISED CODE 9-9-7(B):
 OBSTRUCTION PROHIBITED: NO PERSON SHALL PLACE OR MAINTAIN ANY STRUCTURES, FENCES, LANDSCAPING, OR ANY OTHER OBJECTS WITHIN ANY SIGHT TRIANGLE AREA DESCRIBED IN SUBSECTION (C) OF THIS SECTION THAT OBSTRUCTS OR OBSCURES SIGHT DISTANCE VISIBILITY THROUGH SUCH STRUCTURES, FENCING, LANDSCAPING, OR OTHER OBJECTS BY MORE THAN TWENTY-FIVE PERCENT OF THE TOTAL VIEW IN THE VERTICAL PLANE ABOVE THE SIGHT TRIANGLE AREA BETWEEN A HEIGHT OF THIRTY INCHES AND NINETY-SIX INCHES ABOVE THE ROADWAY SURFACE, EXCEPT FOR THE FOLLOWING:
 (1) LANDSCAPING, STRUCTURES, OR FENCES THAT PROTRUDE NO MORE THAN THIRTY INCHES ABOVE THE ADJACENT ROADWAY SURFACE MAY BE PERMITTED WITHIN THE SIGHT TRIANGLE AREA.
 (2) TREES MAY BE PLANTED AND MAINTAINED WITHIN THE SIGHT TRIANGLE AREA IF ALL BRANCHES ARE TRIMMED TO MAINTAIN A CLEAR VISION FOR A VERTICAL HEIGHT OF NINETY-SIX INCHES ABOVE THE ROADWAY SURFACE AND THE LOCATION OF THE TREES PLANTED, BASED ON THE TREE SPECIES EXPECTED MATURE HEIGHT AND SIZE, DOES NOT OBSTRUCT SIGHT VISIBILITY BY MORE THAN TWENTY-FIVE PERCENT OF THE SIGHT TRIANGLE AREA.

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 3575 Ringsby Ct, Suite 300A
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 theSTUDIOarchitecture.com
 866.529.9130



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 T.303.481.2710

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 T.720.491.1167

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AE DESIGN
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Full Design Team Roster on Sheet A0.02
 Client and Project Information



COB West Campus
Parking Garage
 2655 BROADWAY
 Boulder, CO 80302

Original Issue

Key Plan and Orientation

Revisions

Sheet Status **NOT FOR CONSTRUCTION**

Sheet Title
LANDSCAPE PLAN

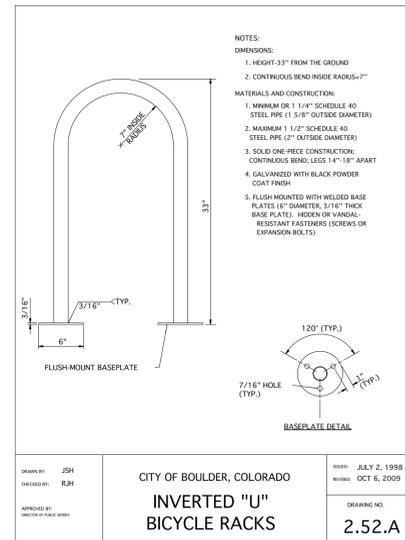
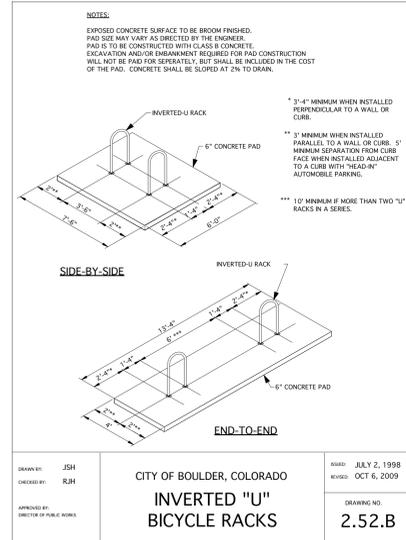
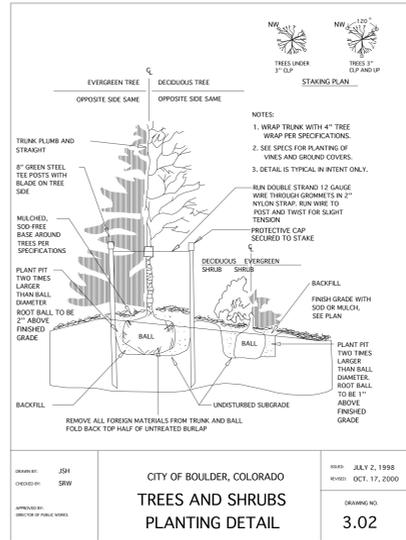
Sheet Number

2-L4.02

Current Issue
SITE REVIEW

Current Issue Date
03/01/2023

STUDIOTERRA
 LANDSCAPE ARCHITECTURE • LAND PLANNING • URBAN DESIGN
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 Louisville, Colorado 80027
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Consultant

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MEP
BRANCH PATTERN
3344 WALNUT STREET
DENVER, CO 80205
T 303 382 1920

LIGHTING
AE DESIGN
1900 WAILES STREET, #205
DENVER, CO 80202
T 303 296 3034

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Full Design Team Roster on Sheet A0.02

Client and Project Information



COB West Campus
Parking Garage
2655 BROADWAY
Boulder, CO 80302

Original Issue

Key Plan and Orientation

Revisions

Sheet Status **NOT FOR CONSTRUCTION**

Sheet Title

PLANTING
DETAILS

Sheet Number

2-L4.10

Current Issue **SITE REVIEW**

Current Issue Date **03/01/2023**



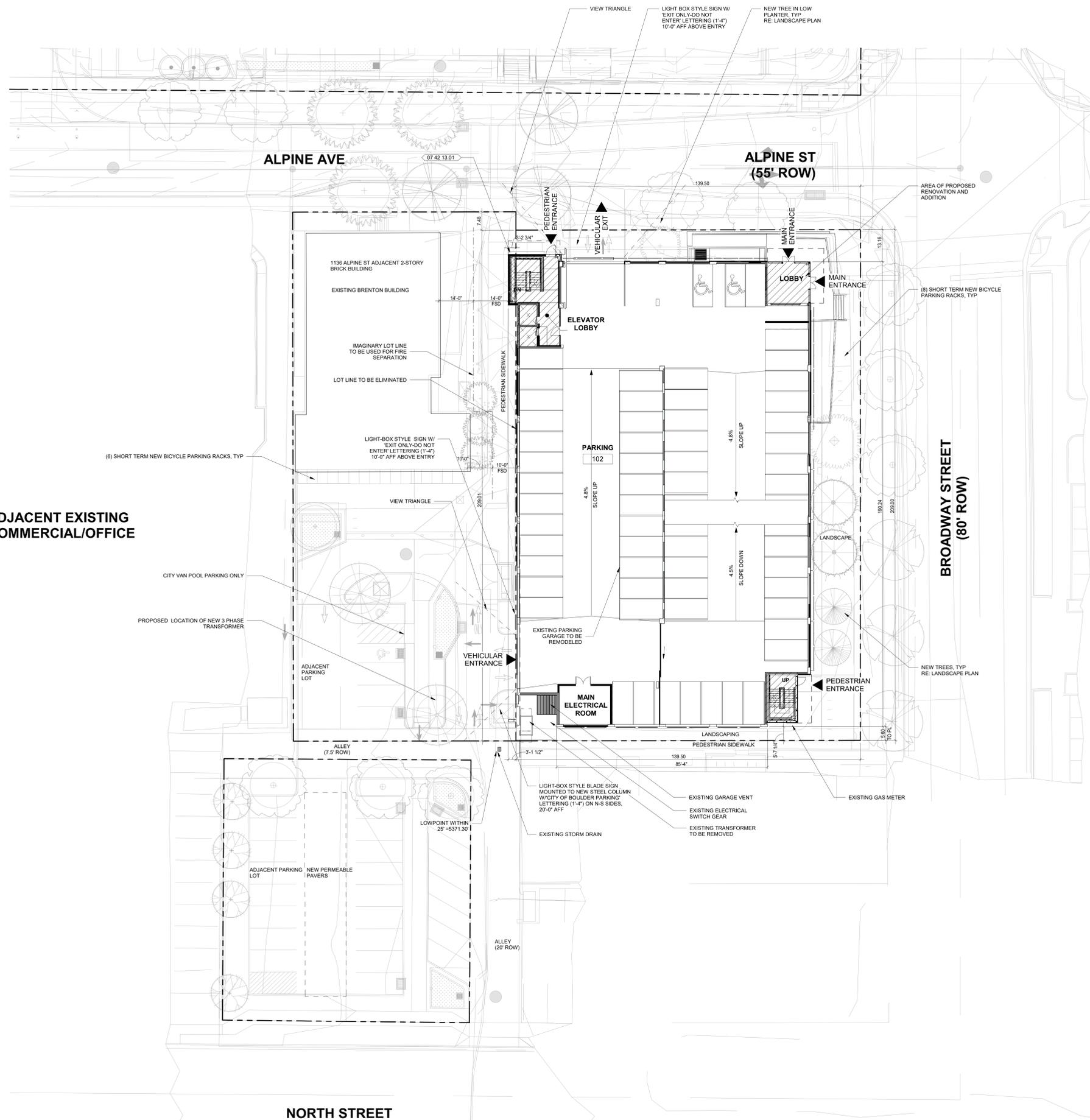
FBC - EXTERIOR MATERIALS BOARD

- PERFERATED METAL PANEL
(BRONZE VARIATION)
- METAL WALL PANEL
(BRONZE VARIATION)
- STONE TYPE C
(COTTONWOOD LIMESTONE)
VERTICAL ORIENTATION,
HONED FINISH
- WOOD SOFFIT AT SOUTH
ENTRANCE
- STONE TYPE B
(COLORADO BUFF SANDSTONE)
HORIZONTAL ORIENTATION,
ROUGH FINISH
- MORTAR GROUT FOR
STONE TYPE B



INSULATED GLASS UNIT, FRAME
 INSULATED GLASS UNIT, FINISH,
 303 ANTHRACITE

FROSTED OR FRITTED
 INSULATED GLASS AT LEVEL 1
 INSULATED GLASS UNIT



1 SITE PLAN
1/16" = 1'-0"



**COB West Campus
Parking Garage**
2655 Broadway Ave.
BOULDER, CO

Original Issue

Revisions	Date
DESIGN DEVELOPMENT ESTIMATE SET	10/13/23

Sheet Title

ARCHITECTURAL SITE PLAN

Sheet Number

2-A1.01

Current Issue
CONSTRUCTION DOCUMENTS

Current Issue Date
03/01/24



**COB West Campus
 Parking Garage**
 2655 Broadway Ave.
 BOULDER, CO

Original Issue

Revisions	Date
100% SD	09/11/23



Sheet Status

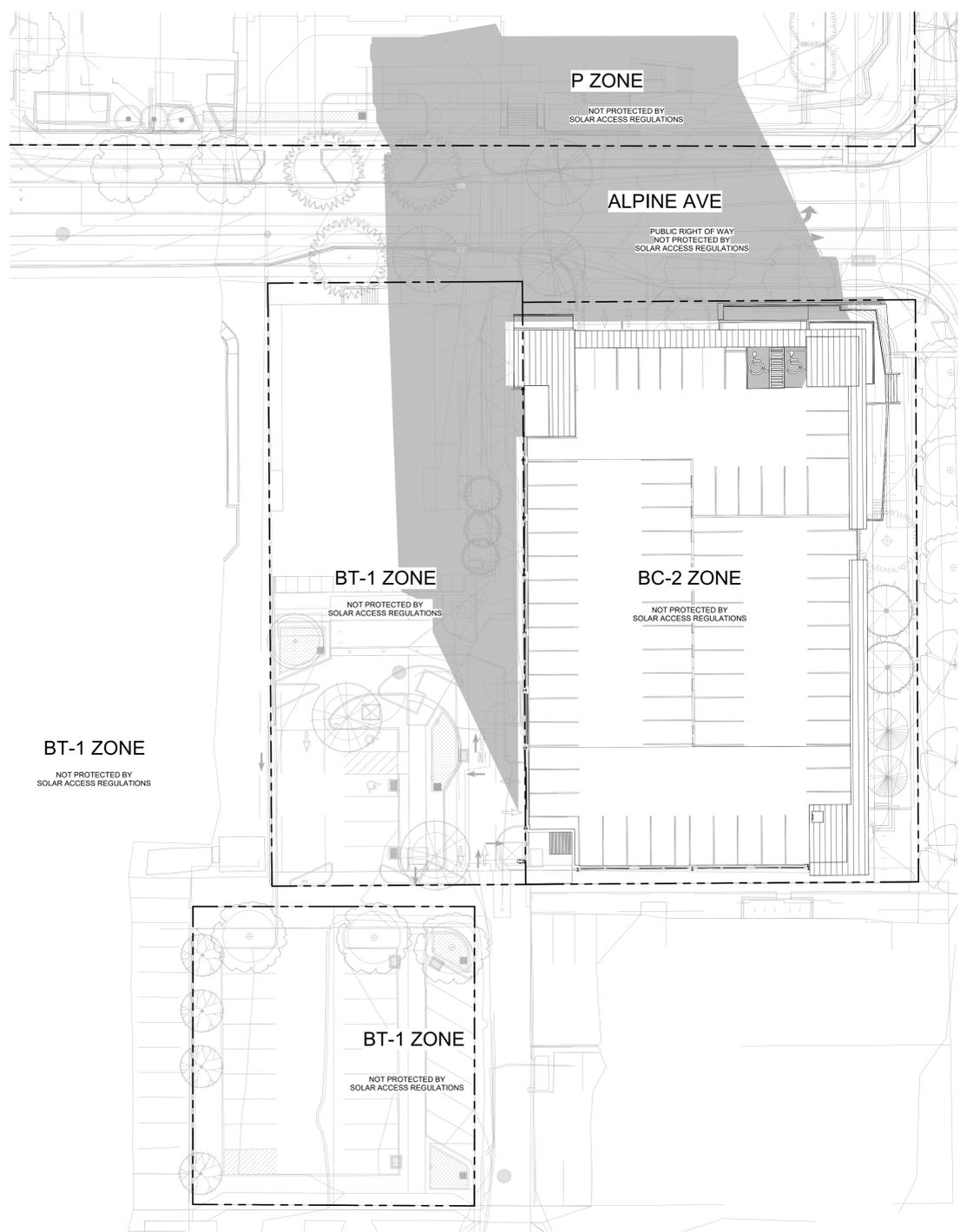
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**SOLAR ACCESS
 PLANS**

Sheet Number

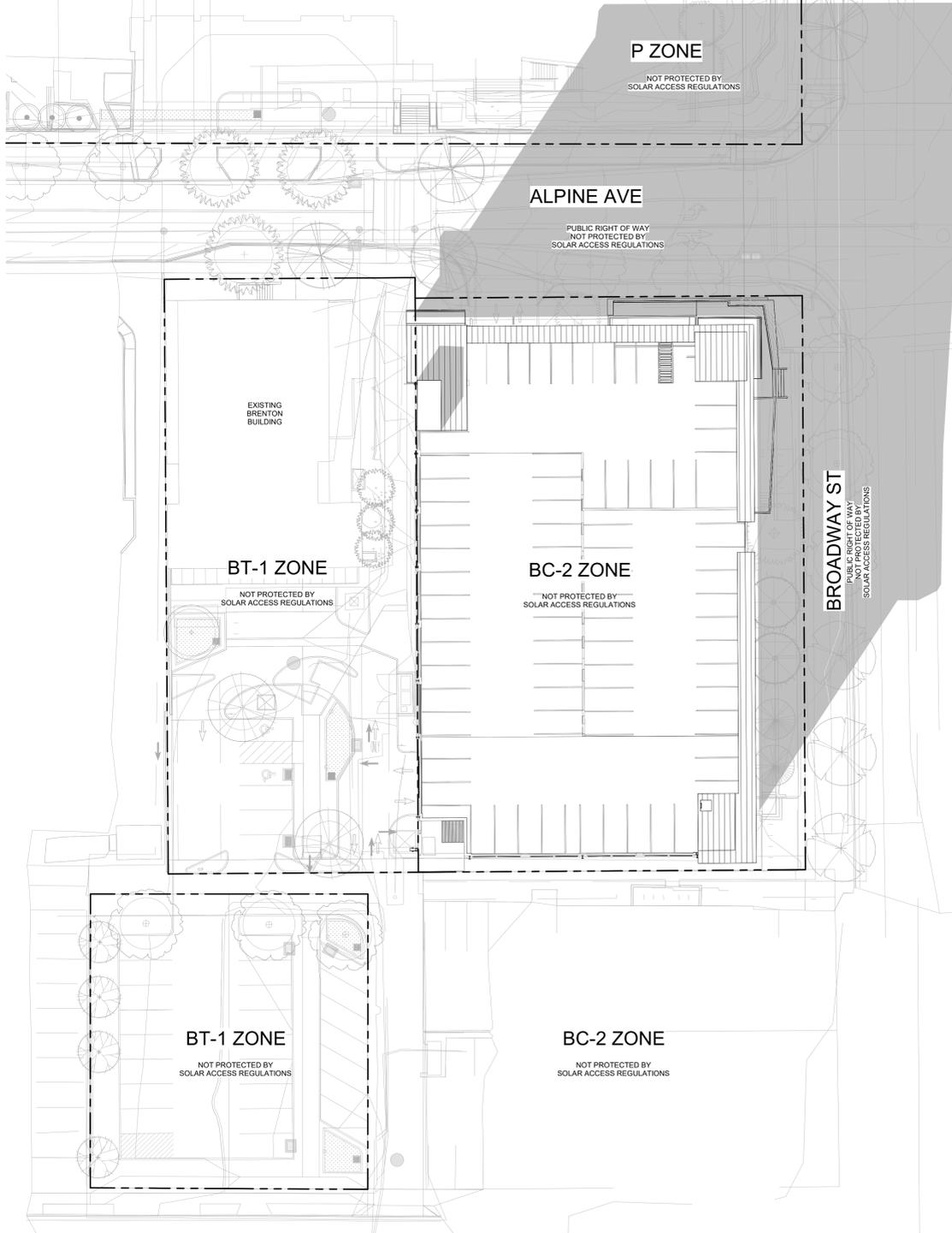
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Current Issue
**CONSTRUCTION
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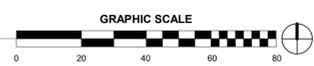
Current Issue Date
03/01/24



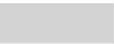
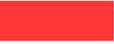
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 1" = 20'-0"



1 SHADOW ANALYSIS - 2PM - SR
 1" = 20'-0"

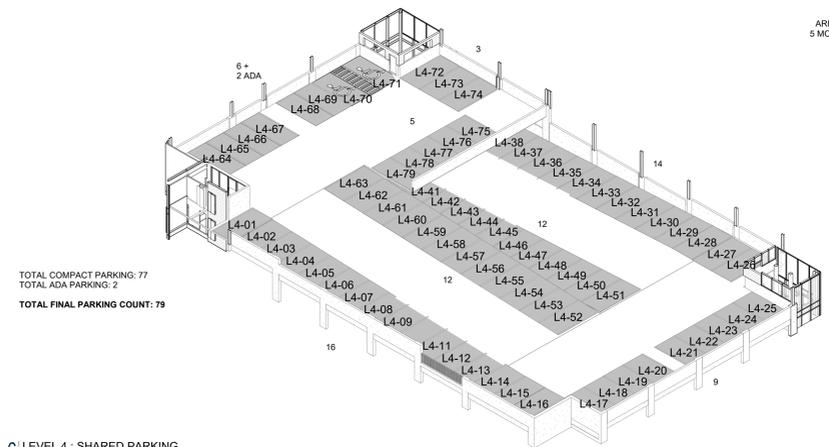


PARKING SPACE COLOR LEGEND

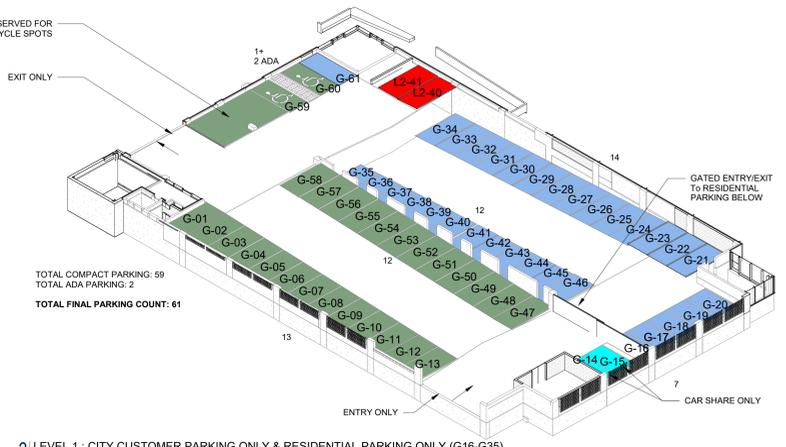
	RESIDENTIAL PARKING SPACE TOTAL PARKING SPACES: 141 REGULAR PARKING: 141 ADA PARKING: 0
	SHARED PARKING SPACE TOTAL PARKING SPACES: 195 REGULAR PARKING: 189 ADA PARKING: 6
	CITY CUSTOMER PARKING SPACE TOTAL PARKING SPACES: 51 REGULAR PARKING: 49 ADA PARKING: 2
	POLICE PARKING SPACE REGULAR PARKING: 3
	CITY FLEET VEHICLE PARKING SPACE REGULAR PARKING: 11
	MAINTENANCE PARKING SPACE REGULAR PARKING: 1
	CAR SHARE PARKING SPACE REGULAR PARKING: 2

TOTAL PARKING = 434 CARS

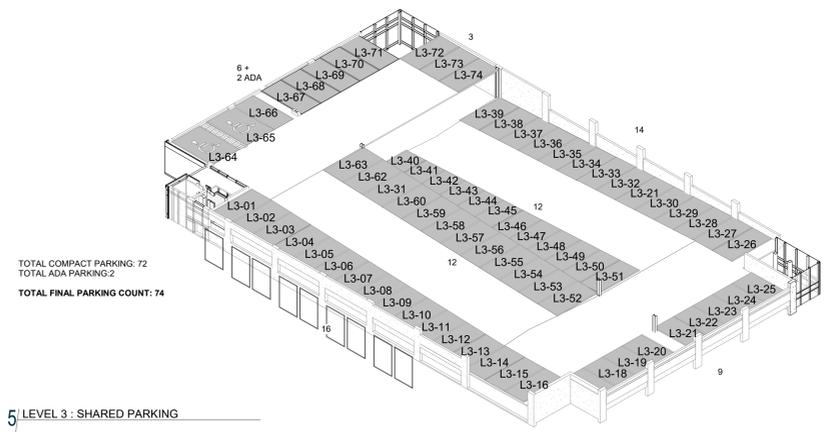
404 IN PARKING STRUCTURE
 396 COMPACT SPACES
 8 ADA
 30 SURFACE PARKING SPACES ON ADJACENT LOTS
 (NOT SHOWN REFER TO SITE PLAN)
 28 STANDARD SPACES
 2 ADA VAN



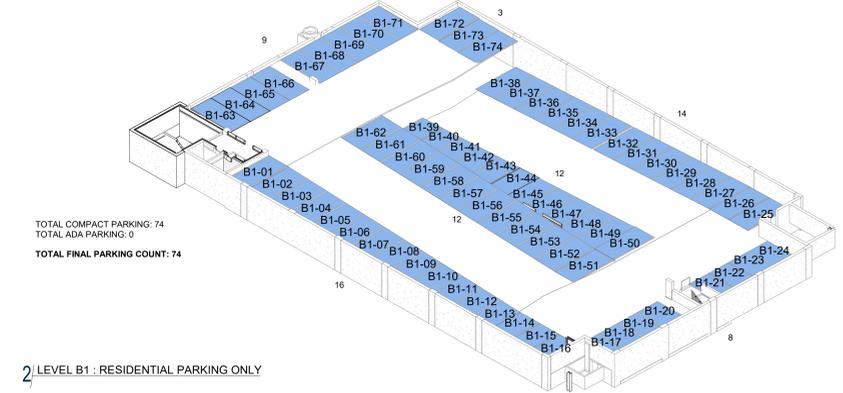
6 LEVEL 4 : SHARED PARKING



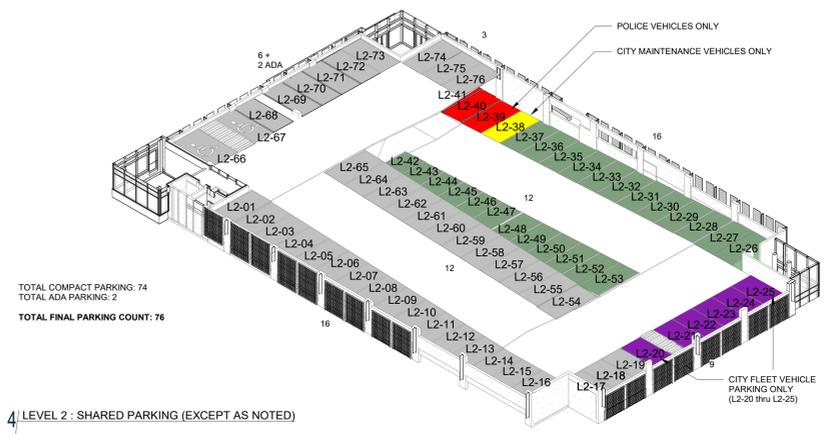
3 LEVEL 1 : CITY CUSTOMER PARKING ONLY & RESIDENTIAL PARKING ONLY (G16-G35)



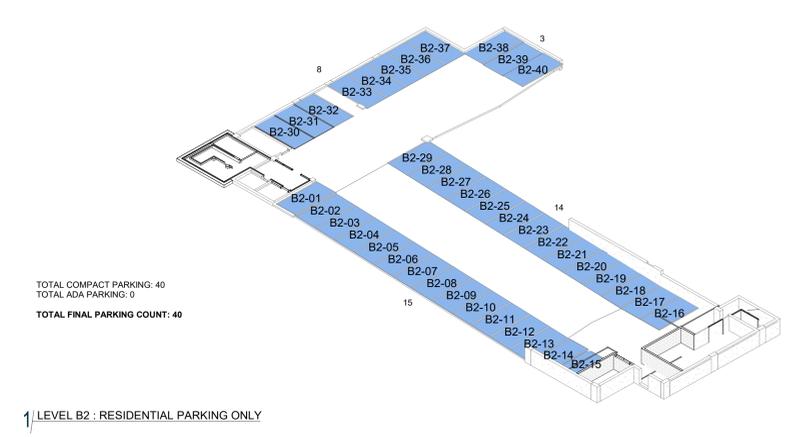
5 LEVEL 3 : SHARED PARKING



2 LEVEL B1 : RESIDENTIAL PARKING ONLY



4 LEVEL 2 : SHARED PARKING (EXCEPT AS NOTED)



1 LEVEL B2 : RESIDENTIAL PARKING ONLY



**COB West Campus
 Parking Garage**
 2655 Broadway Ave.
 BOULDER, CO

Original Issue

Revisions



Sheet Status

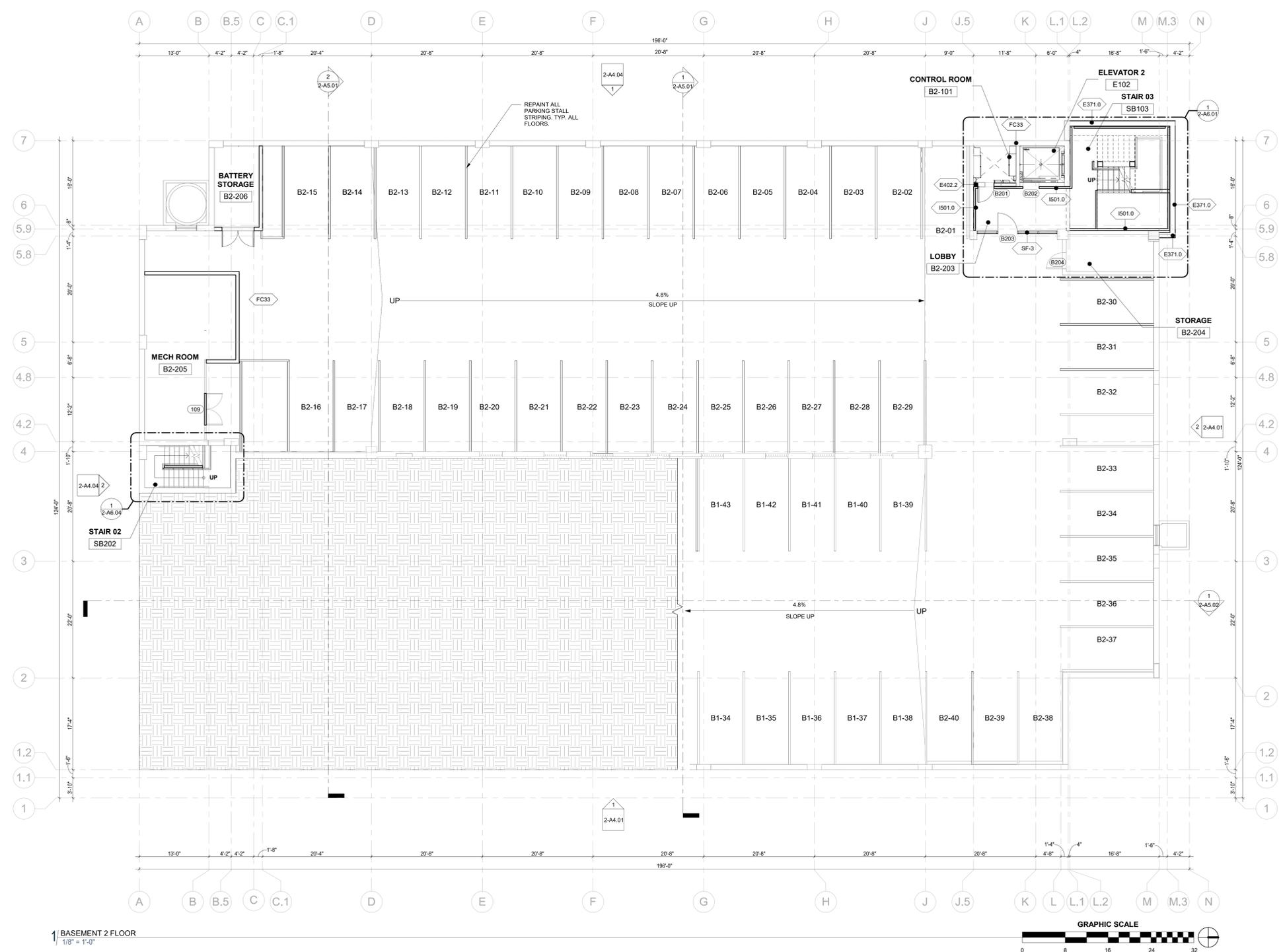
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Sheet Number

2-A1.22

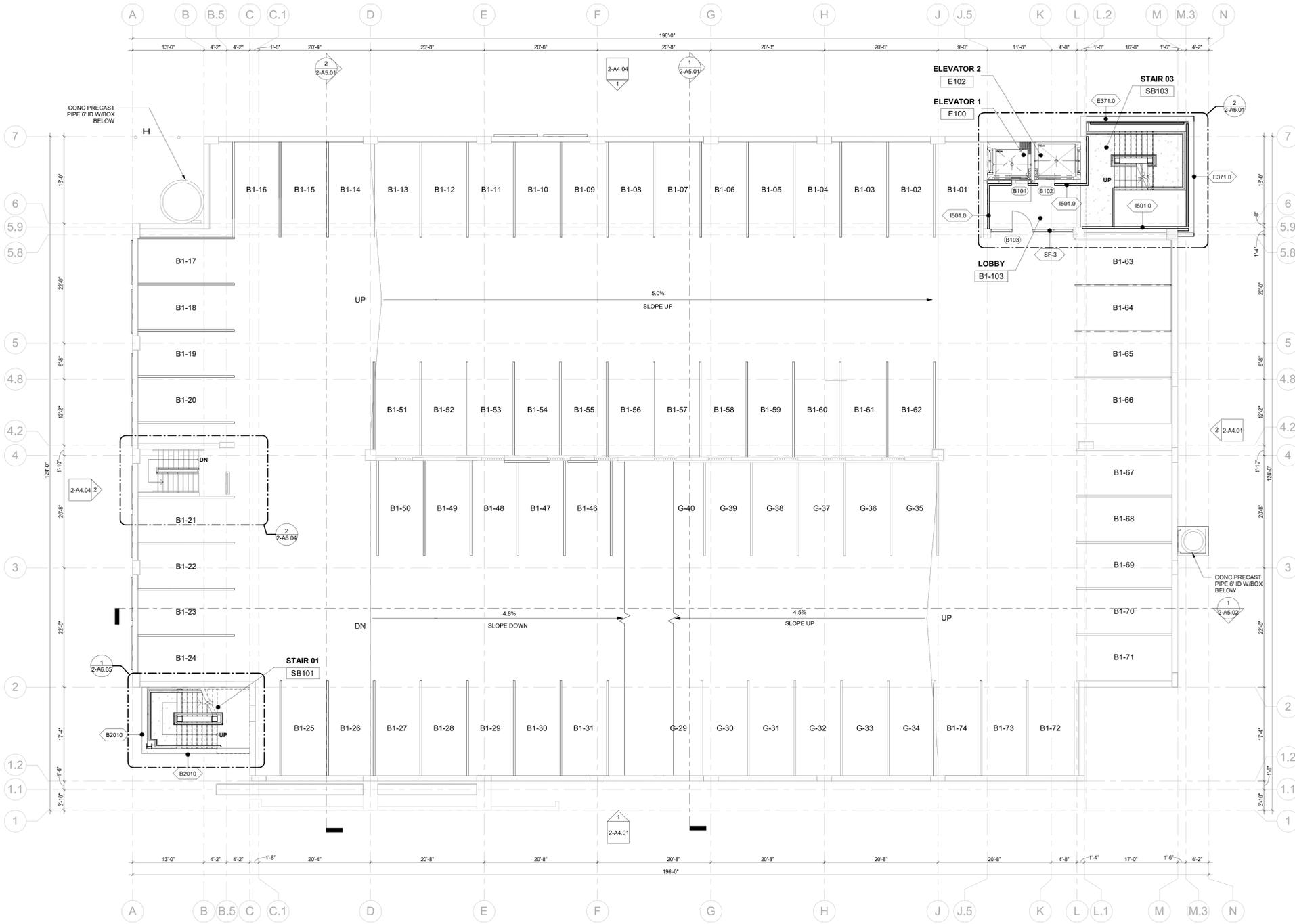
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CONSTRUCTION DOCUMENTS

Current Issue Date
03/01/24



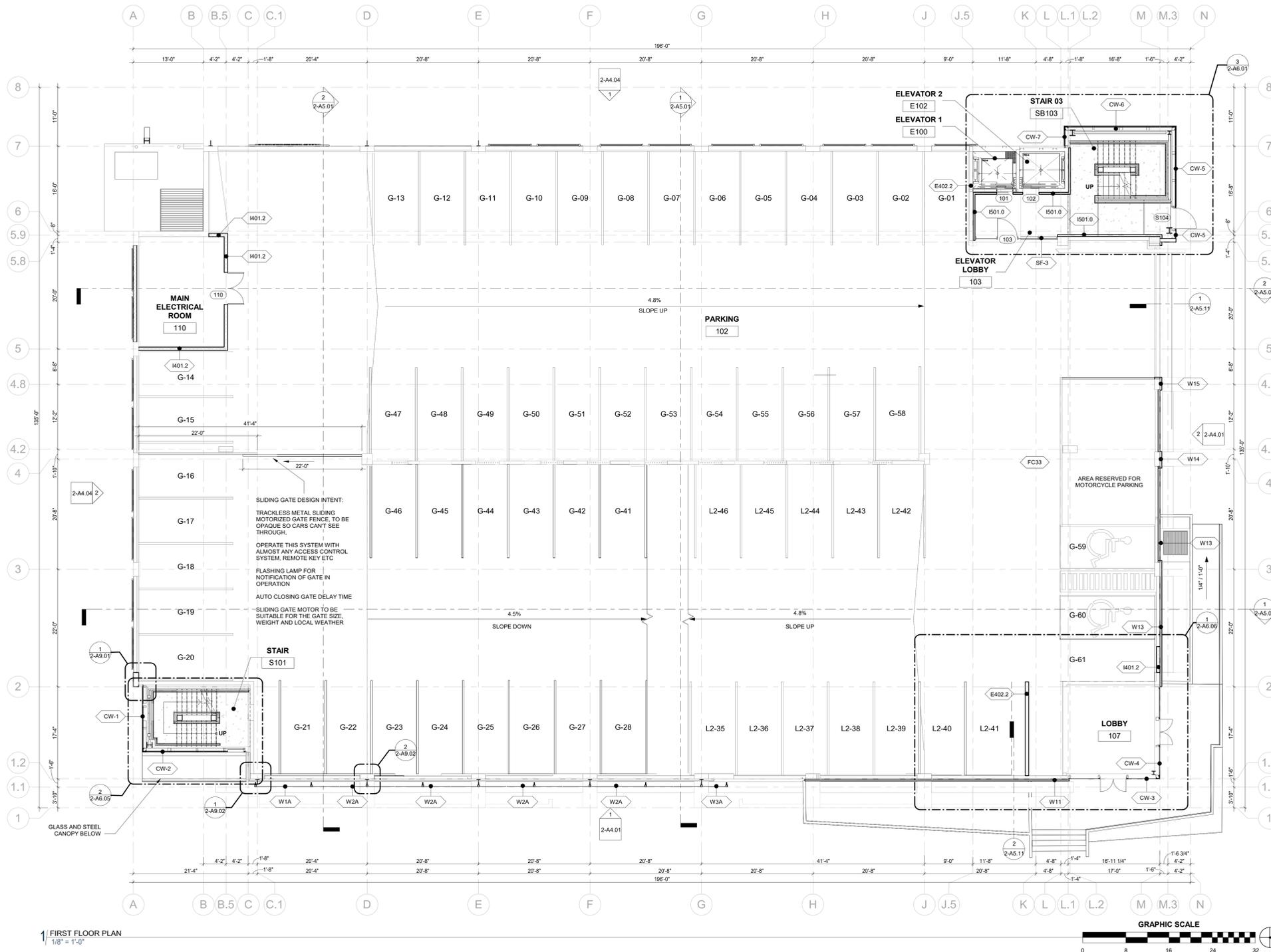
1 BASEMENT 2 FLOOR
 1/8" = 1'-0"





1 BASEMENT 1 FLOOR
 1/8" = 1'-0"





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 401 FRONT STREET, SUITE 300
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- LANDSCAPE
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- STRUCTURAL
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 BOULDER, CO 80501
 T 303 448 8487
- MEP
BRANCH PATTERN
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 DENVER, CO 80202
 T 303 581 1883
- LIGHTING
AE DESIGN
 1890 WALDEN STREET, 4000
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Full Design Team Roster on Sheet A0.02

Client and Project Information



**COB West Campus
 Parking Garage**
 2655 Broadway Ave.
 BOULDER, CO

Original Issue

Revisions	Date	Description
100% SD	09/11/23	



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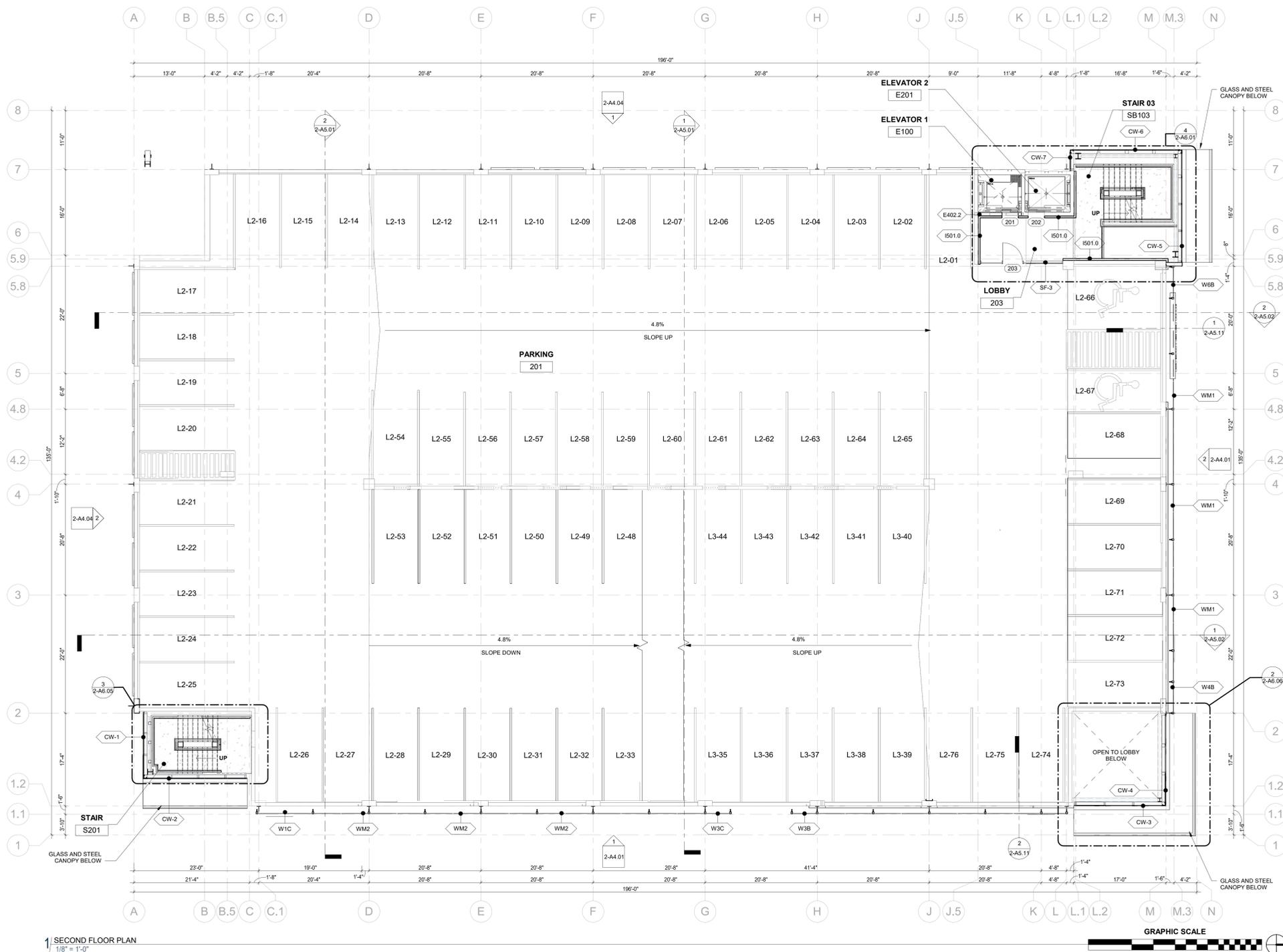
LEVEL 1 FLOOR PLAN

Sheet Number

2-A2.03

CONSTRUCTION DOCUMENTS

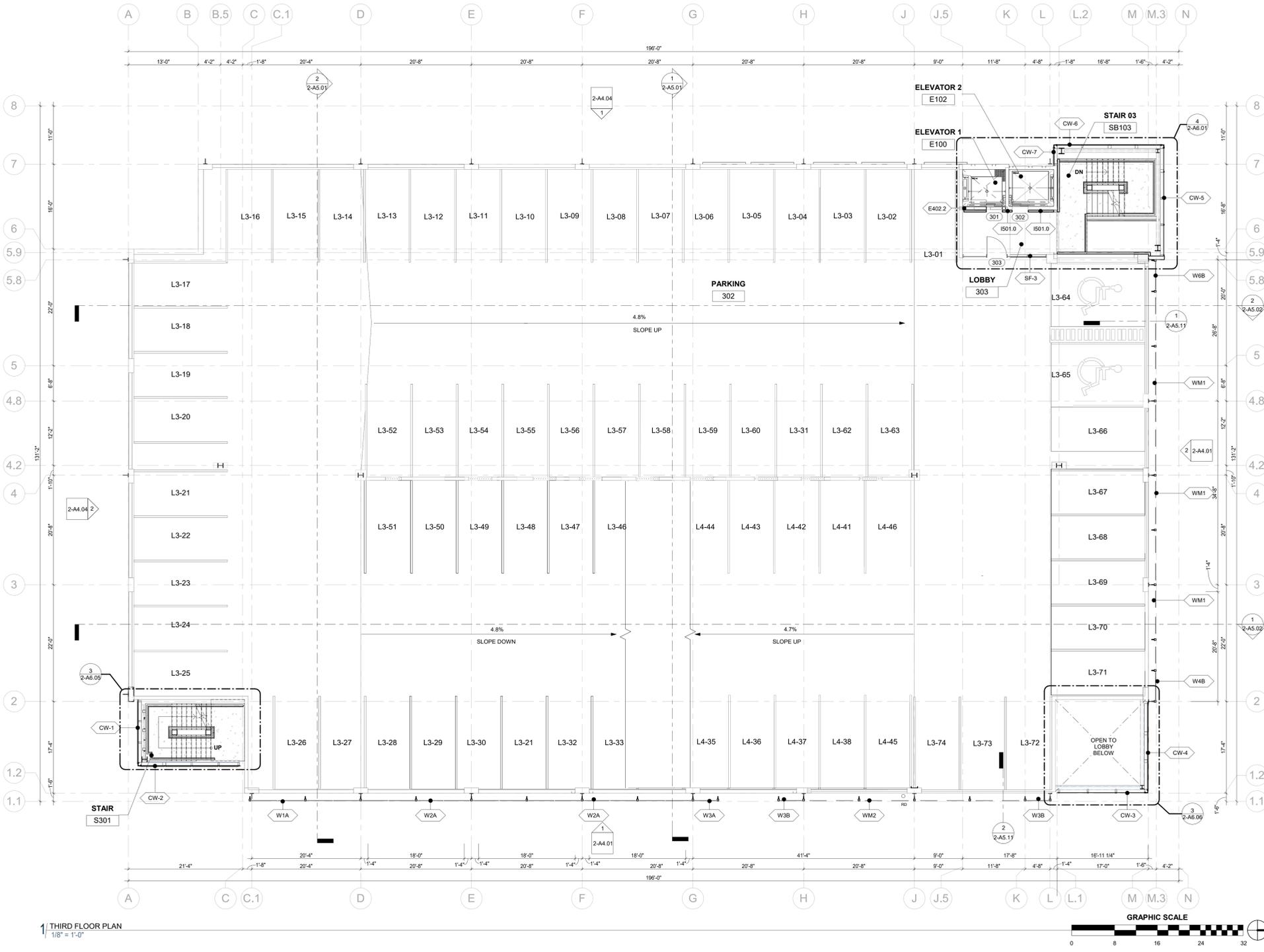
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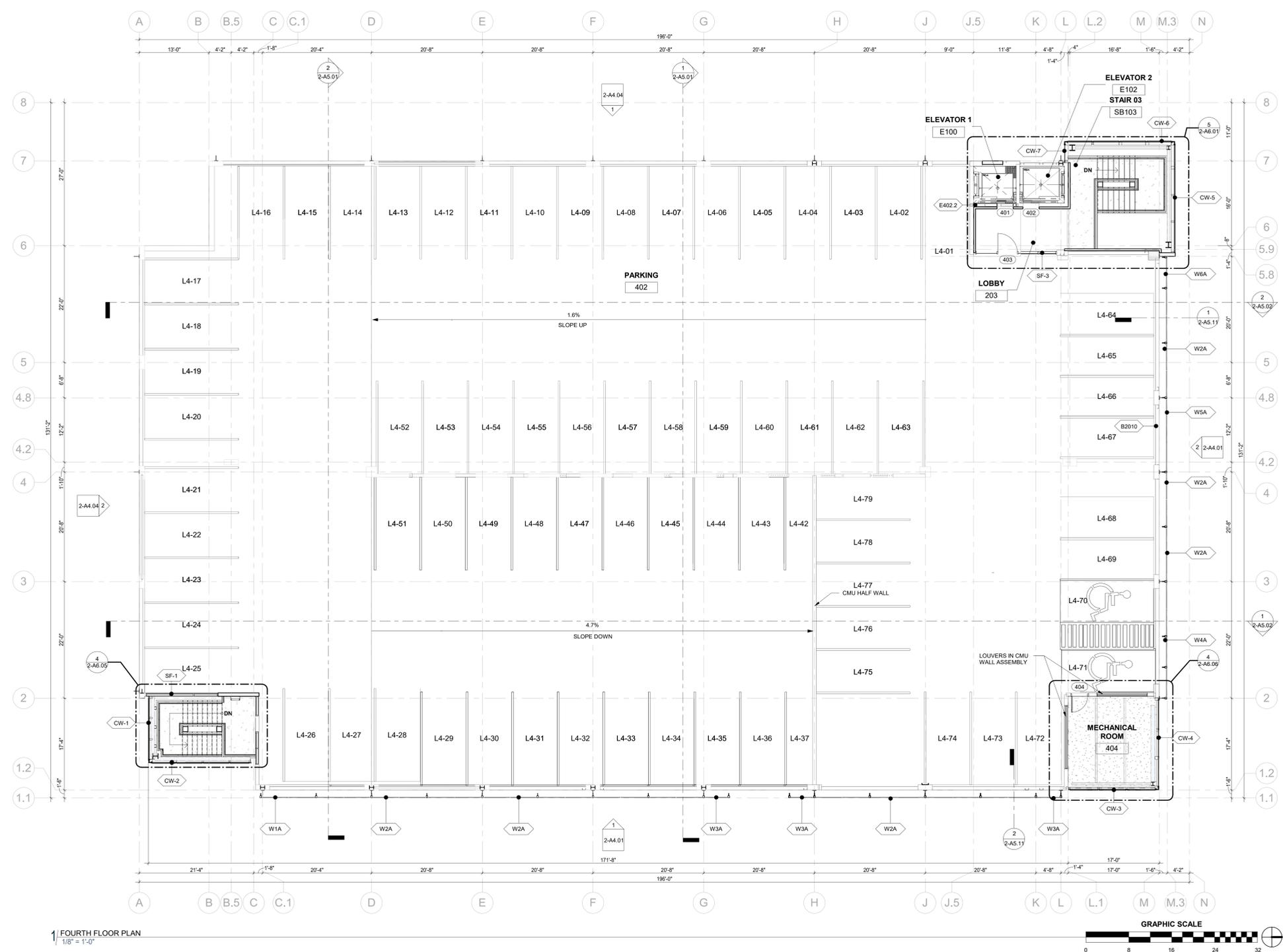
1 SECOND FLOOR PLAN
 1/8" = 1'-0"



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1 | THIRD FLOOR PLAN
 1/8" = 1'-0"



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 801 FRONT STREET, SUITE 300
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 T 720 441 1167
- LANDSCAPE
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 THE CLUB CIRCLE
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- STRUCTURAL
ANTHEM STRUCTURAL ENGINEERS
 PLATON OFFICE PARK
 2170 CENTRAL AVENUE
 BOULDER, CO 80501
 T 303 448 8487
- MEP
BRANCH PATTERN
 394 WALDE STREET
 DENVER, CO 80205
 T 303 381 1883
- LIGHTING
AE DESIGN
 180 WALDE STREET, 4000
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Full Design Team Roster on Sheet A0.02

Client and Project Information



**COB West Campus
 Parking Garage**
 2655 Broadway AVE.
 BOULDER, CO

Original Issue

Revisions	100% SD	09/11/23



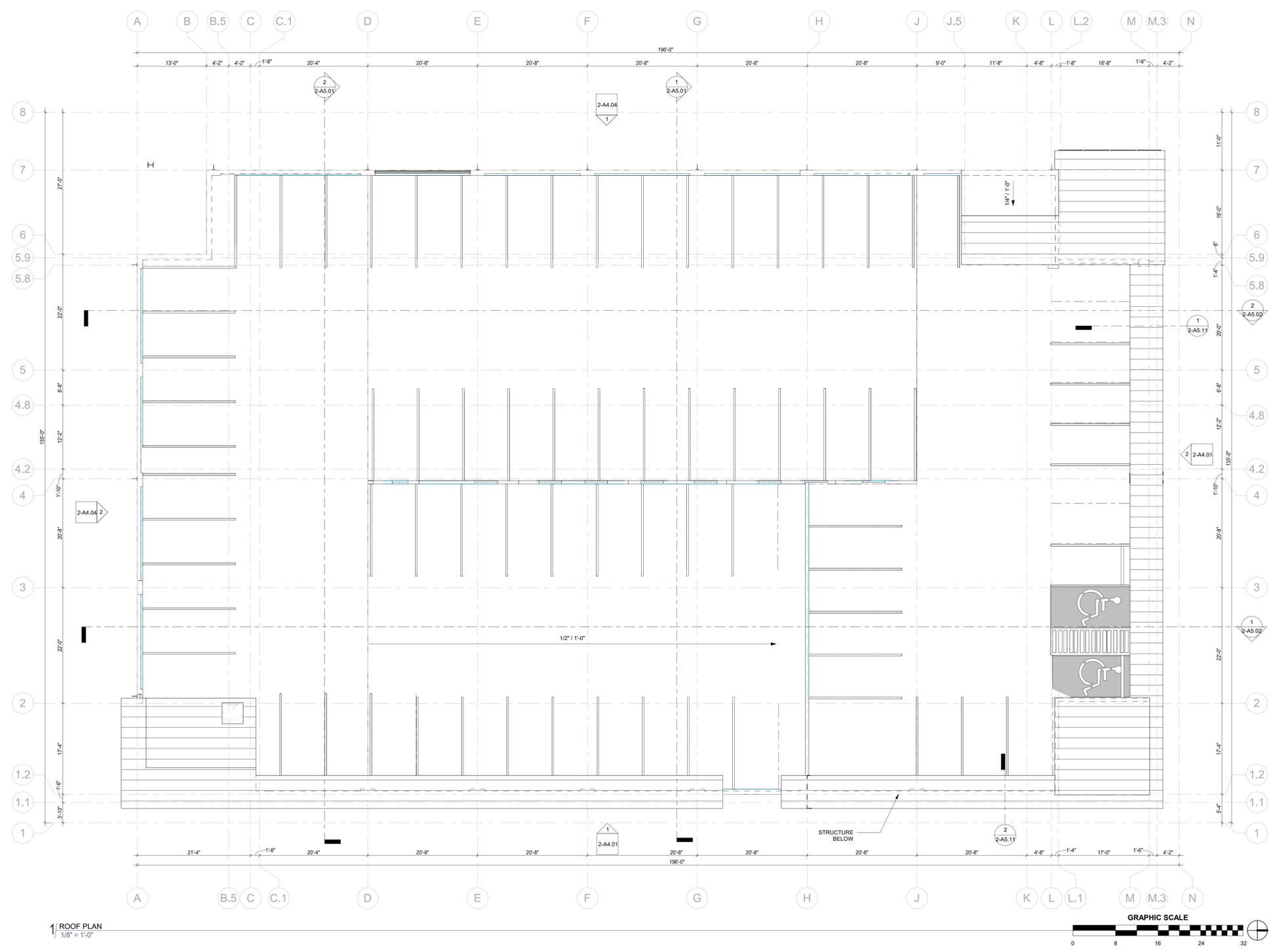
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Sheet Title
ROOF PLAN

Sheet Number
2-A2.07

Content Issue
**CONSTRUCTION
 DOCUMENTS**

Content Issue Date
03/01/24



1 ROOF PLAN
 1/8" = 1'-0"

GENERAL NOTES

1. THE UPPERMOST POINT OF THE ROOFING MEMBRANE IS THE HIGHEST POINT FOR THE PURPOSE OF CALCULATING BUILDING HEIGHT PER BRC. THE PARAPET WALLS EXCEED THE HEIGHT LIMIT BY NO MORE THAN THE ALLOWABLE 18" FOR FACILITATING ROOFTOP DRAINAGE.

KEYNOTES

Key Value	Keynote Text
02 41 19	EXISTING ELEMENT TO REMAIN
04 73 13.01	THIN SET MANUFACTURED STONE VENEER, COLOR SM1
05 50 00.01	GLASS AND STEEL CANOPY
05 50 00.07	METAL PANEL, PAINTED
05 50 00.08	METAL MESH SCREEN
08 44 13.01	WINDOW WALL SYSTEM



ZGF Project Number: R26192

Consultant:
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Full Design Team Roster on Sheet A0.02

Client and Project Information



**COB West Campus
Parking Garage**
2655 Broadway Ave.
BOULDER, CO

Original Issue

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Sheet Status

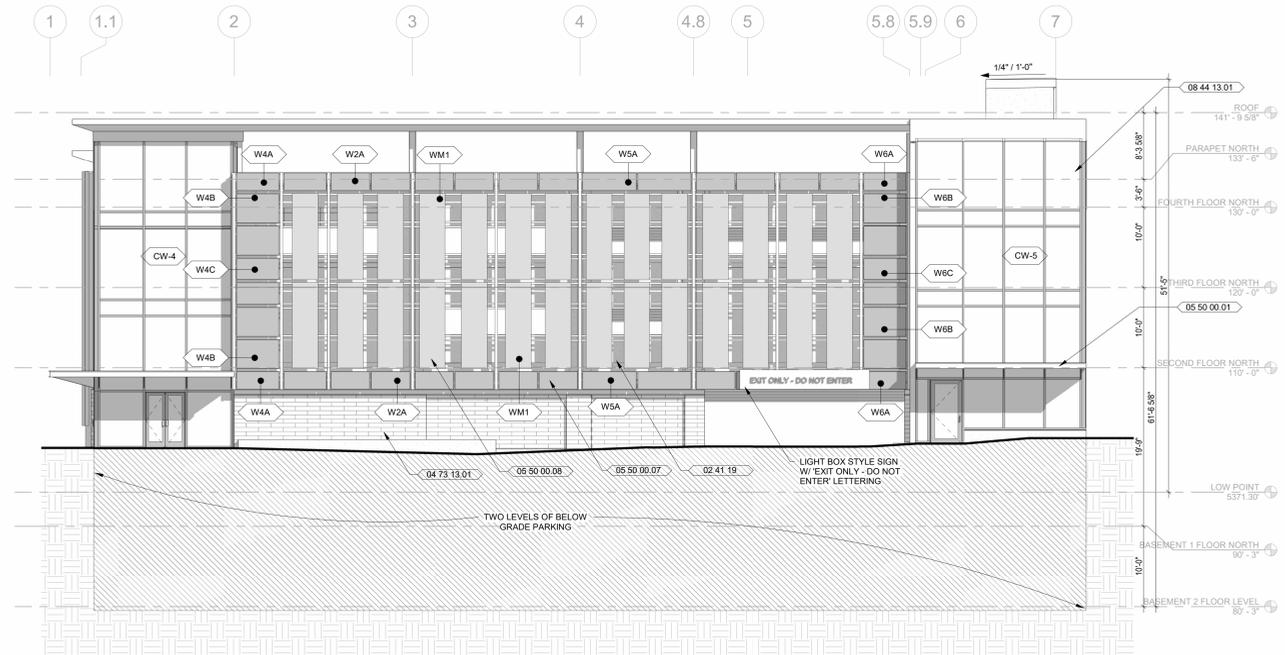
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Sheet Number

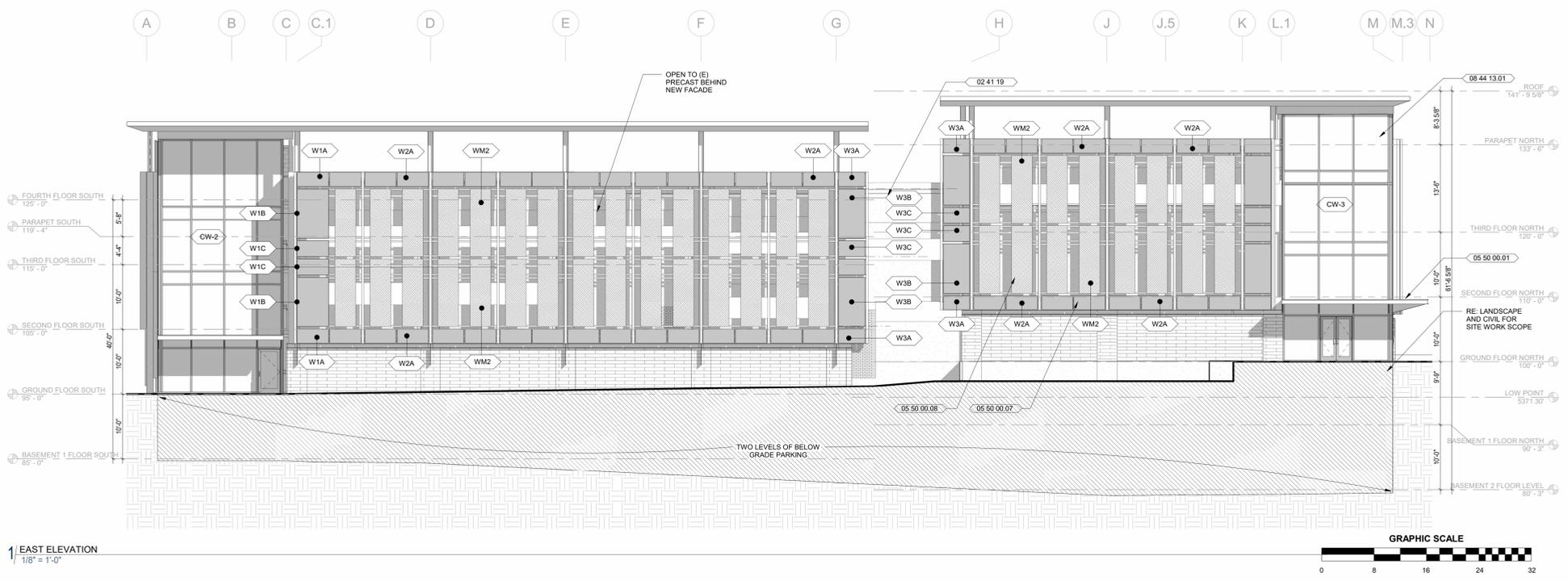
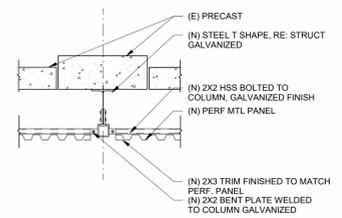
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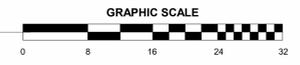
Content Issue Date
03/01/24



2 NORTH ELEVATION
1/8" = 1'-0"



1 EAST ELEVATION
1/8" = 1'-0"



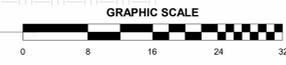
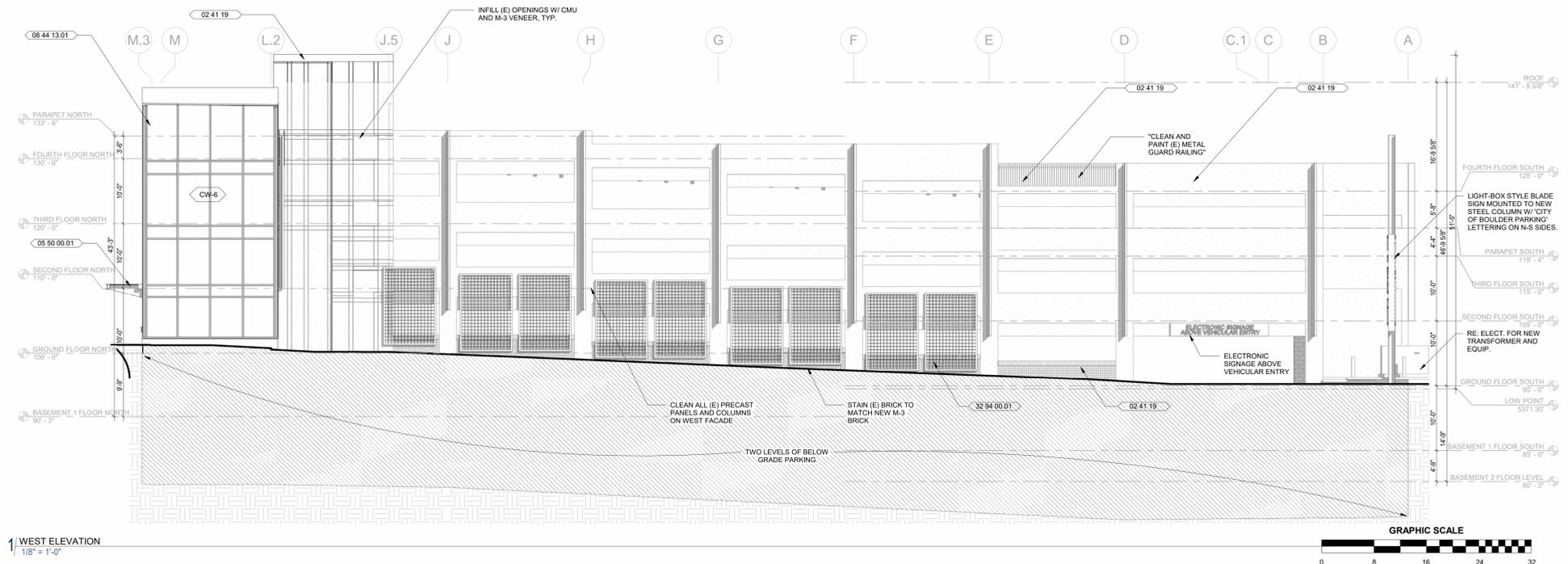
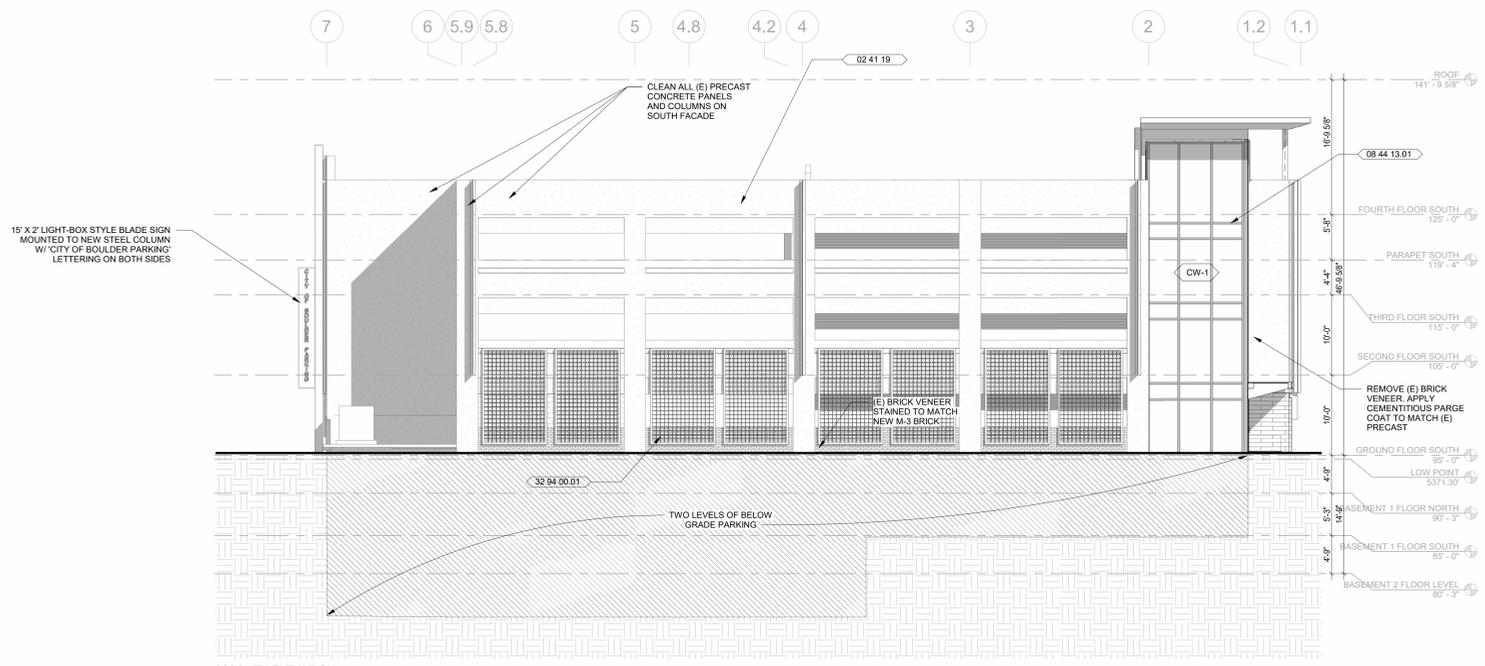
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GENERAL NOTES

1. THE UPPERMOST POINT OF THE ROOFING MEMBRANE IS THE HIGHEST POINT FOR THE PURPOSE OF CALCULATING BUILDING HEIGHT PER BRC. THE PARAPET WALLS EXCEED THE HEIGHT LIMIT BY NO MORE THAN THE ALLOWABLE 18" FOR FACILITATING ROOFTOP DRAINAGE.

KEYNOTES

Key Value	Keynote Text
02 41 19	EXISTING ELEMENT TO REMAIN
05 50 00.01	GLASS AND STEEL CANOPY
08 44 13.01	WINDOW WALL SYSTEM
32 94 00.01	WIRE MESH GREEN SCREEN



GENERAL NOTES

1. THE UPPERMOST POINT OF THE ROOFING MEMBRANE IS THE HIGHEST POINT FOR THE PURPOSE OF CALCULATING BUILDING HEIGHT PER BRC. THE PARAPET WALLS EXCEED THE HEIGHT LIMIT BY NO MORE THAN THE ALLOWABLE 18" FOR FACILITATING ROOFTOP DRAINAGE.

KEYNOTES

Key Value	Keynote Text
02 41 19	EXISTING ELEMENT TO REMAIN
04 73 13.01	THIN SET MANUFACTURED STONE VENEER, COLOR SM1
05 50 00.01	GLASS AND STEEL CANOPY
05 50 00.07	METAL PANEL, PAINTED
05 50 00.08	METAL MESH SCREEN
08 44 13.01	WINDOW WALL SYSTEM

Consultant

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DENVER, CO 80202
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AE DESIGN
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Full Design Team Roster on Sheet A0.02

Client and Project Information



**COB West Campus
Parking Garage**
2655 Broadway Ave.
BOULDER, CO

Original Issue

Revisions

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09/11/23

Sheet Status

Sheet Title

**COLORED
ELEVATIONS**

Sheet Number

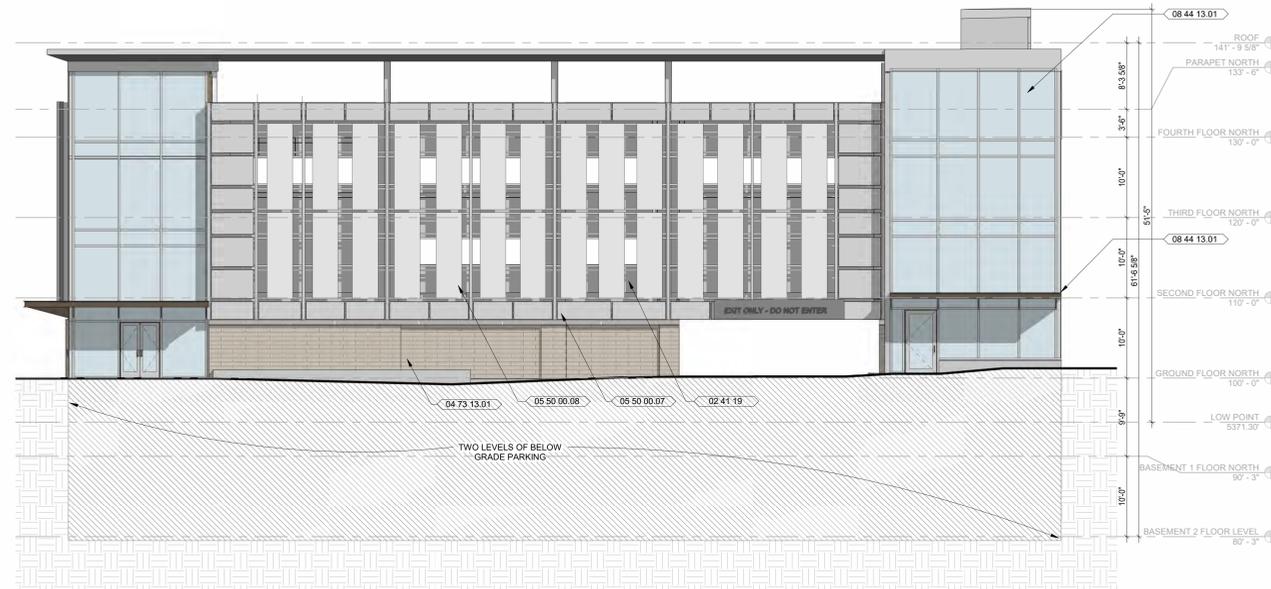
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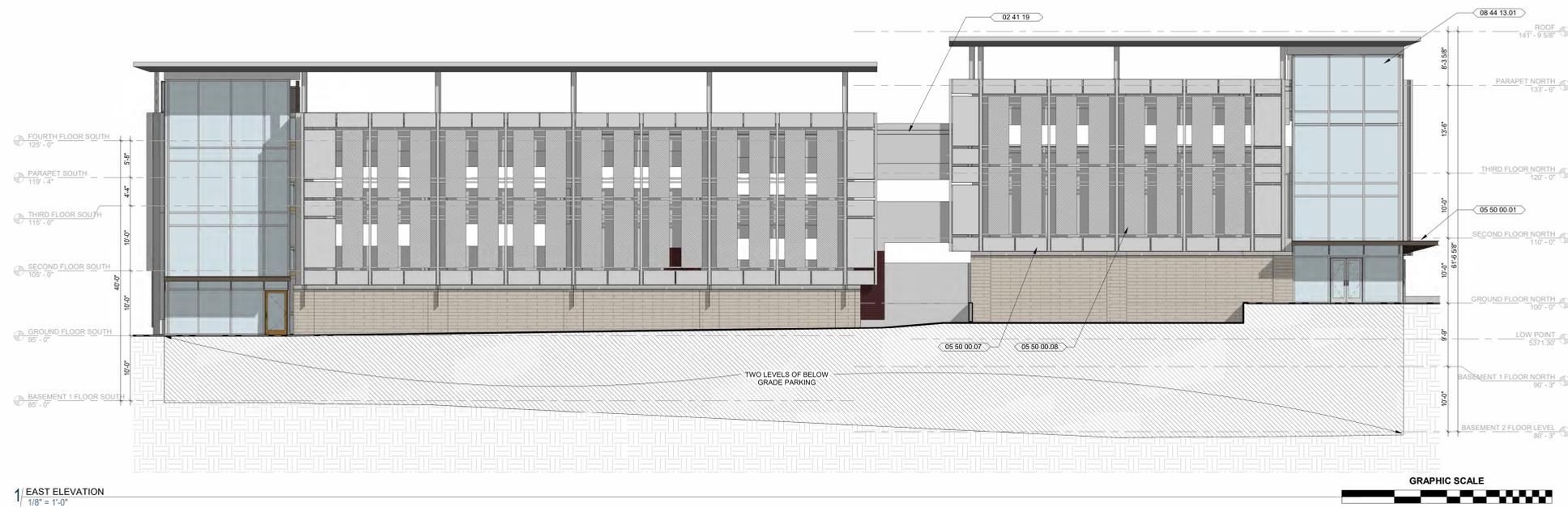
**CONSTRUCTION
DOCUMENTS**

Content Issue Date

03/01/24



2 | NORTH ELEVATION
1/8" = 1'-0"



1 | EAST ELEVATION
1/8" = 1'-0"



GENERAL NOTES

1. THE UPPERMOST POINT OF THE ROOFING MEMBRANE IS THE HIGHEST POINT FOR THE PURPOSE OF CALCULATING BUILDING HEIGHT PER BRC. THE PARAPET WALLS EXCEED THE HEIGHT LIMIT BY NO MORE THAN THE ALLOWABLE 18" FOR FACILITATING ROOFTOP DRAINAGE.

KEYNOTES

Key Value	Keynote Text
02 41 19	EXISTING ELEMENT TO REMAIN
08 44 13.01	WINDOW WALL SYSTEM
32 94 00.01	WIRE MESH GREEN SCREEN

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Denver, CO 80216
theSTUDIOarchitecture.com
866.529.9130

ZGF Project Number: R26192

Consultant
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MEP
BRANCH PATTERN
1044 WALNUT STREET
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7.303.581.1883

LIGHTING
AE DESIGN
1800 WALDEN STREET, 4000
DENVER, CO 80202
7.303.296.5034

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Full Design Team Roster on Sheet A0.02

Client and Project Information



**COB West Campus
Parking Garage**
2655 Broadway Ave.
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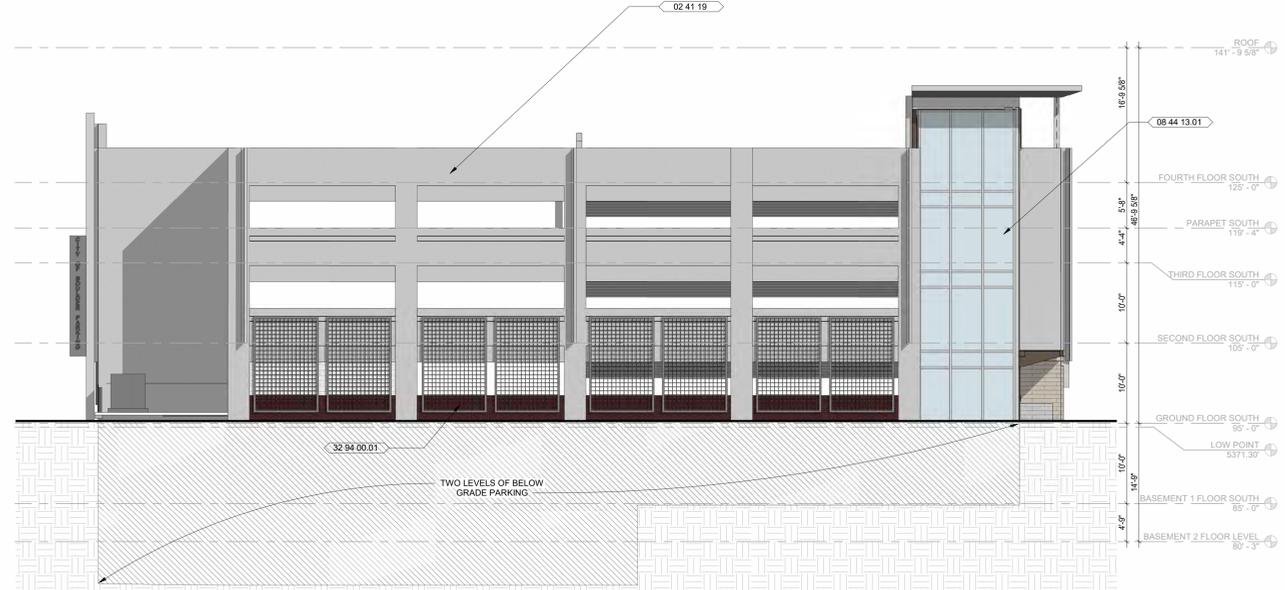
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**COLORED
ELEVATIONS**

Sheet Number

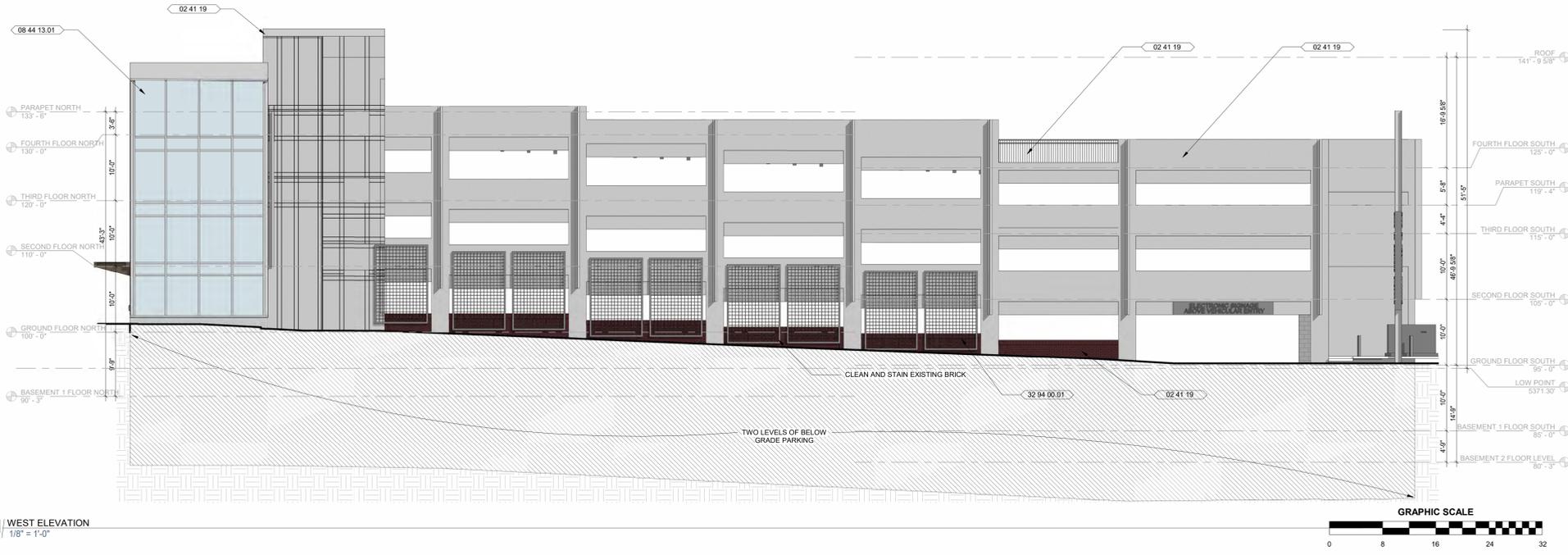
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Content Source
**CONSTRUCTION
DOCUMENTS**

Content Issue Date
03/01/24



2 | SOUTH ELEVATION
1/8" = 1'-0"



1 | WEST ELEVATION
1/8" = 1'-0"

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LEGEND

	LIMIT OF WORK
	PROPERTY LINE
	BUILDING OVERHANG
	PLANTING AREA
	ENHANCED PLANTING AREA
	STORMWATER AREA
	STANDARD CONCRETE
	COLORED CONCRETE
	CONCRETE PAVERS
	PERVIOUS PAVERS - VEHICULAR
	ENTRANCE
	TYPE B WALL

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Full Design Team Roster on Sheet 1-G0.01

Client and Project Information



**Boulder Western City
 Campus - Volume 2
 Garage & Brenton**
 2655 BROADWAY
 Boulder, CO 80302

Original Issue

Key Plan and Orientation

Revisions

Sheet Status **NOT FOR CONSTRUCTION**

Sheet Title

**OVERALL SITE PLAN -
 SITE REVIEW**

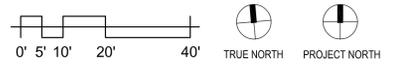
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2-L0.00

Current Issue **SITE REVIEW**

Current Issue Date **11/03/2023**

1 LANDSCAPE SITE PLAN - SITE REVIEW
 2-L0.00 1" = 20'-0"



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1 OPEN SPACE AREAS
Scale: 1" = 30'-0"

OPEN SPACE LEGEND

- LANDSCAPE
- LANDSCAPE - WATER QUALITY PLANTER
- ROW LANDSCAPE - NOT INCLUDED IN OS CALC
- HARDSCAPE - ENHANCED PAVING

Western City Campus
Open Space Calculation - South of Alpine
10/1/23

PUBLIC ZONE CALCULATION
20% of Total Land Area
Total Land Area = 58,208 SF
Interior ground floor OS can count up to 50% of required
11,642 SF required (20%) 13,949 SF provided (24%)

Open Space		Actual	Can Count		
1 Landscape					
Site Landscape		5,990	5,990	SF	
Rain Gardens (WQ Features)		362	362	SF	
2 Hardscape					
Enhanced paving		7,597	7,597	SF	
		13,949	13,949	SF	

Landscape Requirements

A 1 Tree/5 Shrubs for each 1,500 SF not covered by building or parking

Total Site	58,208	SF
Total Building Coverage	28,285	SF
Total Parking Coverage	11,715	SF
Remaining	18,208	SF

	Required	Provided	
Trees	12	12	
Shrubs	61	100+	8,375 SF of Shrub beds provided

B Sod Quantity - no sod anticipated on this project.

C Street trees - one tree every 40 LF

Street Frontage		Required	Provided	
Alpine Ave	214 LF	5	4	More trees not possible due to narrow width of ROW/Sidewalk at Broadway intersection. Extra trees on Broadway and North provided.
Broadway	188 LF	5	6	
North Street	99 LF	2	3	

D Parking Lot Landscape

5% required of 10,645 SF	Required	Provided	
Interior Prkg Lot Landscape	532 SF	1,122 SF	
Interior Trees 1/200 SF	3 EA	3 EA	
Parking Lot Screening Trees	4 EA	4 EA	
Parking Lot Screening	42" screen	42" screen	

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SITE REVIEW LANDSCAPE COMPLIANCE

Sheet Number

2-L0.10

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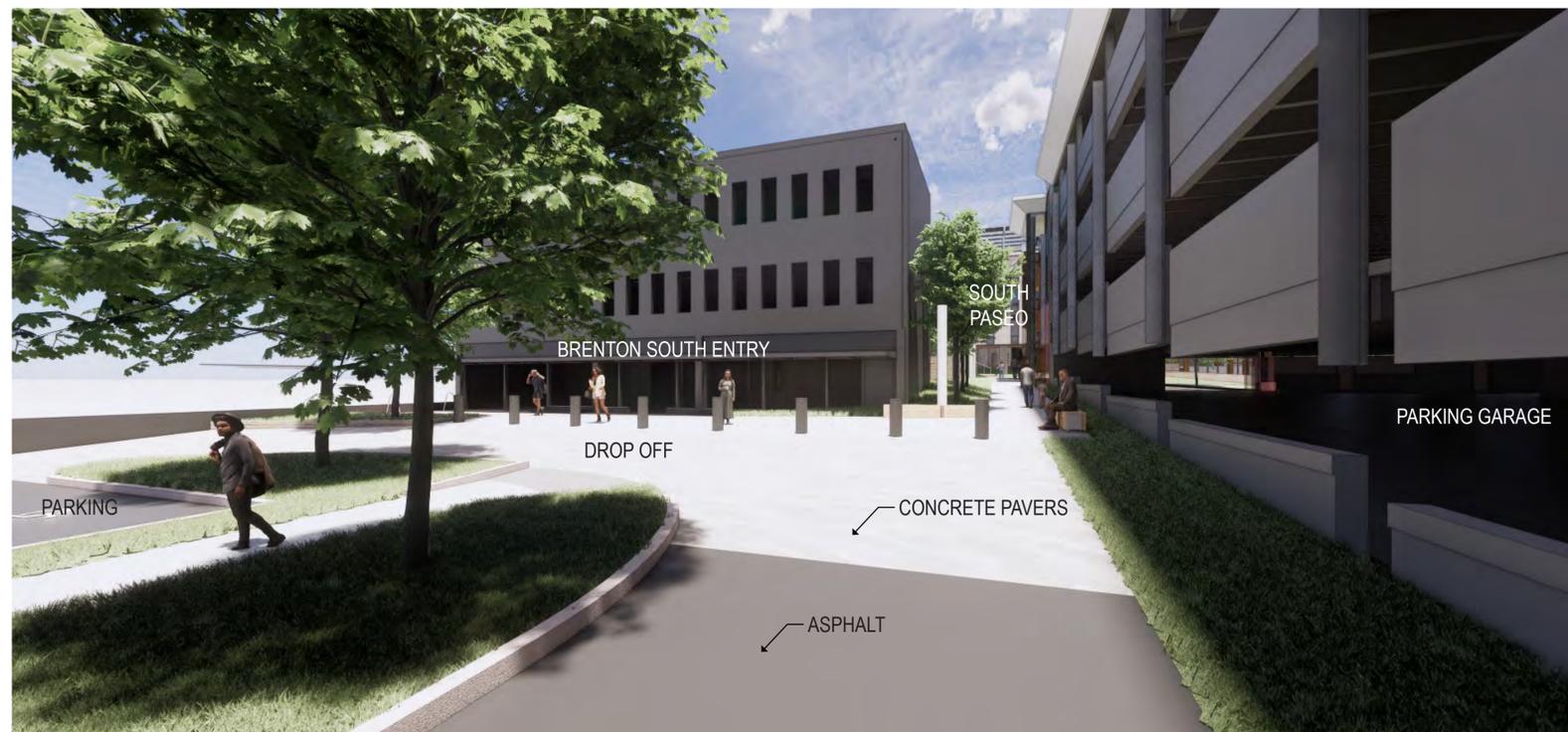
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RENDERING - NORTH PARKING GARAGE ENTRANCE AND SOUTH PASEO



RENDERING - BRENTON SOUTH ENTRANCE AND DROP-OFF ZONE

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**Boulder Western City
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**3D VIEWS - SOUTH
 PASEO**

Sheet Number

2-L2.10

Current Issue

SITE REVIEW

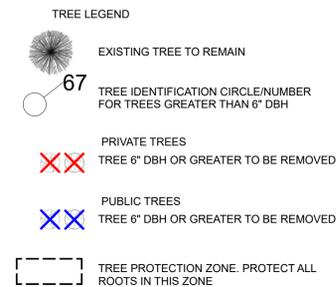
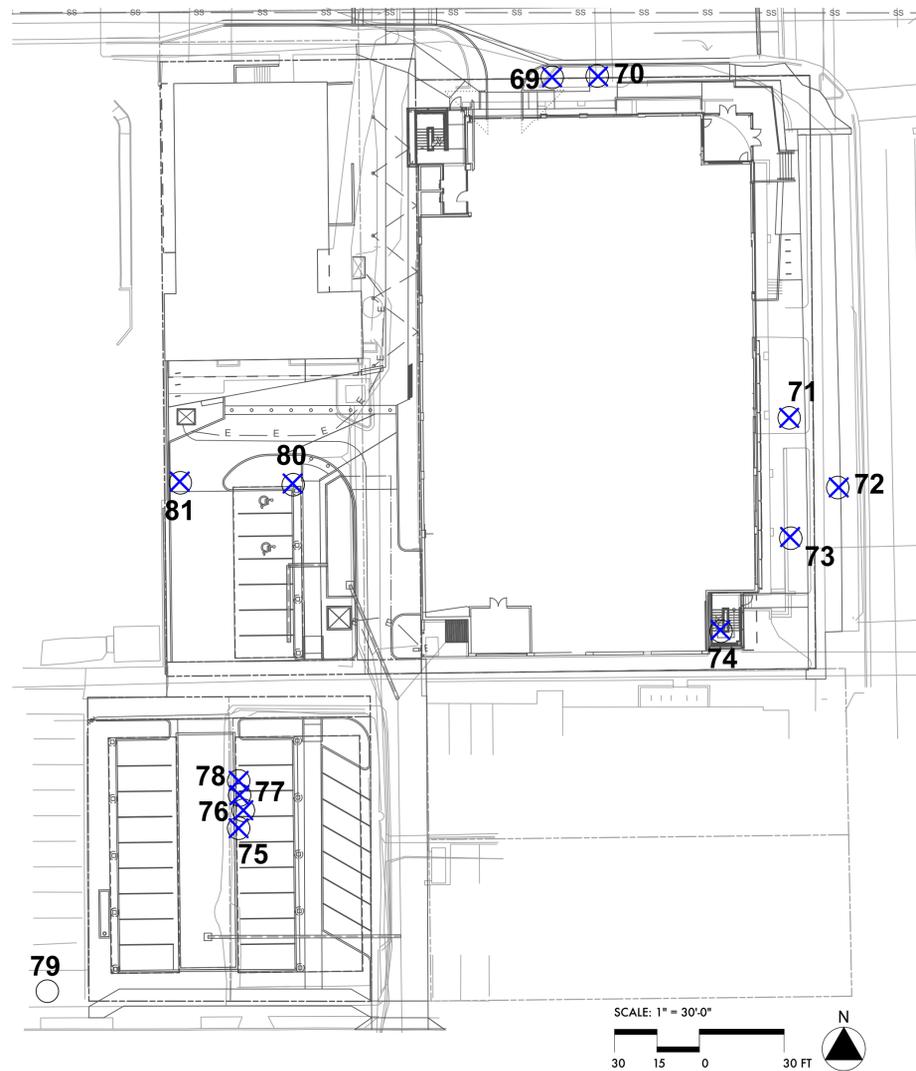
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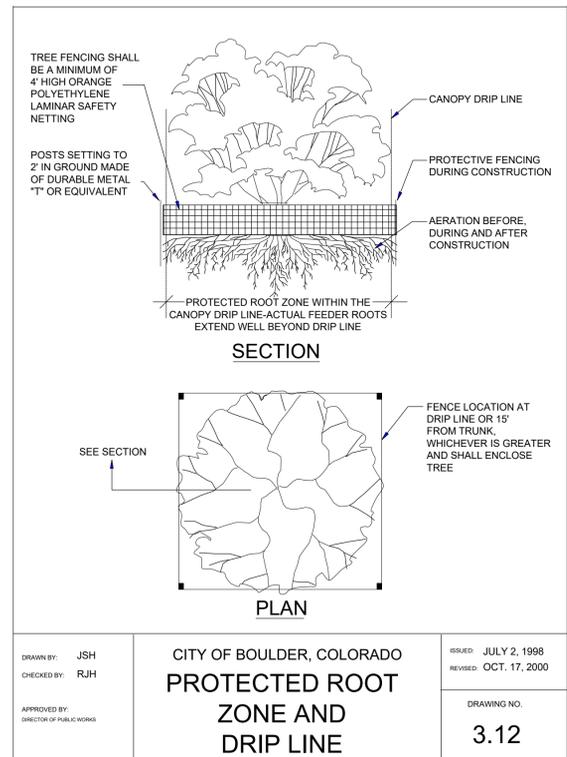
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**CITY OF BOULDER
DESIGN AND CONSTRUCTION STANDARDS
3.05 Tree Protection for Construction Sites**

- (A) Tree Protection Required
 (1) An applicant for construction approval shall protect trees and plants in the public right-of-way and on any project or construction site where public improvements are proposed.
 (2) An applicant for construction approval shall submit a landscaping plan incorporating proposed tree protection measures for any existing trees located in the public right-of-way and on site at any project or construction site where public improvements are proposed in compliance with these Standards.
 (3) The landscaping plan shall identify any potential detrimental effects to existing trees that might result from proposed construction activities within 20 feet of the dripline of any existing trees located on site or in the adjacent public right-of-way. The plan shall include the species, size, and location of all existing trees that are 1-inch or larger caliper size. If no existing trees are present that require protection, this shall be noted on the plan. Existing trees approved to be removed or relocated shall be clearly identified on the landscaping plan.
 (4) The applicant for construction approval shall notify the City within 24-hours of any suspected damage to trees resulting from construction activities. If damage occurs during construction, the applicant shall have the damaged tree restored immediately by a qualified arborist.
- (B) Tree Protection Procedures
 (1) Protective Maintenance: An applicant for construction approval shall provide maintenance and care for existing trees required to be protected on site and in the public right-of-way adjacent to any project or construction site during construction activities and the public improvement warranty period to ensure that existing trees survive and are not damaged.
 (2) Soil Compaction Prevention
 (a) To prevent soil compaction, designated routes for equipment and foot traffic by work crews shall be determined prior to commencing construction activities and indicated in the landscaping tree protection plan.
 (b) These planned routes shall be marked at the site before construction commences with durable fencing material that is at least 4 feet high. Flagging tape or any other material that may be torn down, moved, or evaded is not acceptable.
 (c) The contractor shall inform all construction crew members on the site of access routes and will ensure that only these routes are used.
 (d) To prevent tree root smothering, no soil stockpiles, supplies, equipment, or any other material shall be placed or stored within a tree dripline or within 15 feet of the tree trunk for column-shaped trees, whichever distance is greater(e) Soil around a tree dripline may be required to be aerated during and after construction activities. This is necessary even when compaction results from heavy foot traffic. A professional arborist shall do the vertical aeration or soil fracturing. Oil fracturing techniques comparable to using a "growgun" with Isoelite material are acceptable. Conventional turf aeration is not acceptable.
 (f) When foot traffic or equipment use is unavoidable within the dripline, the area within the dripline shall be mulched with wood chips to a depth of 6 inches before construction activity begins. A 6-inch mulch depth shall be maintained for the duration of the project, then removed when construction activities are completed.
 (3) Root Protection
 (a) Tree roots shall not be cut unless cutting is unavoidable.
 (b) When root cutting is unavoidable, a clean, sharp cut shall be made to avoid shredding or smashing. Root cuts should be made back to a lateral root.
 (c) Whenever possible, tree roots should be cut between late fall and bud opening, when root energy supplies are high and conditions are least favorable for disease causing agents.
 (d) The City shall be notified of any cutting of the following roots:
 (i) Two roots having a diameter of more than 3 inches, or
 (ii) Four roots having diameters between 2 and 3 inches.
 (e) Trenches shall be hand-dug within the dripline in areas where roots 2 inches and larger in diameter are present, and when low branches which may be damaged by equipment are present.
 (f) Whenever possible, roots 2 inches or larger in diameter shall be tunneled or bored under and shall be covered to prevent dehydration. Exposed roots shall be covered immediately with soil or burlap and kept moist.
 (g) Power tools shall not be used to prune roots, with the exception of arboriculturally approved root-cutting equipment used under the supervision of the City. Only the following approved tools shall be acceptable: scissors-type hand pruners and loppers, except anvil-types, and arborist-type pruning saws.
 (h) When more than one root 2 inches or larger in diameter on any public tree is cut, supplemental watering shall be provided if the tree lacks an operational sprinkler system. The applicant or abutting landowner shall provide the watering.
 (i) Sidewalk and paving surfaces shall be sufficiently contoured to avoid cutting surface tree roots. Whenever possible, tree roots should be bridged or floated over with walks.
 (j) To allow maximum aeration and water penetration to roots, walk materials other than concrete may be selected (e.g., brick, flagstone, honeycomb block, chips, gravel) subject to City approval. Under no circumstances shall impervious material make contact with or completely encircle a tree trunk.
 (k) Auger tunneling, not trenching, shall be used where possible for utility placement within the dripline of a tree.
 (l) If roots are cut between March and August, trees may need supplemental deep root watering once per week for at least 2 months after the roots are cut. When roots are cut between September 1 and October 15, trees may need supplemental watering once per week until at least October 31.
 (m) Tree roots shall not be fertilized for a period of 1 year following the cessation of construction activities. Thereafter, for the next 2 years, a light annual fertilization using a slow release nitrogen source is acceptable.
- (4) Tree Fencing
 (a) Fencing material shall encircle any tree whose outer dripline edge is within 20 feet of any construction activities.
 (b) Fencing material shall be a bright, contrasting color, durable, and at least 4 feet high. Fence posts shall be comparable to metal T-posts or heavier posts and placed at least 2 feet below ground.
 (c) Fencing material shall be placed at the dripline or at least 15 feet from any tree trunk, whichever distance is greater, and maintained in an upright position throughout the duration of construction activities.
 (d) The applicant for construction approval shall indicate fencing locations on the landscaping tree protection plan.
 (e) Heavy objects, such as wood pallets or metal railings, shall not lean against or come into contact with any tree trunk.
 (5) Grade Changes: Grade changes, such as removing topsoil or adding fill material, shall not occur within the dripline of any existing tree. If necessary as part of project or site development, retaining walls and tree wells to maintain the existing grade within the dripline of any tree may be acceptable when constructed prior to site grading changes near the tree. A landscaping plan containing an illustrated design scheme of the tree protection improvement shall be approved by the City prior to initiating any grade changes near existing trees.
 (6) Transplanting: Any proposed or required transplanting shall conform with the requirements in Section 3.04(D), "Tree Relocation (Transplanting)."
 (7) Chemical/Foreign Material Disposal
 (a) Disposing of chemicals or foreign material anywhere on site or in the public right-of-way is prohibited. This shall include, but is not limited to: paint, stain, solvents, concrete or any construction material onsite, and rinse water from any cans or tools containing chemicals.
 (b) Soil samples may be taken to determine the presence of chemicals or foreign materials for any planter containing proposed or existing plant material.
 (8) Pruning: Pruning shall not occur during construction activities or the public improvement warranty period, except to remove dead or damaged branches or to prevent branch damage that could occur during construction, without the prior approval of the City. Pruning of healthy branches shall be delayed for a period of 2 years after construction activities are completed



All tree protection standards of Ch. 3 and 10 of the Design and Construction Standards shall be met with particular attention given to grading impacts, limitations of stockpiling, soil compaction prevention and vehicular routes. Tree protection fencing shall be installed prior to any site disturbance and remain in place for the duration of the project. Only hand digging may occur within the dripline of any tree to be preserved. Provide sufficient irrigation throughout construction to maintain the long term health of the tree(s).



PRICING NOTE:
CITY FORESTOR WILL ASSESS MITIGATION FEE FOR ALL HEALTHY PUBLIC TREES TO BE REMOVED. NEW TREES PLANTED CAN OFFSET THIS FEE.



**West City Campus Site
Tree Inventory**

ID#	Common Name	Scientific Name	DBH (in)	Condition Rating	Comments
35	Austrian pine	<i>Pinus nigra</i>	13.0	Good	Remove
36	Austrian pine	<i>Pinus nigra</i>	13.5	Good	Remove
37	Crabapple	<i>Malus sp.</i>	38.0	Good	Remove
38	Hawthorn	<i>Crataegus sp.</i>	6.0	Good	Remove
39	Hawthorn	<i>Crataegus sp.</i>	7.0	Good	Remove
40	Hawthorn	<i>Crataegus sp.</i>	8.0	Good	Remove
41	Austrian pine	<i>Pinus nigra</i>	15.5	Good	Try to keep
42	Austrian pine	<i>Pinus nigra</i>	17.0	Good	Try to keep
43	Austrian pine	<i>Pinus nigra</i>	16.0	Good	Try to keep
44	Red oak	<i>Quercus rubra</i>	7.5	Fair	Remove
45	Hawthorn	<i>Crataegus sp.</i>	6.0	Good	Remove
46	Hawthorn	<i>Crataegus sp.</i>	6.0	Good	Remove
47	Hawthorn	<i>Crataegus sp.</i>	6.0	Good	Remove
48	Hawthorn	<i>Crataegus sp.</i>	6.0	Good	Remove
49	Red oak	<i>Quercus rubra</i>	8.5	Fair	Remove
50	Red oak	<i>Quercus rubra</i>	7.5	Fair	Remove
51	Hawthorn	<i>Crataegus sp.</i>	6.0	Good	Remove
52	Hawthorn	<i>Crataegus sp.</i>	6.0	Good	Remove
53	Hawthorn	<i>Crataegus sp.</i>	6.0	Good	Remove
54	Austrian pine	<i>Pinus nigra</i>	16.0	Good	Remove
55	Austrian pine	<i>Pinus nigra</i>	17.0	Good	Remove
56	Quaking aspen	<i>Populus tremuloides</i>	12.0	Very Poor	Remove
69	Norway maple	<i>Acer platanoides</i>	6.0	Good	Remove
70	Norway maple	<i>Acer platanoides</i>	9.0	Good	Remove
71	Amur maple	<i>Acer ginnala</i>	8.0	Good	Remove
72	Norway maple	<i>Acer platanoides</i>	8.0	Good	Remove
73	Swamp white oak	<i>Quercus bicolor</i>	8.5	Good	Remove
74	Tree of heaven	<i>Ailanthus altissima</i>	11.0	Good	Remove
75	Tree of heaven	<i>Ailanthus altissima</i>	8.0	Poor	Remove
76	Tree of heaven	<i>Ailanthus altissima</i>	8.0	Poor	Remove
77	Tree of heaven	<i>Ailanthus altissima</i>	9.0	Poor	Remove
78	Tree of heaven	<i>Ailanthus altissima</i>	12.0	Poor	Remove
79	Red oak	<i>Quercus rubra</i>	6.0	Good	Off property
80	Honey locust	<i>Gleditsia triacanthos</i>	9.0	Fair	Remove
81	Honey locust	<i>Gleditsia triacanthos</i>	8.0	Good	Remove
82	Siberian elm	<i>Ulmus pumila</i>	14.5	Good	Remove
83	Siberian elm	<i>Ulmus pumila</i>	19.5	Good	Remove
84	Plains cottonwood	<i>Populus deltoides ssp. monilifera</i>	24.0	Good	Remove
85	Plains cottonwood	<i>Populus deltoides ssp. monilifera</i>	15.0	Poor	Remove
86	Plains cottonwood	<i>Populus deltoides ssp. monilifera</i>	19.0	Fair	Remove
87	Plains cottonwood	<i>Populus deltoides ssp. monilifera</i>	20.0	Fair	Remove

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APPROVED BY: DIRECTOR OF PUBLIC WORKS
ISSUED: JULY 2, 1998
REVISED: OCT. 17, 2000
DRAWING NO. 3.12

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TREE REMOVAL PLAN

Sheet Number

2-L4.00

Current Issue **SITE REVIEW**

Current Issue Date **11/03/2023**

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PLANT SCHEDULE

PERENNIALS											
KEY	SIZE	QUANTITY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	WATER USE	EXPOSURE	FLOWER COLOR	SEASON	
AMTC	1 GAL	TBD	ACHILLEA MILLEFOLIUM 'TERRA COTTA'	TERRA COTTA YARROW	18-24"	18-24"	LOW	SUN	PEACH	SUMMER	
ARU	1 GAL	TBD	AGASTACHE RUPESTRIS	SUNSET HYSSOP	2-3'	2-3'	LOW	SUN	ORANGE PINK	SUMMER TO FALL	
AMMG	1 GAL	TBD	ALYSSUM MONTANUM 'MOUNTAIN GOLD'	MOUNTAIN BASKET OF GOLD	6-12"	12-18"	LOW	SUN	MUSTARD YELLOW	MID-SPRING	
ACOE	1 GAL	TBD	AQUILEGIA COERULEA	ROCKY MOUNTAIN COLUMBINE	18-24"	12-18"	MEDIUM	FILTERED SHADE TO SHADE	BLUE WITH WHITE CENTER	LATE SPRING TO EARLY SUMMER	
AXCC	1 GAL	TBD	ARCTOSTAPHYLOS X COLORADOENSIS CHIEFTAN	CHIEFTAN MANZANITA	3-4'	5-6'	LOW	SUN TO FILTERED SHADE	SOFT PINK	LATE WINTER TO EARLY SPRING	
CPL	1 GAL	TBD	CERATOSTIGMA PLUMBAGINOIDES	PLUMBAGO	8-12"	18-24"	LOW	ADAPTABLE	BLUE	MID TO LATE SUMMER	
CVZ	1 GAL	TBD	COREOPSIS VERTICILLATA 'ZAGREB'	ZAGREB COREOPSIS	12-18"	12-18"	LOW	SUN	GOLD	MID-SUMMER TO FALL	
EFK	1 GAL	TBD	EUONUMUS FORTUNEI 'COLORATUS'	PURPLELEAF WINTERCREEPER	12-18"	3-6'	LOW	ADAPTABLE	INSIGNIFICANT	EARLY SUMMER	
GVI	1 GAL	TBD	GERANIUM VISCOSISSIMUM	STICKY GERANIUM	1-3'	18-24"	LOW	ADAPTABLE	ROSE-PURPLE	LATE SPRING TO SUMMER	
MFM	1 GAL	TBD	MONARDA FISTULOSA MENTHIFOLIA	NATIVE LAVENDER BEE-BALM	2-3'	18-24"	LOW	SUN	LAVENDER	MID-SUMMER	
PMC	1 GAL	TBD	PENSTEMON X MEXICALI 'CAROLYN'S HOPE'	CAROLYN'S HOPE PINK PENSTEMON	12-15"	8-12"	LOW	SUN	PINK	SPRING TO SUMMER	
PATR	1 GAL	TBD	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	3-4'	3-4'	VERY LOW	SUN	BLUE	MID TO LATE SUMMER	
ZGG	1 GAL	TBD	ZINNIA GRANDIFLORA 'GOLD ON BLUE'	GOLD ON BLUE ROCKY MOUNTAIN ZINNIA	6-8"	8-12"	VERY LOW	SUN	GOLDEN YELLOW	MID TO LATE SUMMER	

ORNAMENTAL GRASSES											
KEY	SIZE	QUANTITY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	WATER USE	EXPOSURE	FLOWER COLOR	SEASON	
AC	1 GAL	TBD	ACHNATHERUM CALAMAGROSTIS	UNDAUNTED APLINE PLUME GRASS	2-3'	2-3'	LOW	SUN	TAN	MID-SUMMER	
AGW	1 GAL	TBD	ANDROPOGON GERARDII WINDWALKER	WINDWALKER BIG BLUESTEM GRASS	4-6'	2-3'	LOW	SUN	PURPLE	SUMMER	
CB	1 GAL	TBD	CALAMAGROSTIS BRACHYTRICHA	KOREAN FEATHER REED GRASS	3-4'	2-3'	LOW	SUN TO FILTERED SHADE	PINKISH-TAN	LATE SUMMER	
MR	1 GAL	TBD	MUHLENBERGIA REVERCHONII UNDAUNTED	UNDAUNTED RUBY MUHLY GRASS	15-30"	18-24"	LOW	SUN	RUBY-PINK	FALL	
SSS	1 GAL	TBD	SCHIZACHYRIUM SCOPARIUM 'STANDING OVATION	STANDING OVATION LITTLE BLUESTEM GRAS	3-4'	12-18"	LOW	SUN	SILVER	LATE SUMMER	
SNT	1 GAL	TBD	SORGHASTRUM NUTANS 'THIN MAN'	THIN MAN INDIAN GRASS	5-7'	2-3'	LOW	SUN	YELLOW	SUMMER	

DECIDUOUS SHRUBS											
KEY	SIZE	QUANTITY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	WATER USE	EXPOSURE	COLOR	SEASON	
AN	5 GAL	TBD	AMORPHA NANA	DWARF FALSE INDIGO	1-2'	1-2'	VERY LOW	SUN	PURPLE	SUMMER	
AML	5 GAL	TBD	ARONIA MELANOCARPA LOW SCAPE MOUND	LOW SCAPE MOUND BLACK CHOKEBERRY	1-2'	18-24"	LOW	ADAPTABLE	WHITE	LATE SPRING	
BBC	5 GAL	TBD	BUDDLEJA 'BLUE CHIP'	DWARF PURPLE-BLUE BUTTERFLY BUSH	24-30"	2-4'	MEDIUM	SUN	PURPLE-BLUE	SUMMER TO FALL	
CHM	5 GAL	TBD	CHAMAEBATIARIA MILLEFOLIUM	FERNBUSH	3-5'	3-6'	VERY LOW	SUN	WHITE	MID TO LATE SPRING	
DBC	5 GAL	TBD	DAHPNE X BURKWOODII 'CAROL MACKIE'	CAROL MACKIE DAPHNE	3-5'	3-5'	MEDIUM	FILTERED SHADE TO SHADE	WHITE	SPRING	
EFE	5 GAL	TBD	EUONYMUS FORTUNEI 'EMERALD GAIIETY'	EMERALD GAIIETY EUONYMUS	18-24"	3-4'	MEDIUM	FILTERED SHADE TO SHADE	N/A	EARLY SUMMER	
FP	5 GAL	TBD	FALLUGIA PARADOXA	APACHE PLUME	3-6'	3-6'	VERY LOW	SUN	WHITE	SUMMER	
HP	5 GAL	TBD	HESPERALOE PARVIFLORA	RED FALSE YUCCA	3-4'	3-4'	VERY LOW	SUN	RED TO ORANGE-RED	SUMMER	
HPY	5 GAL	TBD	HESPERALOE PARVIFLORA 'YELLOW'	YELLOW FALSE YUCCA	3-4'	3-4'	VERY LOW	SUN	YELLOW	SUMMER	
LVL	5 GAL	TBD	LIGUSTRUM VULGARE 'LODENSE'	LODENSE PRIVET	2-3'	3-4'	LOW	SUN TO FILTERED SHADE	WHITE	EARLY SUMMER	
PS	5 GAL	TBD	PHILADELPHUS X 'SNOWBELLE'	SNOWBELLE MOCKORANGE	3-4'	3-4'	LOW	SUN	WHITE	LATE SPRING TO EARLY SUMMER	
PON	5 GAL	TBD	PHYSOCARPUS OPULIFOLIUS 'NANUS'	DWARF NINEBARK	4-5'	4-5'	LOW	SUN TO FILTERED SHADE	WHITE	LATE SPRING	
PBFB	5 GAL	TBD	PRUNUS BESSEYI PAWNEE BUTTES	CREEPING WESTER SAND CHEERY	15-30"	4-6'	LOW	SUN	WHITE	SPRING	
RAG	5 GAL	TBD	RHUS AROMATICA 'GRO-LOW'	DWARF FRAGRANT SUMAC	2-3'	6-8'	LOW	SUN	YELLOW	EARLY SPRING	
RA	5 GAL	TBD	RIBES ALPINUM	ALPINE CURRANT	3-6'	3-6'	LOW	SUN TO FILTERED SHADE	YELLOWISH-GREEN	MID-SPRING	
RW	5 GAL	TBD	ROSA WOODSII	WOODS' ROSE	3-6'	3-6'	LOW	SUN	PINK	EARLY SUMMER	

EVERGREEN SHRUBS											
KEY	SIZE	QUANTITY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	WATER USE	EXPOSURE	COLOR	SEASON	
JCG	5 GAL	TBD	JUNIPERUS COMMUNIS 'GREEN CARPET'	GREEN CARPET JUNIPER	8-10"	2-3'	LOW	SUN	N/A	N/A	
JHI	5 GAL	TBD	JUNIPERUS HORIZONTALIS ICEE BLUE	ICEE BLUE JUNIPER	2-4"	6-8"	LOW	SUN	N/A	N/A	
JSC	5 GAL	TBD	JUNIPERUS SABINA CALGARY CARPET	CALGARY CARPET JUNIPER	12-18"	6-8"	LOW	SUN TO FILTERED SHADE	N/A	N/A	
MAC	5 GAL	TBD	MAHONIA AQUIFOLIUM 'COMPACTA'	COMPACT OREGON GRAPE HOLLY	2-3'	2-3'	LOW	SHADE	YELLOW	MID-SPRING	
PMW	5 GAL	TBD	PINUS MUGO 'WHITE BUD'	WHITE BUD MUGO PINE	2-3'	3-4'	LOW	SUN TO FILTERED SHADE	N/A	N/A	
PSA	5 GAL	TBD	PINUS SYLVESTRIS 'ALBYN PROSTRATA'	SPREADING SCOTS PINE	2'	8'	LOW	SUN	N/A	N/A	

ORNAMENTAL TREES											
KEY	SIZE	QUANTITY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	WATER USE	EXPOSURE	COLOR	SEASON	
GTS	2.0' CAL	4	GLEDITSIA TRIACANTHOS STREET KEEPER	STREET KEEPER HONEYLOCUST	30-45'	15-20'	LOW	SUN	N/A	N/A	
PPM	2.0' CAL	3	PRUNUS PADUS 'MERLOT'	PURPLE LEAF MAYDAY TREE	15-20'	15-20'	MEDIUM	ADAPTABLE	WHITE	SPRING	
PCR	2.0' CAL	1	PYRUS CALLERYANA 'REDSPIRE'	REDSPIRE PEAR	30-35'	20-25'	MEDIUM	SUN	WHITE	SPRING	
XS	2.0' CAL	1	XANTHOCERAS SORBIFOLIA	YELLOWHORN	8-25'	10-25'	MEDIUM	SUN	WHITE W/ RED OR YELLOW	SPRING	

SHADE TREES											
KEY	SIZE	QUANTITY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	WATER USE	EXPOSURE	COLOR	SEASON	
CC	2.5" CAL	6	CORYLIUS COLURNA	TURKISH FILBERT	30-45'	25-30'	LOW	SUN	N/A	N/A	
GDE	2.5" CAL	1	GYMNOCLADUS DIOICUS 'ESPRESSO'	SEEDLESS KENTUCKY COFFEETREE	50-60'	40-50'	LOW	SUN	YELLOW-GREEN	SPRING	
QB	2.5" CAL	2	QUERCUS BICOLOR	SWAMP WHITE OAK	40-60'	40-60'	LOW	SUN TO FILTERED SHADE	N/A	N/A	
QM	2.5" CAL	2	QUERCUS MACROCARPA	BUR OAK	50-80'	50-80'	LOW	SUN	N/A	N/A	
QMU	2.5" CAL	3	QUERCUS MUEHLENBERGII	CHINKAPIN OAK	35-50'	35-50'	LOW	SUN	N/A	N/A	
UXT	2.5" CAL	1	ULMUS X TRIUMPH	TRIUMPH ELM	50-60'	40-50'	MEDIUM	SUN	N/A	N/A	
ZS	2.5" CAL	3	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	40-60'	30-50'	MEDIUM	SUN	N/A	N/A	

EVERGREEN TREES											
KEY	SIZE	QUANTITY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	WATER USE	EXPOSURE	COLOR	SEASON	
PPBL	6 FT.	2	PICEA PUNGENS 'BLUE TOTEM'	FASTIGIATE SPRUCE	25-40'	10-15'	MEDIUM	SUN	N/A	N/A	
PE	6 FT.	2	PINUS EDULIS	PINON PINE	20-30'	10-20'	VERY LOW	SUN TO FILTERED SHADE	N/A	N/A	

CITY OF BOULDER LANDSCAPE NOTES:

- LANDSCAPING SCHEDULE: (A) NOTHING SHALL BE PLANTED BETWEEN OCTOBER 15 AND MARCH 1 WITHOUT PRIOR WRITTEN APPROVAL OF THE CITY. STOCK, OTHER THAN CONTAINER-GROWN STOCK, SHALL NOT BE PLANTED BETWEEN JUNE 1 AND SEPTEMBER 1 WITHOUT PRIOR WRITTEN APPROVAL OF THE CITY. BARE ROOT STOCK SHALL NOT BE PLANTED AFTER APRIL 30 OR IF PLANTS HAVE BEGUN TO LEAF OUT. (B) NOTHING SHALL BE PLANTED DURING FREEZING OR EXCESSIVELY WINDY, HOT, OR WET WEATHER OR WHEN THE GROUND CONDITIONS CANNOT BE PROPERLY WORKED FOR DIGGING, MIXING, RAKING, OR GRADING. (C) NOTHING SHALL BE PLANTED UNTIL THE ADJACENT SITE IMPROVEMENTS, PAVEMENTS, IRRIGATION INSTALLATION AND FINISH GRADING IS COMPLETED. THE CONTRACTOR SHALL TEST THE IRRIGATION SYSTEM IN THE PRESENCE OF THE DIRECTOR. THE IRRIGATION SYSTEM SHALL BE IN APPROVED, OPERATING CONDITION PRIOR TO ANY PLANTING.
- SITE PREPARATION AND ALL PLANTING SHALL BE COMPLETED, AT A MINIMUM, IN ACCORDANCE WITH THE CITY OF BOULDER DESIGN AND CONSTRUCTION STANDARDS. SITE PREPARATION SHALL INCLUDE TILLING THE SOIL TO A MINIMUM DEPTH OF SIX INCHES BELOW THE FINISHED GRADE, TOGETHER WITH SOIL AMENDMENTS THAT ARE APPROPRIATE TO ENSURE THE HEALTH AND SUSTAINABILITY OF THE LANDSCAPING TO BE PLANTED.
- TURF GRASS SHALL BE LIMITED TO A MAXIMUM OF 25 PERCENT OF ALL LANDSCAPE AREAS ON THE SITE.
- ALL PLANTING BEDS AND A 3-FOOT DIAMETER RING AT THE BASE OF EACH TREE WITHIN SOD OR SEEDED AREAS SHALL BE MULCHED WITH ORGANIC MULCH AT LEAST 4" DEEP.
- GRAVEL, ROCK MULCH, OR CRUSHER FINES SHALL NOT BE USED UNDER TREES OR ANY PLANTING AREAS. ROCK OR GRAVEL MAY ONLY BE USED AS A SPECIFIC ORNAMENTAL FEATURE IN LIMITED AREAS (SUCH AS AT THE BOTTOM OF A DRAINAGE SWALE OR DRY RIVER BED) OR AS A PEDESTRIAN PATH OR PATIO.
- WEED BARRIER FABRIC SHALL NOT BE USED IN ANY PLANTING AREAS.
- ALL PLANTS SHALL BE GROUPED BY WATER NEEDS. A MINIMUM OF 75 PERCENT OF ALL LANDSCAPED AREAS (INCLUDING ANY TURF GRASS) MUST USE LOW TO MODERATE WATER DEMAND PLANTS. THE LANDSCAPE SHALL BE DESIGNED SO THAT, AT MATURITY, NOT MORE THAN 10 PERCENT OF THE LANDSCAPED AREA IS EXPOSED MULCH.
- ALL LANDSCAPE AREAS SHALL BE WATERED BY AN AUTOMATIC IRRIGATION SYSTEM. THE IRRIGATION SYSTEM MUST BE ZONED TO DELIVER DIFFERENT APPROPRIATE AMOUNTS OF WATER TO DIFFERENT PLANT ZONES. THE SITE SHOULD BE IRRIGATED WITH DRIP IRRIGATION, BUBBLER, OR MICRO-SPRAY SYSTEMS. ALL TREES WILL BE ZONED SEPARATELY FROM TURF GRASS. ALL IRRIGATION ZONES SHALL USE A SMART SYSTEM THAT ADJUSTS FOR RAINFALL, SOIL MOISTURE, AND OTHER WEATHER FACTORS.
- PROTECTIVE MAINTENANCE: AN APPLICANT FOR CONSTRUCTION APPROVAL SHALL PROVIDE MAINTENANCE AND CARE FOR ALL EXISTING TREES REQUIRED TO BE PROTECTED IN THE PUBLIC RIGHT-OF-WAY ADJACENT TO ANY PROJECT OR CONSTRUCTION SITE DURING CONSTRUCTION ACTIVITIES AND THE PUBLIC IMPROVEMENT WARRANTY PERIOD TO ENSURE THAT EXISTING TREES SURVIVE AND ARE NOT DAMAGED. REFER TO CHAPTER 3 OF THE DESIGN AND CONSTRUCTION STANDARDS FOR ALL TREE PROTECTION REQUIREMENTS. (ONLY APPLICABLE TO EXISTING PUBLIC STREET TREES OR EXISTING PRIVATE TREES THAT WILL MEET THE STREET TREE REQUIREMENTS OF SECTION 9-9-13 BRC 1981)
- ALL NEW TREES SHALL BE LOCATED A MINIMUM OF 10' FROM ANY EXISTING WATER OR SEWER UTILITY LINES OR FROM LIGHT POLES OR OVERHEAD UTILITY POLES. ALL NEW UTILITY LINES SHALL BE LOCATED A MINIMUM OF 10' FROM ANY EXISTING PUBLIC STREET TREE.

OTHER LANDSCAPE NOTES:

- ALL PLANT MATERIAL SHALL MEET SPECIFICATIONS OF THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) FOR NUMBER ONE GRADE. ALL TREES SHALL BE BALLED AND BURLAPPED OR EQUIVALENT. ALL PLANT MATERIALS SHALL HAVE ALL WIRE, TWINE OR OTHER CONTAINMENT MATERIALS, EXCEPT FOR BURLAP, REMOVED FROM TRUNK AND ROOT BALL OF THE PLANT PRIOR TO PLANTING.
- GRADES SHALL BE SET TO ALLOW FOR PROPER DRAINAGE AWAY FROM STRUCTURES. GRADES SHALL MAINTAIN SMOOTH PROFILES AND BE FREE OF SURFACE DEBRIS, BUMPS, AND DEPRESSIONS.
- OWNERS SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS DONE BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTIONS DOES NOT CONFLICT NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.
- ALL SHRUB BEDS ADJACENT TO TURF AREAS SHALL BE EDGED WITH ROLLED TOP STEEL EDGER.
- ALL SHRUB BED AREAS, PERENNIALS AND GROUND COVER SHALL BE MULCHED WITH A 4" LAYER OF GORILLA HAIR MULCH. DO NOT USE WEED BARRIER FABRIC IN ANY OF THE LANDSCAPE BEDS.
- PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEED; ORGANIC SOIL AMENDMENTS SHALL BE INCORPORATED AT THE RATE OF AT LEAST FOUR (4) CUBIC YARDS PER 1000 SQUARE FEET OF LANDSCAPE AREA.
- PROVIDE 12" OF TOPSOIL IN ALL PLANTING AREAS THAT WERE PREVIOUSLY HARDCAPE.
- PLANTS ARE GROUPED BY WATER USE ZONE TO CONSERVE WATER.
- CONTRACTOR SHALL VERIFY ALL MATERIAL QUANTITIES PRIOR TO INSTALLATION. ACTUAL NUMBER OF PLANT SYMBOLS SHALL HAVE PRIORITY OVER THE QUANTITY DESIGNATED.
- REFER TO THE CITY OF BOULDER DESIGN AND CONSTRUCTION STREETSCAPING STANDARDS FOR ALL WORK WITHIN PUBLIC AREAS.
- REFER TO THE CIVIL ENGINEER DRAWINGS FOR GRADING AND UTILITY INFORMATION.
- REFER TO THE CITY OF BOULDER DESIGN AND CONSTRUCTION STANDARDS FOR TREE PROTECTION REQUIREMENTS.

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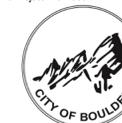
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Full Design Team Roster on Sheet 1-G0.01

Client and Project Information



Boulder Western City Campus - Volume 2 Garage & Brenton
 2655 BROADWAY
 Boulder, CO 80302

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Sheet Title

PLANT SCHEDULE

Sheet Number

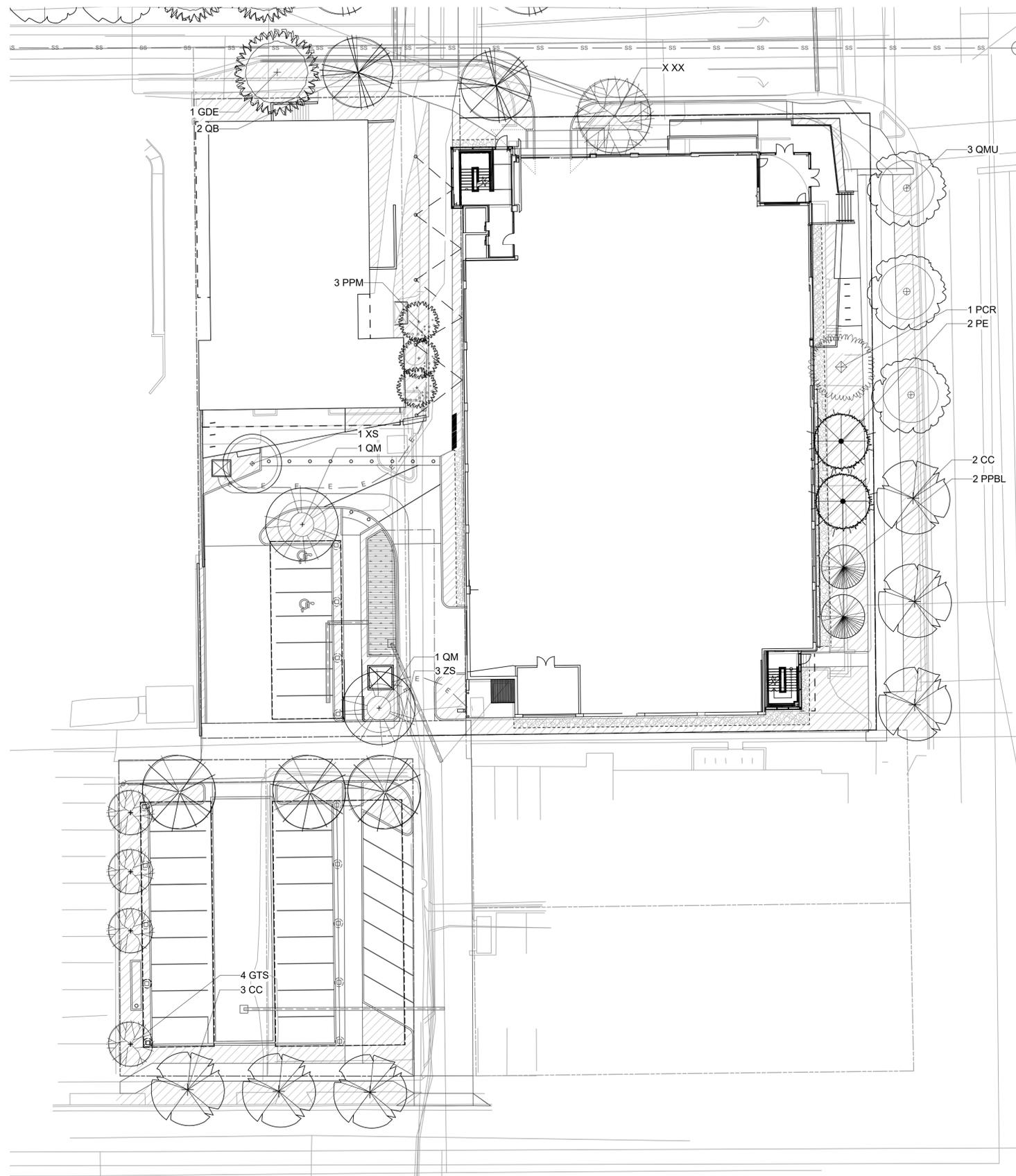
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LEGEND

-  EXISTING TREE TO REMAIN
-  PLANTING BED - SHRUBS, ORN GRASSES, PERENNIALS - 5 GAL SHRUBS, 1 GAL GRASSES AND PERENNIALS
-  PLANTING BED - WATER QUALITY PLANTINGS
-  ROCK MULCH
-  LANDSCAPE EDGER

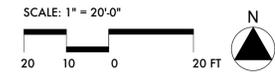
TREE KEY

ORNAMENTAL TREES			
KEY	SIZE	BOTANICAL NAME	COMMON NAME
GTS	2.0"	CAL GLEDITSIA TRIACANTHOS STREET KEEPER	STREET KEEPER HONEYLOCUST
PPM	2.0"	CAL PRUNUS PADUS 'MERLOT'	PURPLE LEAF MAYDAY TREE
PCR	2.0"	CAL PYRUS CALLERYANA 'REDSPIRE'	REDSPIRE PEAR
XS	2.0"	CAL XANTHOCERAS SORBIFOLIA	YELLOWHORN

SHADE TREES			
KEY	SIZE	BOTANICAL NAME	COMMON NAME
CC	2.5"	CAL CORYLUS COLURNA	TURKISH FILBERT
GDE	2.5"	CAL GYMNOCLADUS DIOICUS 'ESPRESSO'	SEEDLESS KENTUCKY COFFEETREE
QB	2.5"	CAL QUERCUS BICOLOR	SWAMP WHITE OAK
QM	2.5"	CAL QUERCUS MACROCARPA	BUR OAK
QMU	2.5"	CAL QUERCUS MUEHLENBERGII	CHINKAPIN OAK
UXT	2.5"	CAL ULMUS X TRIUMPH	TRIUMPH ELM
ZS	2.5"	CAL ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA

EVERGREEN TREES			
KEY	SIZE	BOTANICAL NAME	COMMON NAME
PPBL	6 FT.	PICEA PUNGENS 'BLUE TOTEM'	FASTIGIATE SPRUCE
PE	6 FT.	PINUS EDULIS	PINON PINE

SIGHT TRIANGLE NOTES:
 PER BOULDER REVISED CODE 9-9-7(B):
 OBSTRUCTION PROHIBITED: NO PERSON SHALL PLACE OR MAINTAIN ANY STRUCTURES, FENCES, LANDSCAPING, OR ANY OTHER OBJECTS WITHIN ANY SIGHT TRIANGLE AREA DESCRIBED IN SUBSECTION (C) OF THIS SECTION THAT OBSTRUCTS OR OBSCURES SIGHT DISTANCE VISIBILITY THROUGH SUCH STRUCTURES, FENCING, LANDSCAPING, OR OTHER OBJECTS BY MORE THAN TWENTY-FIVE PERCENT OF THE TOTAL VIEW IN THE VERTICAL PLANE ABOVE THE SIGHT TRIANGLE AREA BETWEEN A HEIGHT OF THIRTY INCHES AND NINETY-SIX INCHES ABOVE THE ROADWAY SURFACE, EXCEPT FOR THE FOLLOWING:
 (1) LANDSCAPING, STRUCTURES, OR FENCES THAT PROTRUDE NO MORE THAN THIRTY INCHES ABOVE THE ADJACENT ROADWAY SURFACE MAY BE PERMITTED WITHIN THE SIGHT TRIANGLE AREA.
 (2) TREES MAY BE PLANTED AND MAINTAINED WITHIN THE SIGHT TRIANGLE AREA IF ALL BRANCHES ARE TRIMMED TO MAINTAIN A CLEAR VISION FOR A VERTICAL HEIGHT OF NINETY-SIX INCHES ABOVE THE ROADWAY SURFACE AND THE LOCATION OF THE TREES PLANTED, BASED ON THE TREE SPECIES EXPECTED MATURE HEIGHT AND SIZE, DOES NOT OBSTRUCT SIGHT VISIBILITY BY MORE THAN TWENTY-FIVE PERCENT OF THE SIGHT TRIANGLE AREA.



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Full Design Team Roster on Sheet 1-G0.01

Client and Project Information



Boulder Western City
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Garage & Brenton
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Key Plan and Orientation

Revisions

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LANDSCAPE PLAN

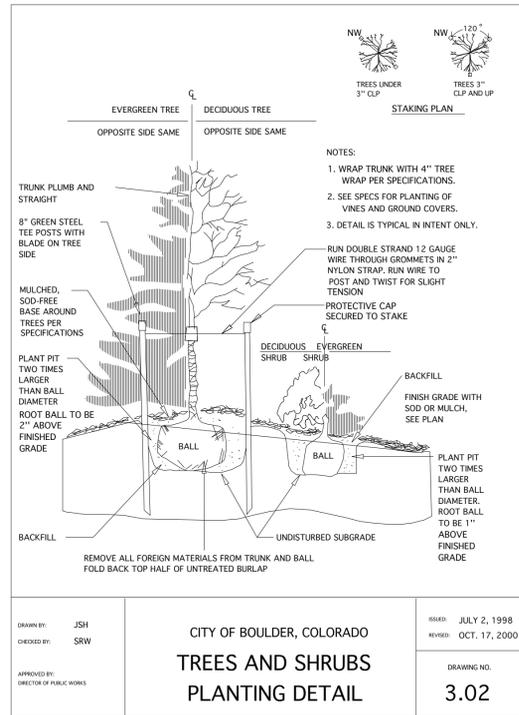
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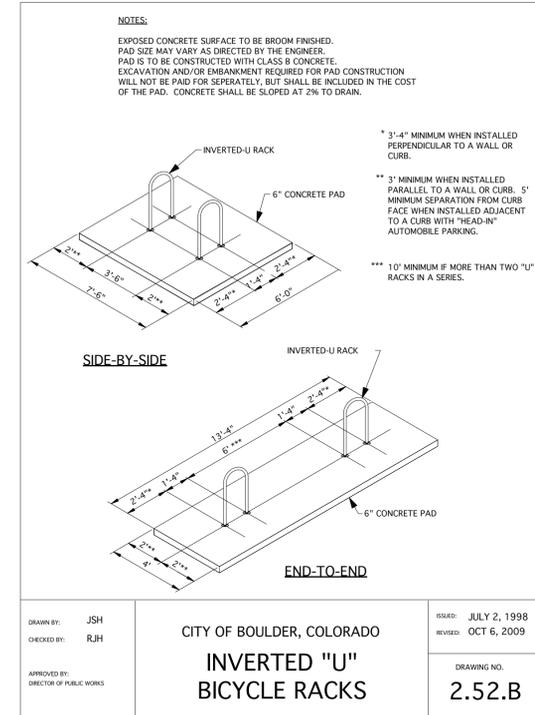


DRAWN BY: JSH
 CHECKED BY: SRW
 APPROVED BY: DIRECTOR OF PUBLIC WORKS

CITY OF BOULDER, COLORADO
**TREES AND SHRUBS
 PLANTING DETAIL**

REVISIONS:
 JULY 2, 1998
 OCT. 17, 2000

DRAWING NO. **3.02**



NOTES:
 EXPOSED CONCRETE SURFACE TO BE BROOM FINISHED.
 PAD SIZE MAY VARY AS DIRECTED BY THE ENGINEER.
 PAD IS TO BE CONSTRUCTED WITH CLASS B CONCRETE.
 EXCAVATION AND/OR EMBANKMENT REQUIRED FOR PAD CONSTRUCTION WILL NOT BE PAID FOR SEPERATELY, BUT SHALL BE INCLUDED IN THE COST OF THE PAD. CONCRETE SHALL BE SLOPED AT 2% TO DRAIN.

* 3'-4" MINIMUM WHEN INSTALLED PERPENDICULAR TO A WALL OR CURB.
 ** 3' MINIMUM WHEN INSTALLED PARALLEL TO A WALL OR CURB. 5' MINIMUM SEPARATION FROM CURB FACE WHEN INSTALLED ADJACENT TO A CURB WITH "HEAD-IN" AUTOMOBILE PARKING.
 *** 10' MINIMUM IF MORE THAN TWO "U" RACKS IN A SERIES.

DRAWN BY: JSH
 CHECKED BY: RJH
 APPROVED BY: DIRECTOR OF PUBLIC WORKS

CITY OF BOULDER, COLORADO
**INVERTED "U"
 BICYCLE RACKS**

REVISIONS:
 JULY 2, 1998
 OCT 6, 2009

DRAWING NO. **2.52.B**



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Full Design Team Roster on Sheet 1-G0.01

Client and Project Information



**Boulder Western City
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 Garage & Brenton**
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 Boulder, CO 80302

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Key Plan and Orientation

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**PLANTING
 DETAILS**

Sheet Number

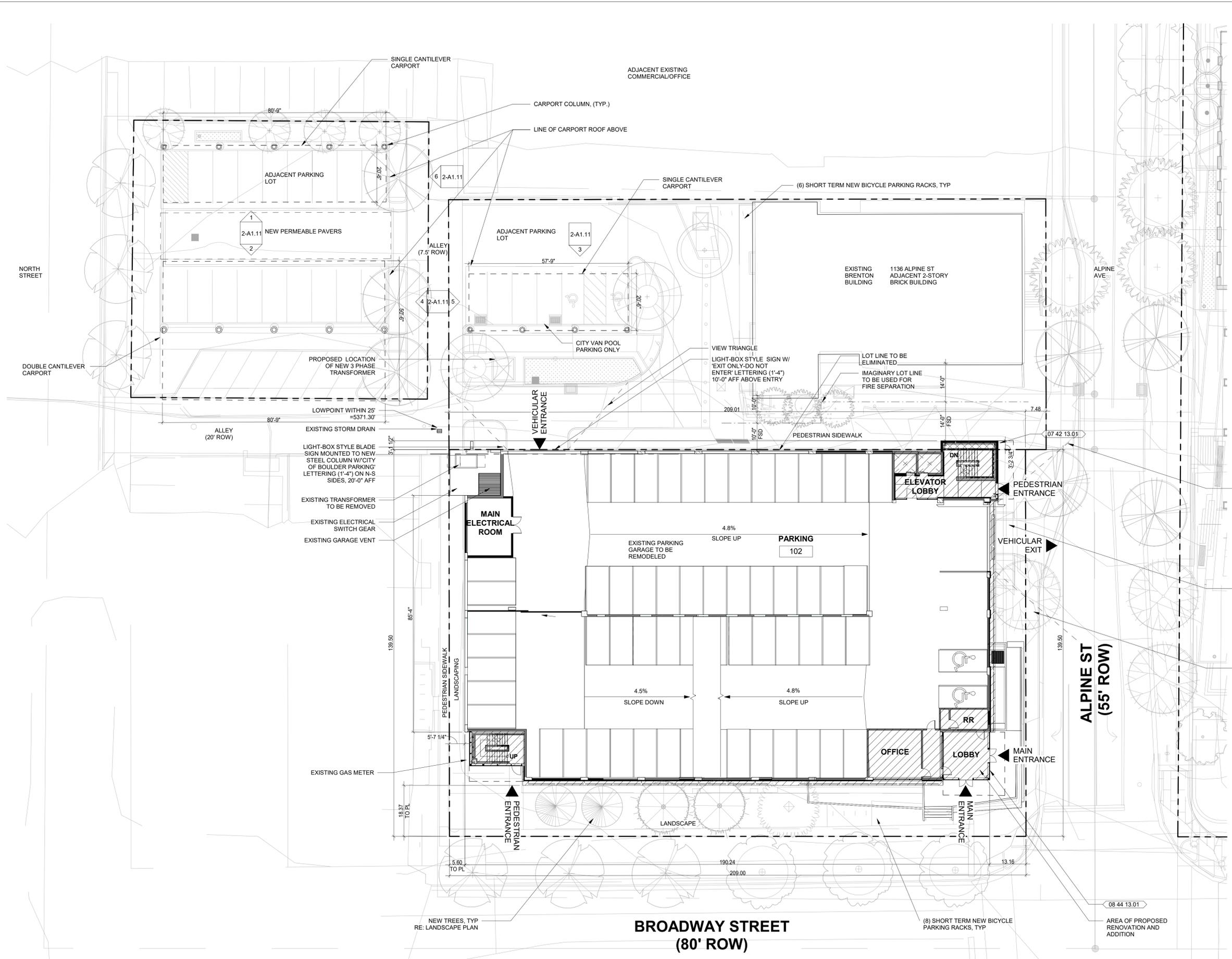
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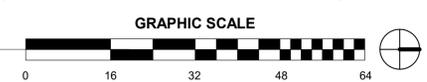
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1 SITE PLAN
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 - LANDSCAPE**
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758 CLUB CIRCLE
LOUISVILLE, CO 80027
T 303 494 9138
 - STRUCTURAL**
ANTHEM STRUCTURAL ENGINEERS
FLATRICK OFFICE PARK
2213 CENTRAL AVENUE
BOULDER, CO 80501
T 303 448 8497
 - MEP**
BRANCH PATTERN
3344 WALNUT STREET
DENVER, CO 80205
T 303 382 1920
 - LIGHTING**
AE DESIGN
1900 WAZEE STREET, #205
DENVER, CO 80202
T 303 296 3034
 - AV/TECHNOLOGY/SECURITY**
SALAS O'BRIEN
4900 MULTIPLE CT, N. SUITE 200
BOULDER, CO 80501
T 303 865 5500

Full Design Team Roster on Sheet 1-G0.01



**COB West Campus Parking
Garage**
2655 Broadway Ave.
BOULDER, CO

Original Issue	NO.	DATE	DESCRIPTION
	10/13/23		DESIGN DEVELOPMENT ESTIMATE SET

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Sheet Status: **NOT FOR CONSTRUCTION**

Sheet Title: **ARCHITECTURAL SITE PLAN**

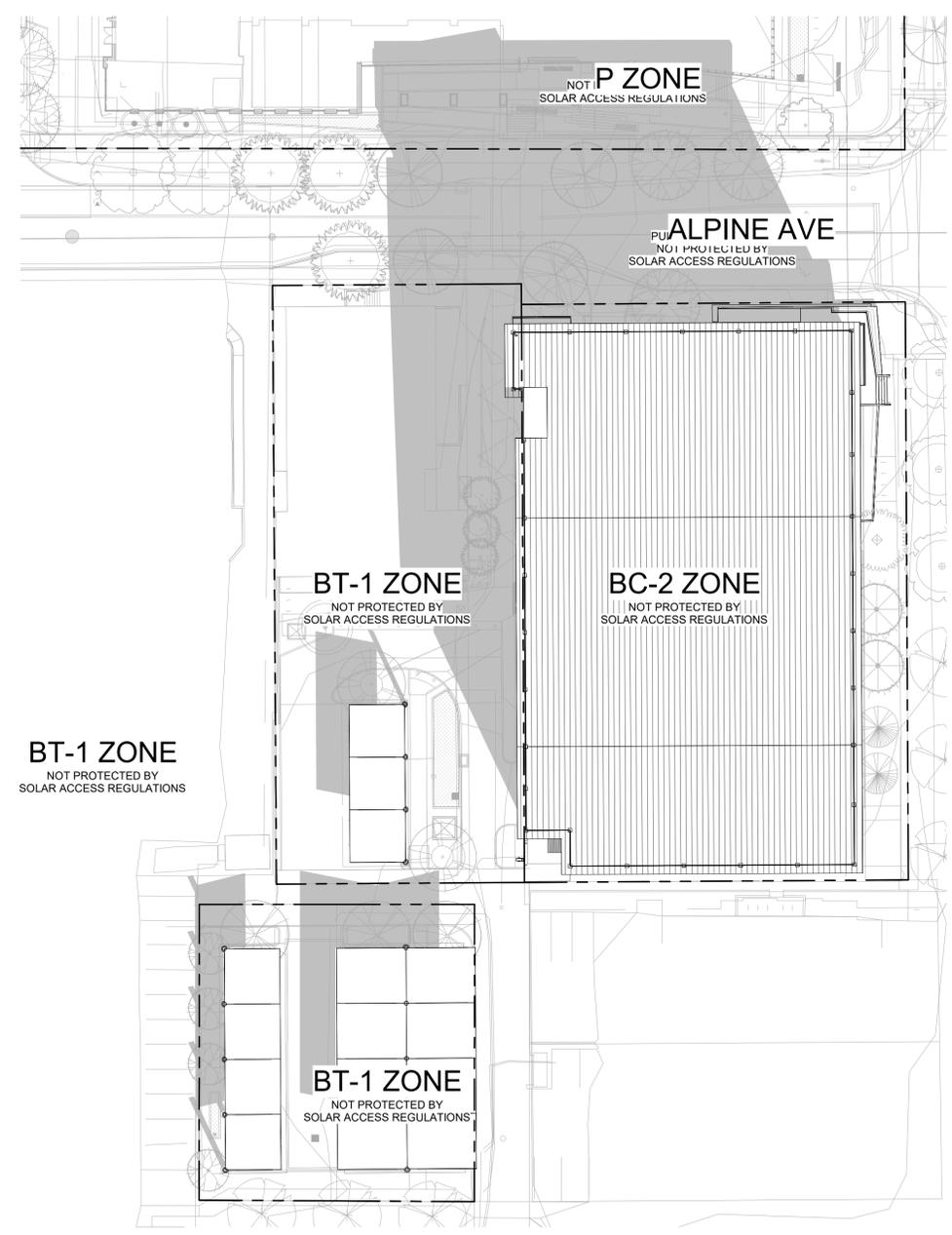
Sheet Number: **2-A1.01**

Current Issue: **SITE REVIEW**

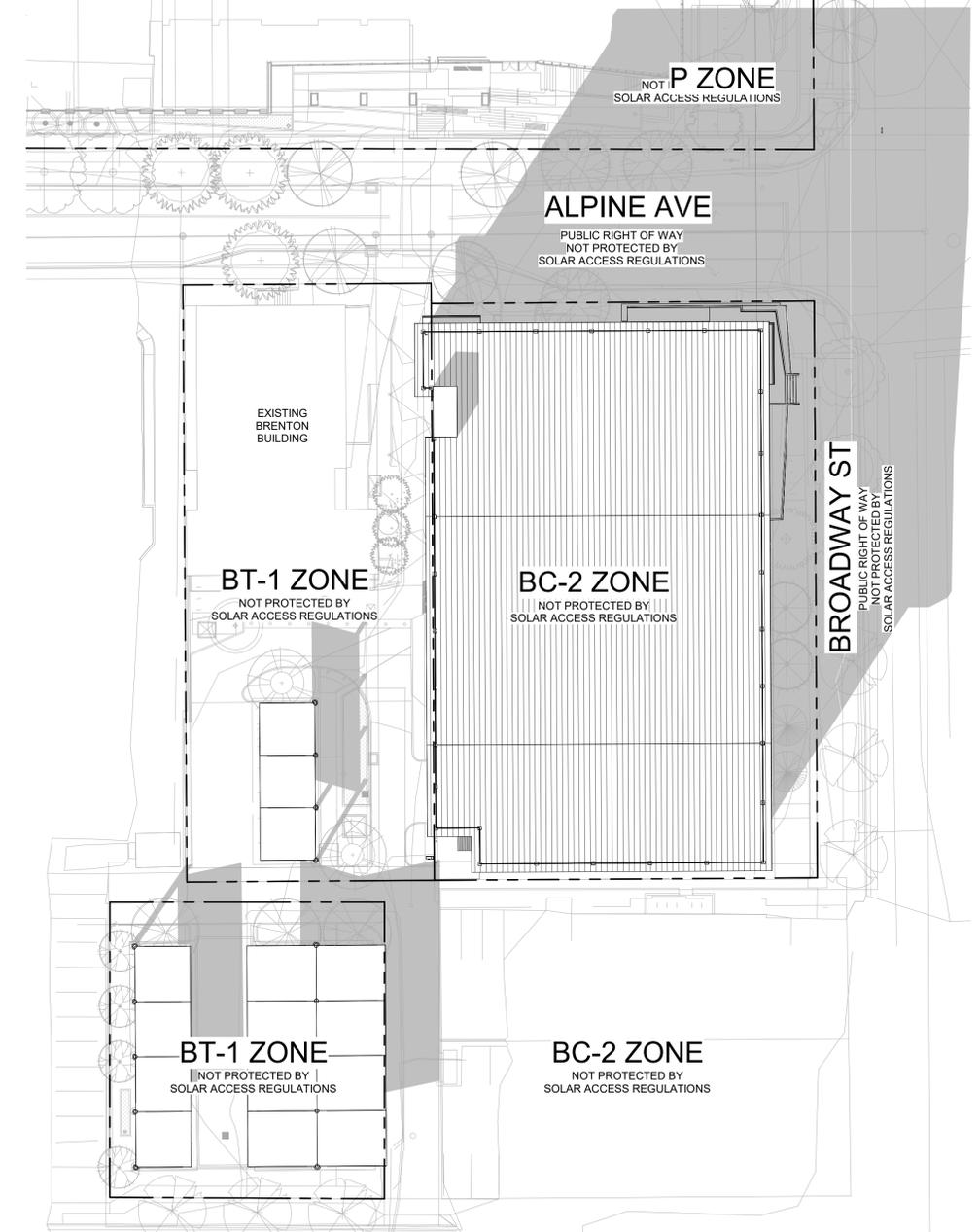
Current Issue Date: **11/03/2023**

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Sheet Size: 24 x 36 11/2/2023 11:46:57 AM



2 | SHADOW ANALYSIS - 10AM - SR
1" = 30'-0"



1 | SHADOW ANALYSIS - 2PM - SR
1" = 30'-0"



Consultant

CIVIL
THE SANTAS GROUP
801 MAIN STREET, SUITE 210
LOUISVILLE, CO 80027
T 303 981 9238

ENTITLEMENTS
STUDIO ARCHITECTURE
2965 55TH STREET, #17803
BOULDER, CO 80301
T 720 491 1167

LANDSCAPE
STUDIO TERRA INC.
758 CLUB CIRCLE
LOUISVILLE, CO 80027
T 303 494 9138

STRUCTURAL
ANTHEM STRUCTURAL ENGINEERS
FLATRICK OFFICE PARK
2213 CENTRAL AVENUE
BOULDER, CO 80301
T 303 448 8497

MEP
BRANCH PATTERN
3344 WALNUT STREET
DENVER, CO 80205
T 303 382 1920

LIGHTING
AE DESIGN
1900 WAZEE STREET, #205
DENVER, CO 80202
T 303 296 3034

AV/TECHNOLOGY/SECURITY
K2 AUDIO
480 MULTIS CT. N. SUITE 200
BOULDER, CO 80301
T 303 865 5500

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Client and Project Information



**COB West Campus Parking
Garage**
2655 Broadway Ave.
BOULDER, CO

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Sheet Title

**SOLAR ACCESS
PLANS**

Sheet Number

2-A1.02

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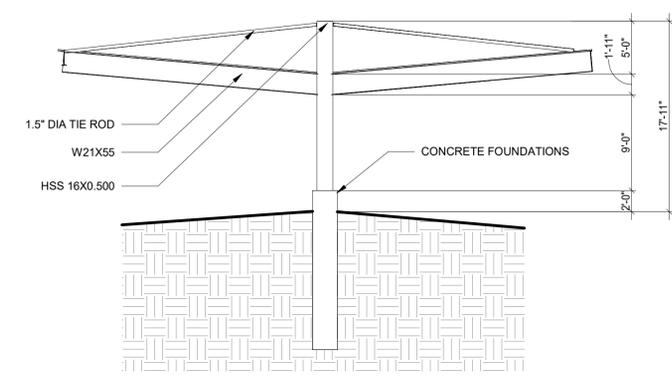
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Current Issue Date

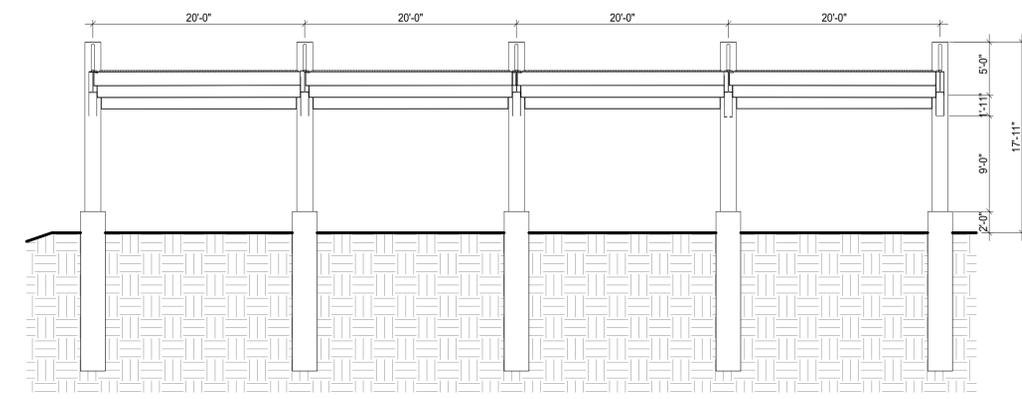
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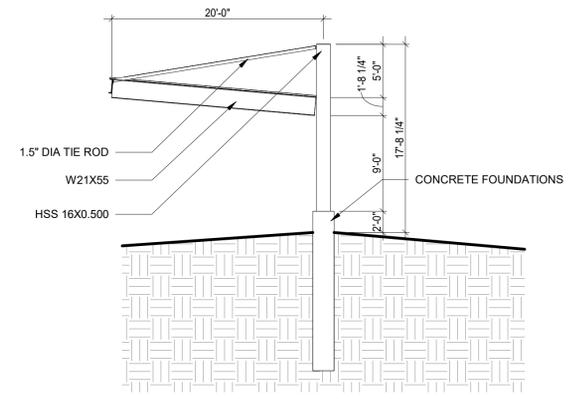
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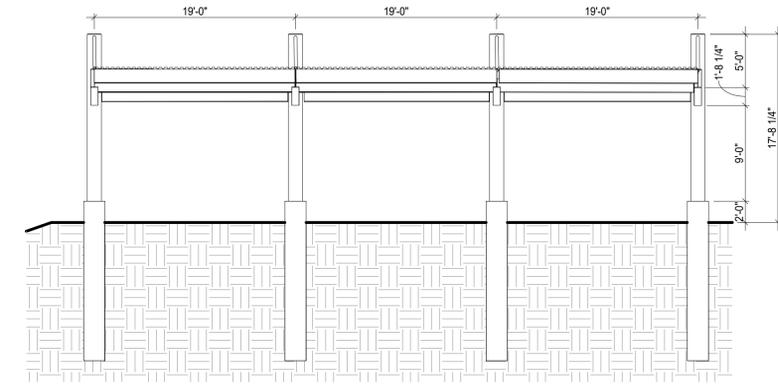
6 CARPORT 3 - SIDE ELEVATION
1/8" = 1'-0"



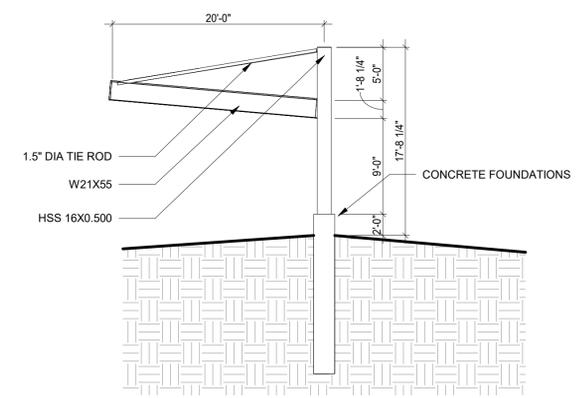
3 CARPORT 3 - FRONT ELEVATION
1/8" = 1'-0"



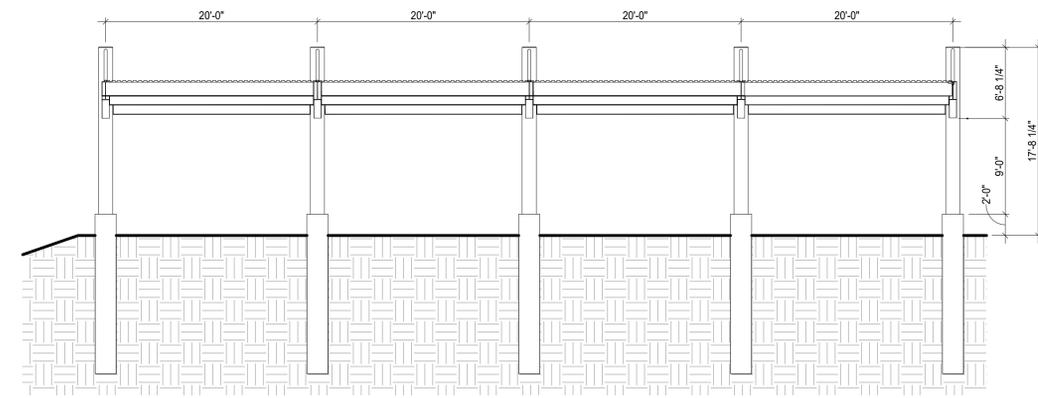
5 CARPORT 2 - SIDE ELEVATION
1/8" = 1'-0"



2 CARPORT 2 - FRONT ELEVATION
1/8" = 1'-0"



4 CARPORT 1 - SIDE ELEVATION
1/8" = 1'-0"



1 CARPORT 1 - FRONT ELEVATION
1/8" = 1'-0"



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801 MAIN STREET, SUITE 210
LOUISVILLE, CO 80027
T 303.981.9238
 - ENTITLEMENTS**
STUDIO ARCHITECTURE
2965 55TH STREET, #17803
BOULDER, CO 80301
T 720.491.1167
 - LANDSCAPE**
STUDIO TERRA INC.
758 CLUB CIRCLE
LOUISVILLE, CO 80027
T 303.494.9138
 - STRUCTURAL**
ANTHEM STRUCTURAL ENGINEERS
FLATRICK OFFICE PARK
2213 CENTRAL AVENUE
BOULDER, CO 80301
T 303.848.8487
 - MEP**
BRANCH PATTERN
3344 WALNUT STREET
DENVER, CO 80205
T 303.382.1920
 - LIGHTING**
AE DESIGN
1900 WAZEE STREET, #205
DENVER, CO 80202
T 303.266.3034
 - AV/TECHNOLOGY/SECURITY**
K2 AUDIO
880 MULTIS CT N, SUITE 200
BOULDER, CO 80301
T 303.865.5500

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Client and Project Information



**COB West Campus Parking
Garage**
2655 Broadway AVE.
BOULDER, CO

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Sheet Title
SITE DETAILS

Sheet Number
2-A1.11

Current Issue
SITE REVIEW

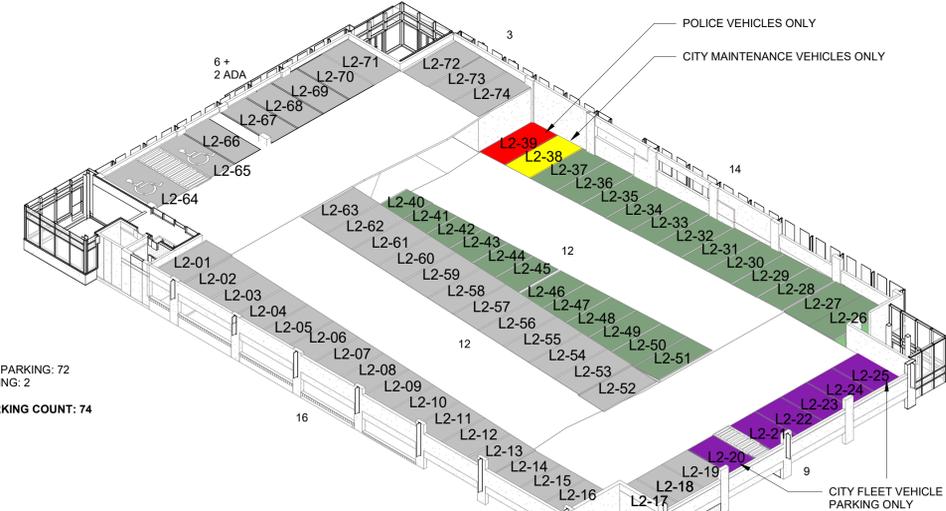
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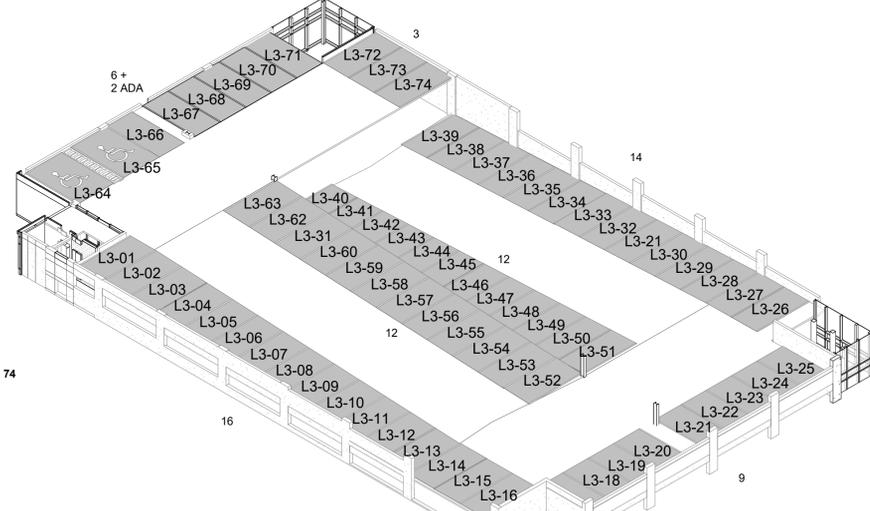
4 LEVEL 2 : SHARED PARKING (EXCEPT AS NOTED)

TOTAL COMPACT PARKING: 72
TOTAL ADA PARKING: 2
TOTAL FINAL PARKING COUNT: 74



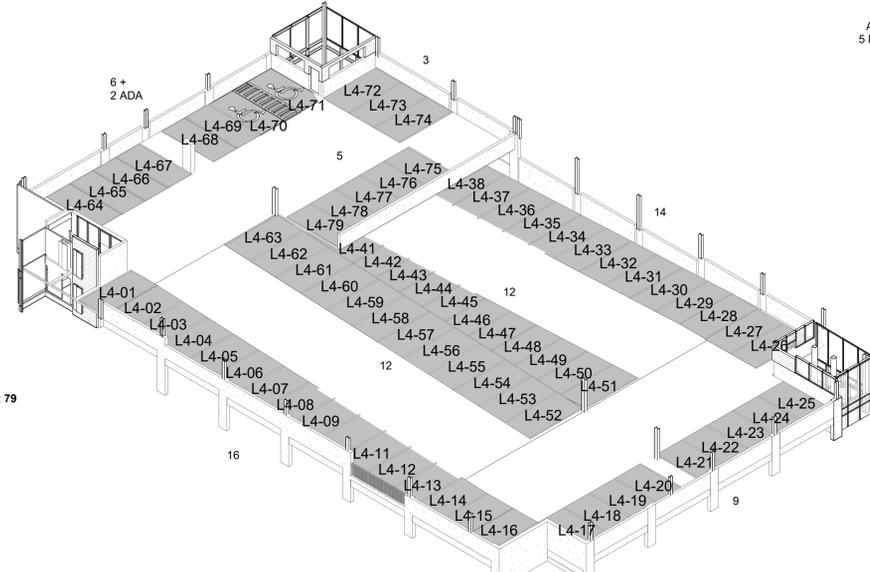
5 LEVEL 3 : SHARED PARKING

TOTAL COMPACT PARKING: 72
TOTAL ADA PARKING: 2
TOTAL FINAL PARKING COUNT: 74



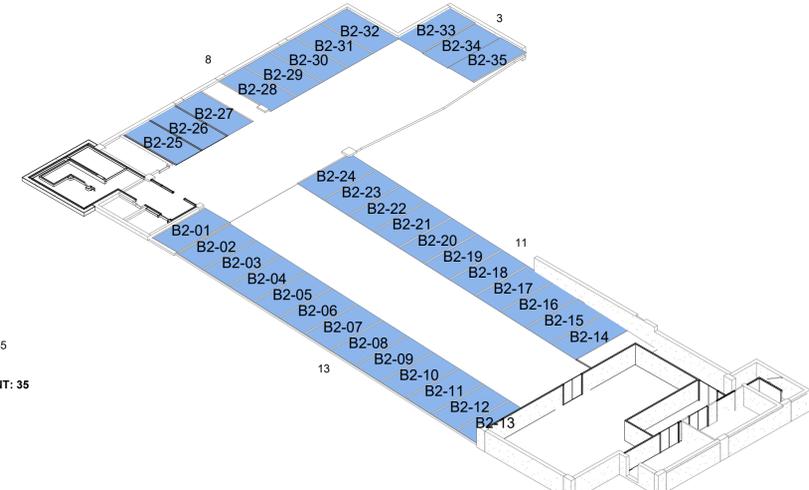
6 LEVEL 4 : SHARED PARKING

TOTAL COMPACT PARKING: 77
TOTAL ADA PARKING: 2
TOTAL FINAL PARKING COUNT: 79



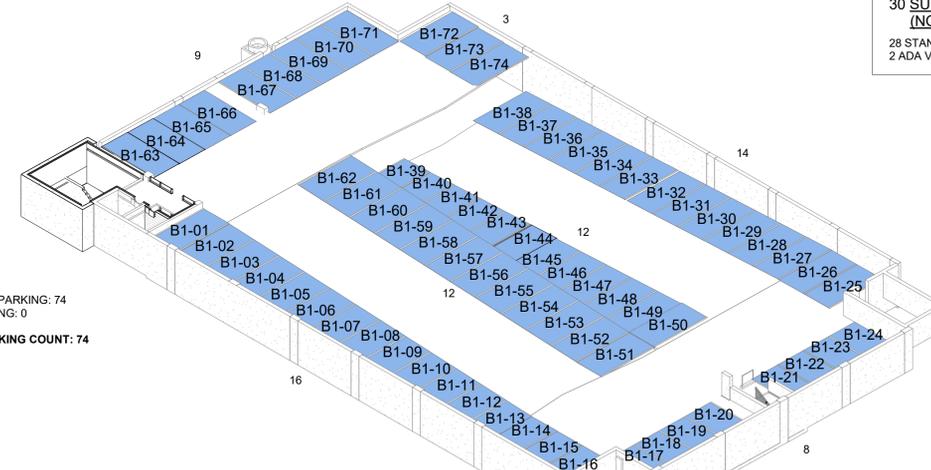
1 LEVEL B2 : RESIDENTIAL PARKING ONLY

TOTAL COMPACT PARKING: 35
TOTAL ADA PARKING: 0
TOTAL FINAL PARKING COUNT: 35



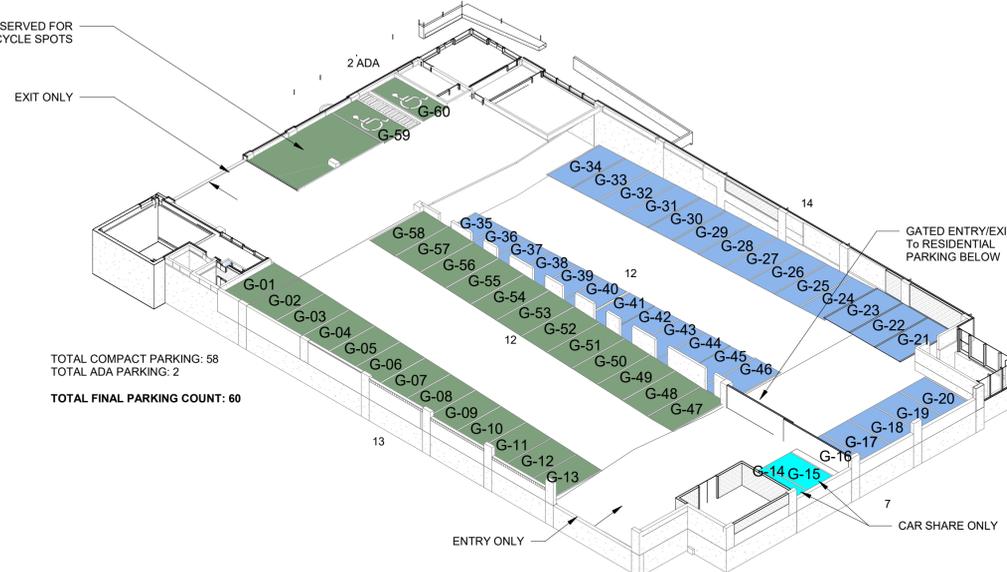
2 LEVEL B1 : RESIDENTIAL PARKING ONLY

TOTAL COMPACT PARKING: 74
TOTAL ADA PARKING: 0
TOTAL FINAL PARKING COUNT: 74



3 LEVEL 1 : CITY CUSTOMER PARKING ONLY & RESIDENTIAL PARKING ONLY (G16-G35)

TOTAL COMPACT PARKING: 58
TOTAL ADA PARKING: 2
TOTAL FINAL PARKING COUNT: 60



PARKING SPACE COLOR LEGEND

	RESIDENTIAL PARKING SPACE TOTAL PARKING SPACES: 140 REGULAR PARKING: 140 ADA PARKING: 0
	SHARED PARKING SPACE TOTAL PARKING SPACES: 195 REGULAR PARKING: 189 ADA PARKING: 6
	CITY CUSTOMER PARKING SPACE TOTAL PARKING SPACES: 51 REGULAR PARKING: 49 ADA PARKING: 2
	POLICE PARKING SPACE REGULAR PARKING: 1
	CITY FLEET VEHICLE PARKING SPACE REGULAR PARKING: 6
	MAINTENANCE PARKING SPACE REGULAR PARKING: 1
	CAR SHARE PARKING SPACE REGULAR PARKING: 2

TOTAL PARKING = 426 CARS

396 IN PARKING STRUCTURE
388 COMPACT SPACES
8 ADA
30 SURFACE PARKING SPACES ON ADJACENT LOTS (NOT SHOWN, REFER TO SITE PLAN)
28 STANDARD SPACES
2 ADA VAN



- Consultant
- CIVIL**
THE SANITAS GROUP
901 MAIN STREET, SUITE 350
LOUISVILLE, CO 80027
T 303 481 2170
 - LANDSCAPE**
STUDIO TERRA INC.
758 CLUB CIRCLE
LOUISVILLE, CO 80027
T 303 494 9138
 - STRUCTURAL**
ANTHEM STRUCTURAL ENGINEERS
FLATRICK OFFICE PARK
2213 CENTRAL AVENUE
BOULDER, CO 80501
T 303 448 8487
 - MEP**
BRANCH PATTERN
3344 WALNUT STREET
DENVER, CO 80205
T 303 382 1920
 - LIGHTING**
AE DESIGN
1900 WAZEE STREET, #205
DENVER, CO 80202
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Client and Project Information



COB West Campus Parking Garage
2655 Broadway Ave.
BOULDER, CO

NO.	DATE	DESCRIPTION

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Sheet Status: **NOT FOR CONSTRUCTION**

Sheet Title: **PARKING DIAGRAMS**

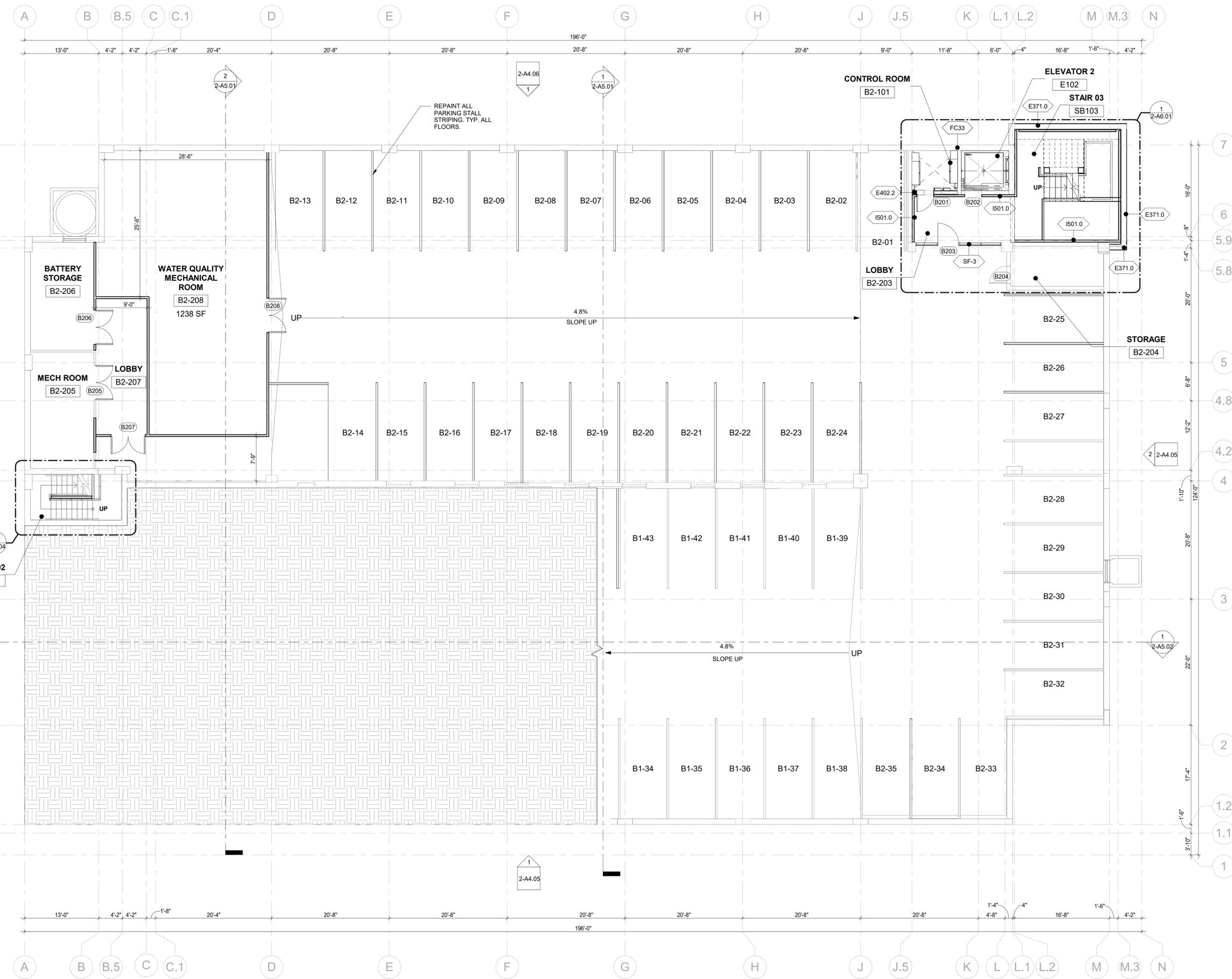
Sheet Number: **2-A1.22**

Current Issue: **SITE REVIEW**

Current Issue Date: **11/03/2023**

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1 BASEMENT 2 FLOOR
1/8" = 1'-0"



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- CIVIL**
THE SANITAS GROUP
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LOUISVILLE, CO 80027
T 303 481 2170
 - LANDSCAPE**
STUDIO TERRA INC.
758 CLUB CIRCLE
LOUISVILLE, CO 80027
T 303 494 9138
 - STRUCTURAL**
ANTHEM STRUCTURAL ENGINEERS
FLATRICK OFFICE PARK
2213 CENTRAL AVENUE
BOULDER, CO 80501
T 303 448 8487
 - MEP**
BRANCH PATTERN
3344 WALNUT STREET
DENVER, CO 80205
T 303 382 1920
 - LIGHTING**
AE DESIGN
1900 WAZEE STREET, #205
DENVER, CO 80202
T 303 296 3034
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Full Design Team Roster on Sheet 1-G0.01
Client and Project Information



COB West Campus Parking Garage
2655 Broadway Ave.
BOULDER, CO

NO.	DATE	DESCRIPTION
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Sheet Status: **NOT FOR CONSTRUCTION**

Sheet Title: **LEVEL B2 FLOOR PLAN**

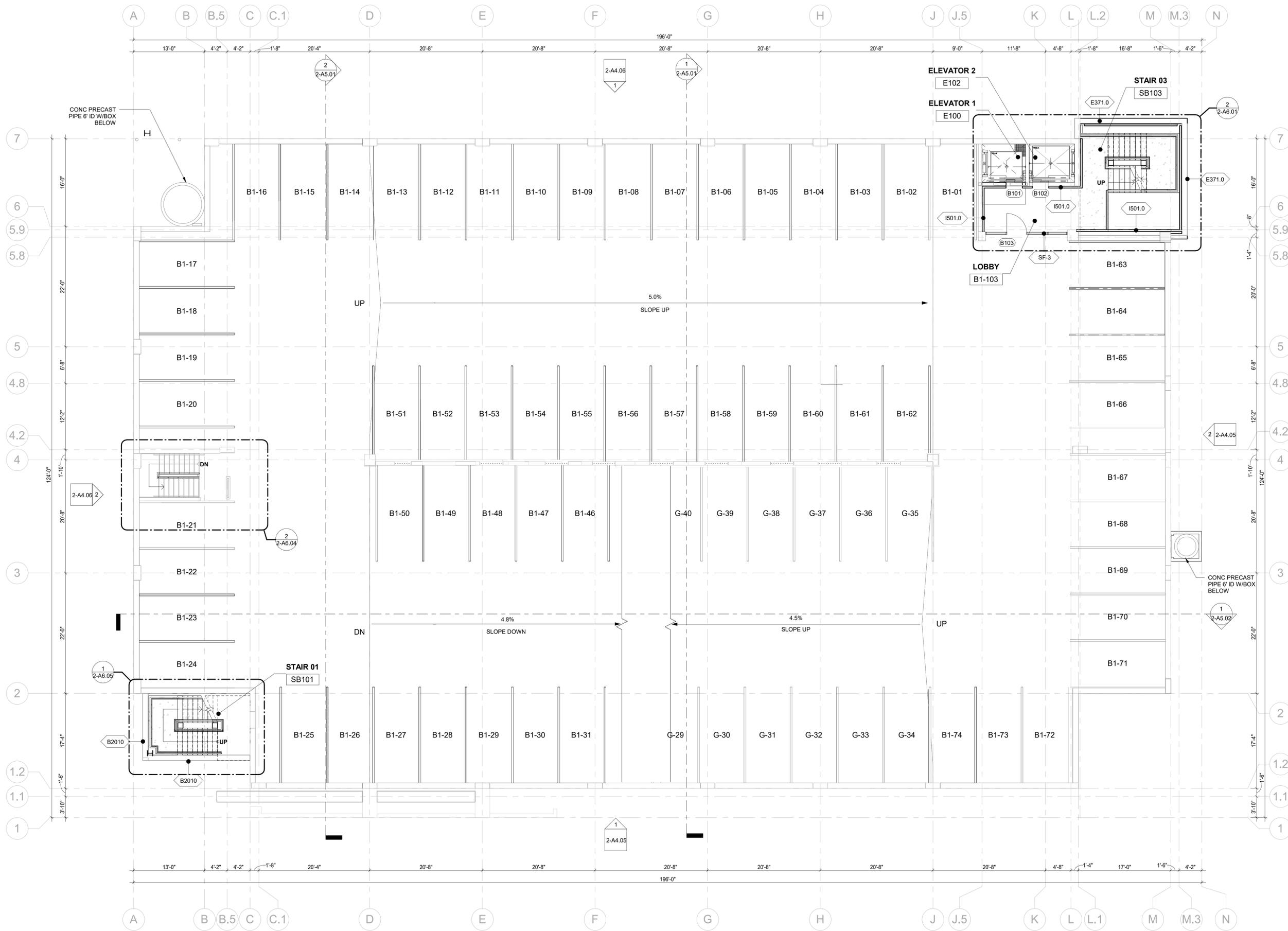
Sheet Number: **2-A2.01**

Current Issue: **SITE REVIEW**

Current Issue Date: **11/03/2023**

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1 BASEMENT 1 FLOOR
1/8" = 1'-0"



Consultant

CIVIL
THE SANITAS GROUP
901 MAIN STREET, SUITE 350
LOUISVILLE, CO 80027
T 303 481 2170

LANDSCAPE
STUDIO TERRA INC.
758 CLUB CIRCLE
LOUISVILLE, CO 80027
T 303 494 9138

STRUCTURAL
ANTHEM STRUCTURAL ENGINEERS
FLATRICK OFFICE PARK
2213 CENTRAL AVENUE
BOULDER, CO 80501
T 303 448 8487

MEP
BRANCH PATTERN
3344 WALNUT STREET
DENVER, CO 80205
T 303 382 1920

LIGHTING
AE DESIGN
1900 WAZEE STREET, #205
DENVER, CO 80202
T 303 296 3034

AV/TECHNOLOGY/SECURITY
SALAS O'BRIEN
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BOULDER, CO 80501
T 303 865 5500

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Client and Project Information



COB West Campus Parking
Garage
2655 Broadway Ave.
BOULDER, CO

NO.	DATE	DESCRIPTION
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Sheet Status
NOT FOR CONSTRUCTION

Sheet Title
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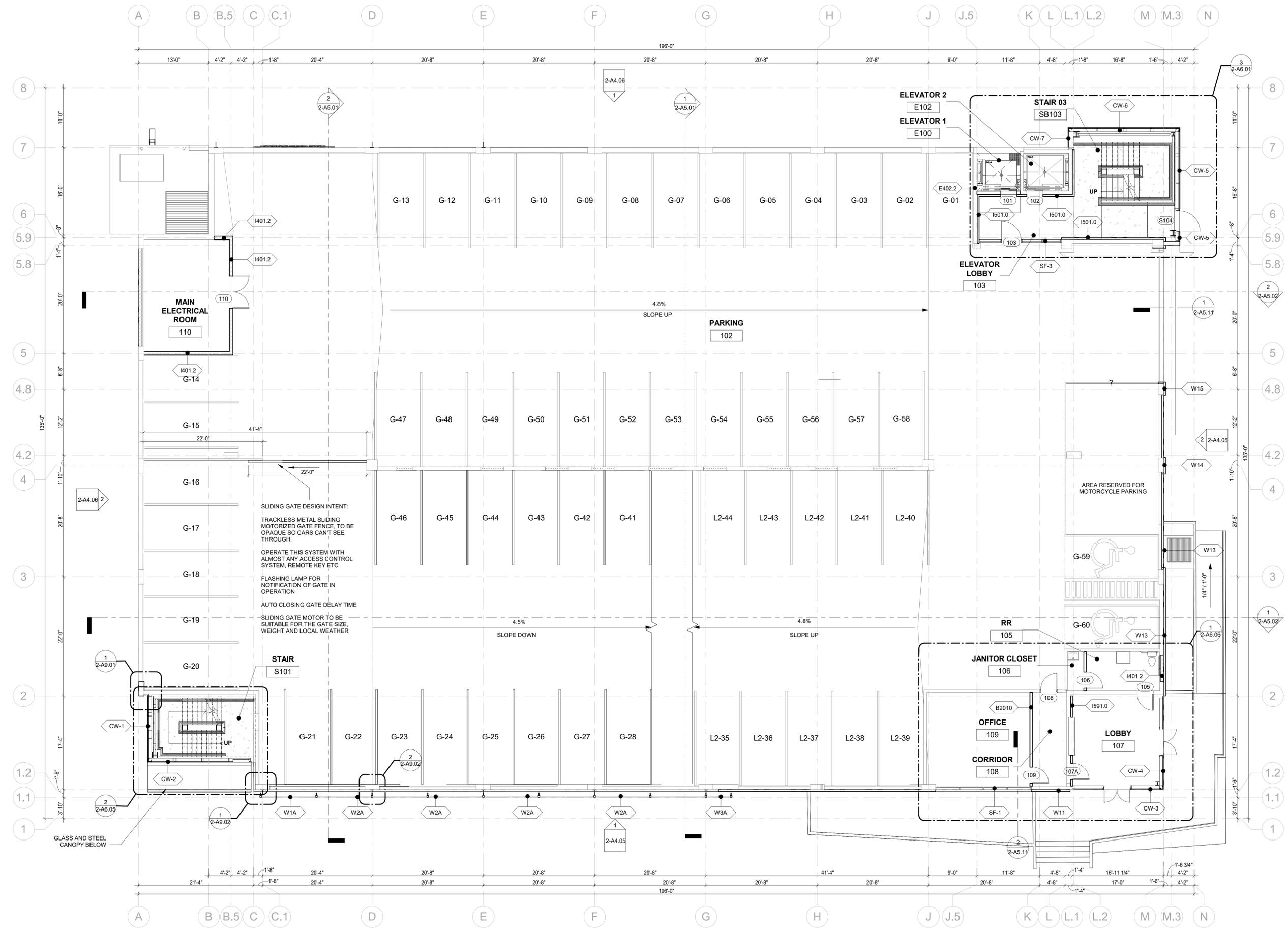
Sheet Number
2-A2.02

Current Issue
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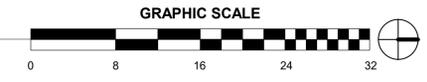
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1 FIRST FLOOR PLAN
1/8" = 1'-0"



- Consultant
- CIVIL: THE SANTAS GROUP, 901 MAIN STREET, SUITE 350, LOUISVILLE, CO 80027, T 303.481.2170
 - LANDSCAPE: STUDIO TERRA INC., 758 CLUB CIRCLE, LOUISVILLE, CO 80027, T 303.494.9138
 - STRUCTURAL: ANTHEM STRUCTURAL ENGINEERS, FLATIRON OFFICE PARK, 2213 CENTRAL AVENUE, BOULDER, CO 80501, T 303.448.8487
 - MEP: BRANCH PATTERN, 3344 WALNUT STREET, DENVER, CO 80205, T 303.382.1820
 - LIGHTING: AE DESIGN, 1900 WAZEE STREET, #205, DENVER, CO 80202, T 303.296.3034
 - AV/TECHNOLOGY/SECURITY: SALAS O'BRIEN, 4900 MULTIPLE CT. N. SUITE 200, BOULDER, CO 80501, T 303.865.5500

Client and Project Information

COB West Campus Parking Garage
2655 Broadway Ave.
BOULDER, CO

NO.	DATE	DESCRIPTION
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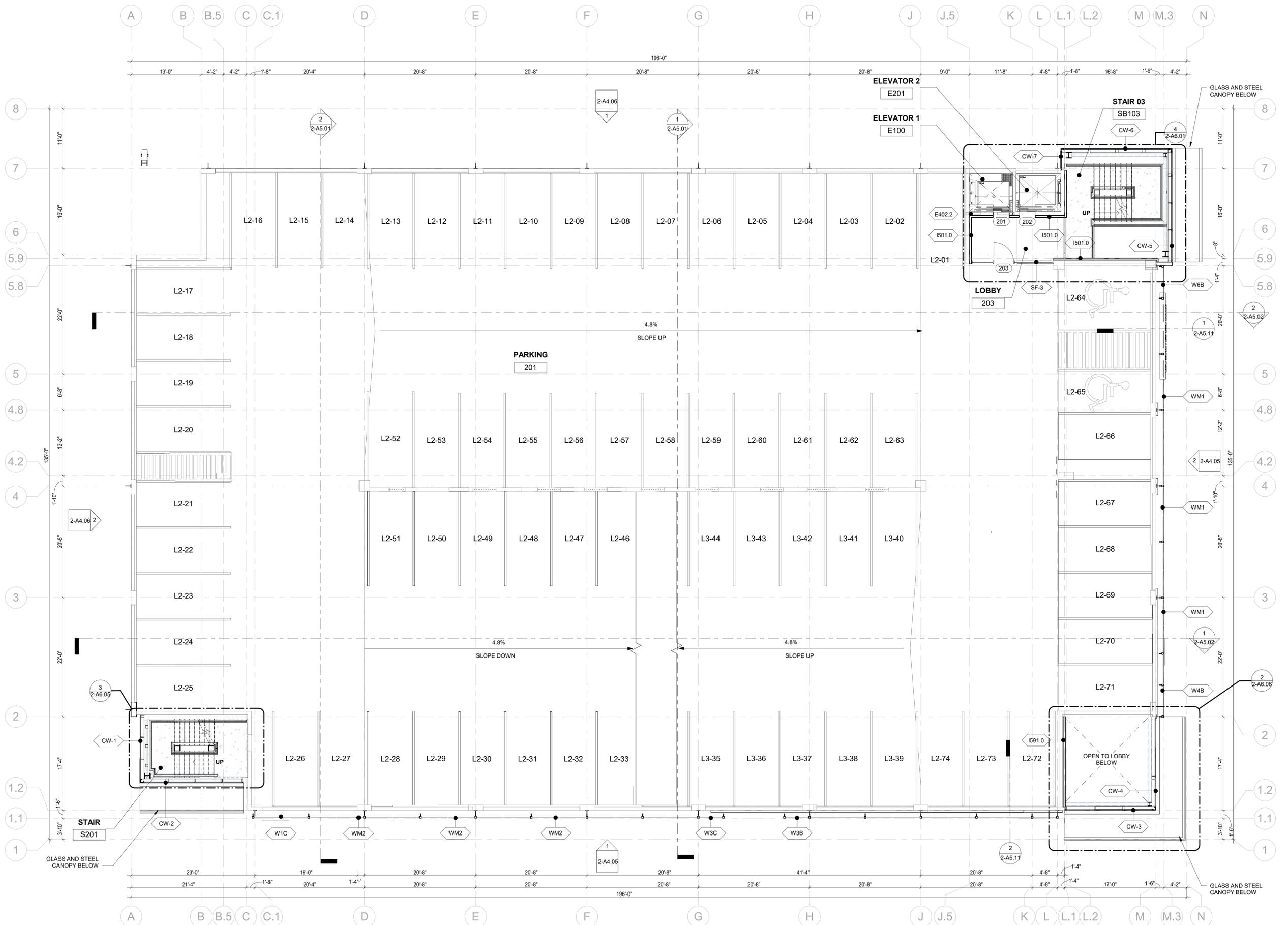
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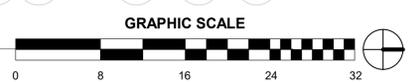
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1 SECOND FLOOR PLAN
1/8" = 1'-0"



- Consultant
- CIVIL THE SANTAS GROUP
901 MAIN STREET, SUITE 350
LOUISVILLE, CO 80027
T 303 481 2170
 - LANDSCAPE STUDIO TERRA INC.
758 CLUB CIRCLE
LOUISVILLE, CO 80027
T 303 494 9138
 - STRUCTURAL ANTHEM STRUCTURAL ENGINEERS
FLATRICK OFFICE PARK
2213 CENTRAL AVENUE
BOULDER, CO 80501
T 303 448 8497
 - MEP BRANCH PATTERN
3344 WALNUT STREET
DENVER, CO 80205
T 303 382 1920
 - LIGHTING AE DESIGN
1900 WAZEE STREET, #205
DENVER, CO 80202
T 303 286 3034
 - AV/TECHNOLOGY/SECURITY SALAS O'BRIEN
4900 MULTIPLE CT. N. SUITE 200
BOULDER, CO 80501
T 303 465 5500

Client and Project Information



COB West Campus Parking Garage
2655 Broadway Ave.
BOULDER, CO

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Sheet Status **NOT FOR CONSTRUCTION**

Sheet Title **LEVEL 2 FLOOR PLAN**

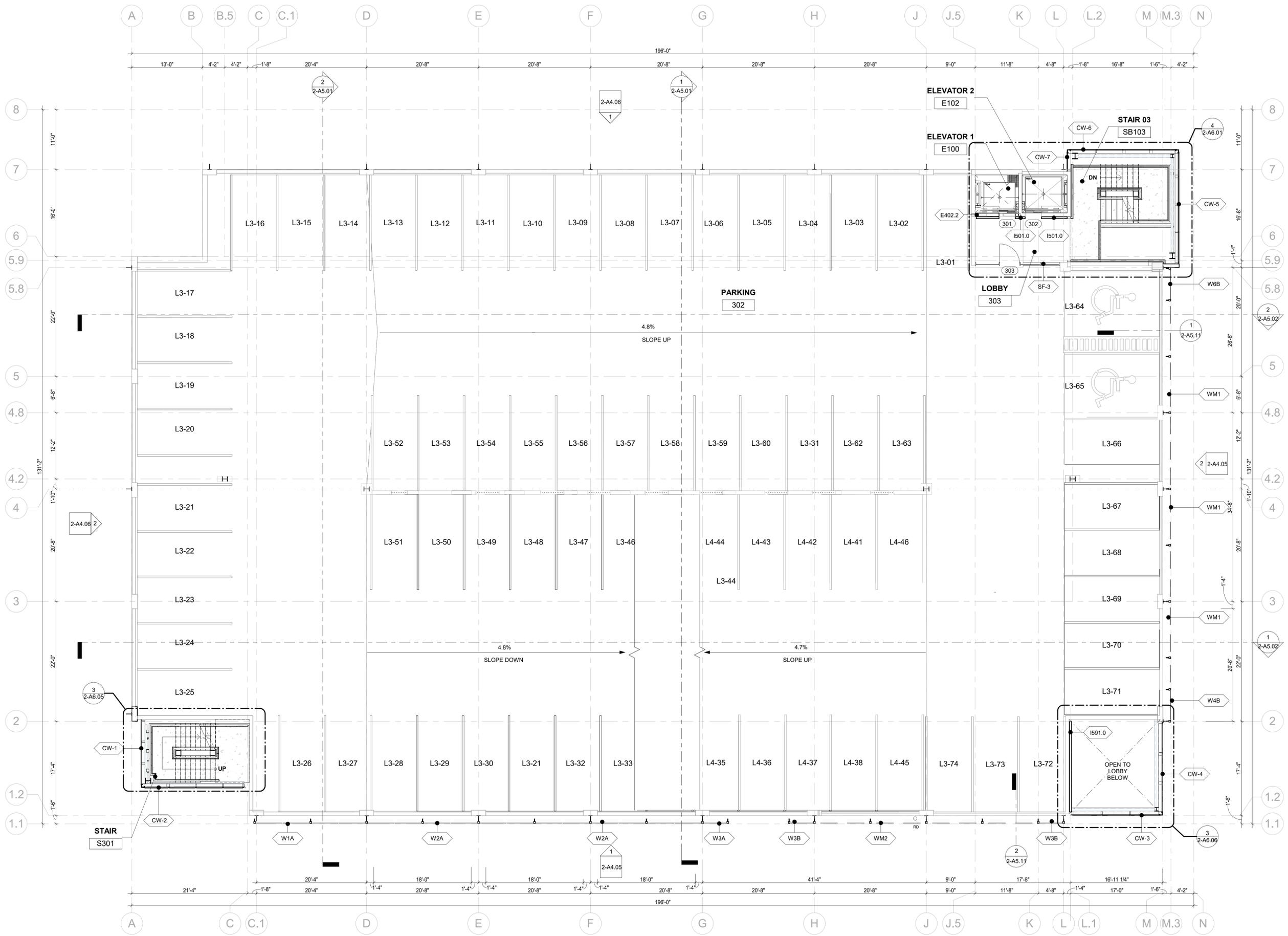
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Current Issue **SITE REVIEW**

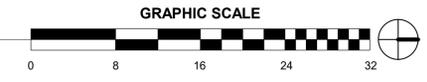
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1 THIRD FLOOR PLAN
1/8" = 1'-0"



- Consultant
- CIVIL
THE SANTAS GROUP
901 MAIN STREET, SUITE 350
LOUISVILLE, CO 80027
T 303 481 2170
 - LANDSCAPE
STUDIO TERRA INC.
758 CLUB CIRCLE
LOUISVILLE, CO 80027
T 303 494 9138
 - STRUCTURAL
ANTHEM STRUCTURAL ENGINEERS
FLATRICK OFFICE PARK
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BOULDER, CO 80501
T 303 448 8487
 - MEP
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BOULDER, CO

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Sheet Status: **NOT FOR CONSTRUCTION**

Sheet Title: **LEVEL 3 FLOOR PLAN**

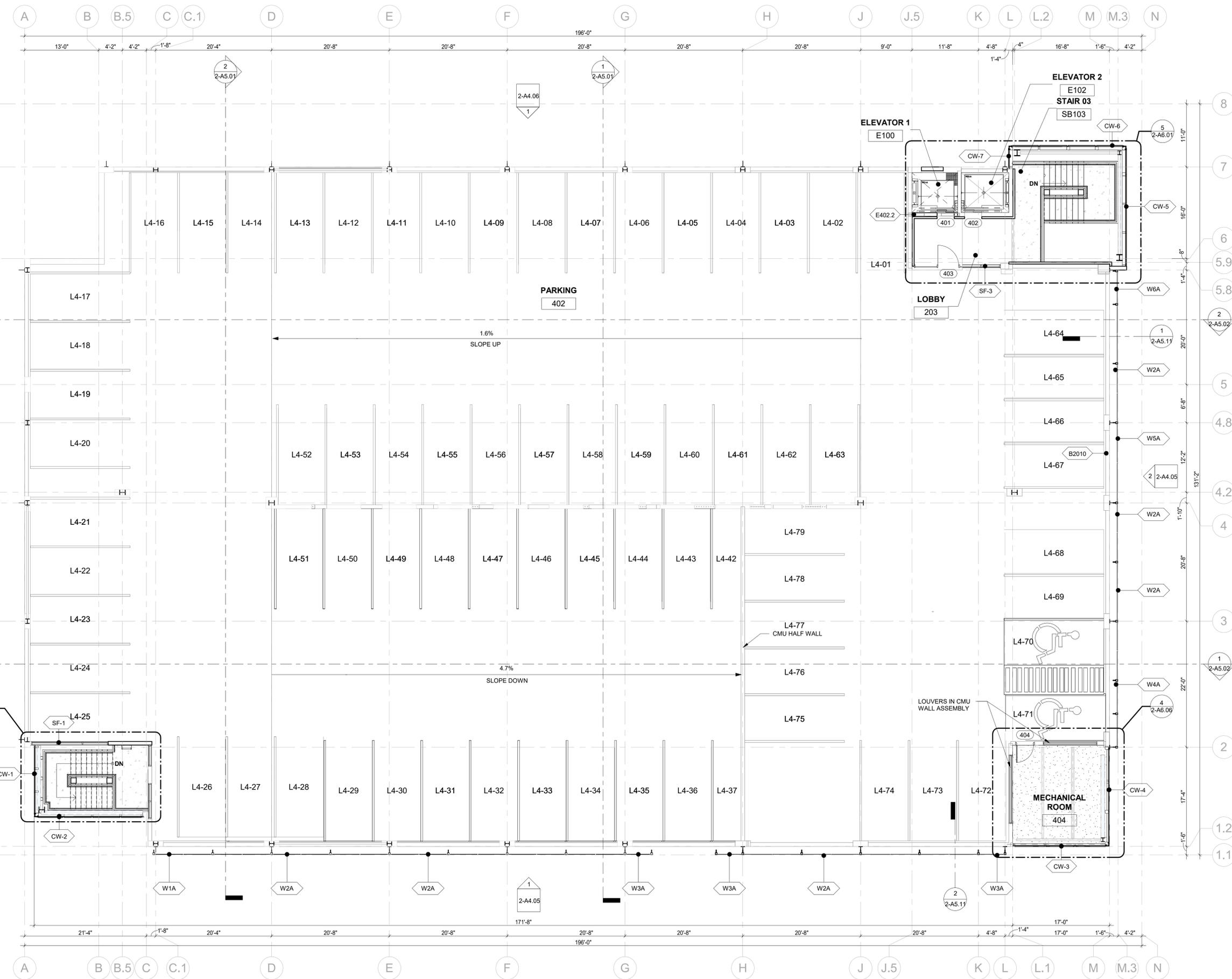
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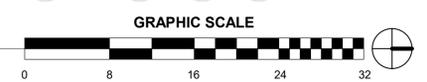
Current Issue Date: **11/03/2023**

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1 FOURTH FLOOR PLAN
1/8" = 1'-0"



- Consultant
- CIVIL**
THE SANTAS GROUP
901 MAIN STREET, SUITE 350
LOUISVILLE, CO 80027
T 303 481 2170
 - LANDSCAPE**
STUDIO TERRA INC.
758 CLUB CIRCLE
LOUISVILLE, CO 80027
T 303 494 9138
 - STRUCTURAL**
ANTHEM STRUCTURAL ENGINEERS
FLATRICK OFFICE PARK
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DENVER, CO 80202
T 303 296 3034
 - AV/TECHNOLOGY/SECURITY**
SALAS O'BRIEN
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BOULDER, CO 80501
T 303 865 5500

Client and Project Information

COB West Campus Parking Garage
2655 Broadway Ave.
BOULDER, CO

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Sheet Status: **NOT FOR CONSTRUCTION**

Sheet Title: **LEVEL 4 FLOOR PLAN**

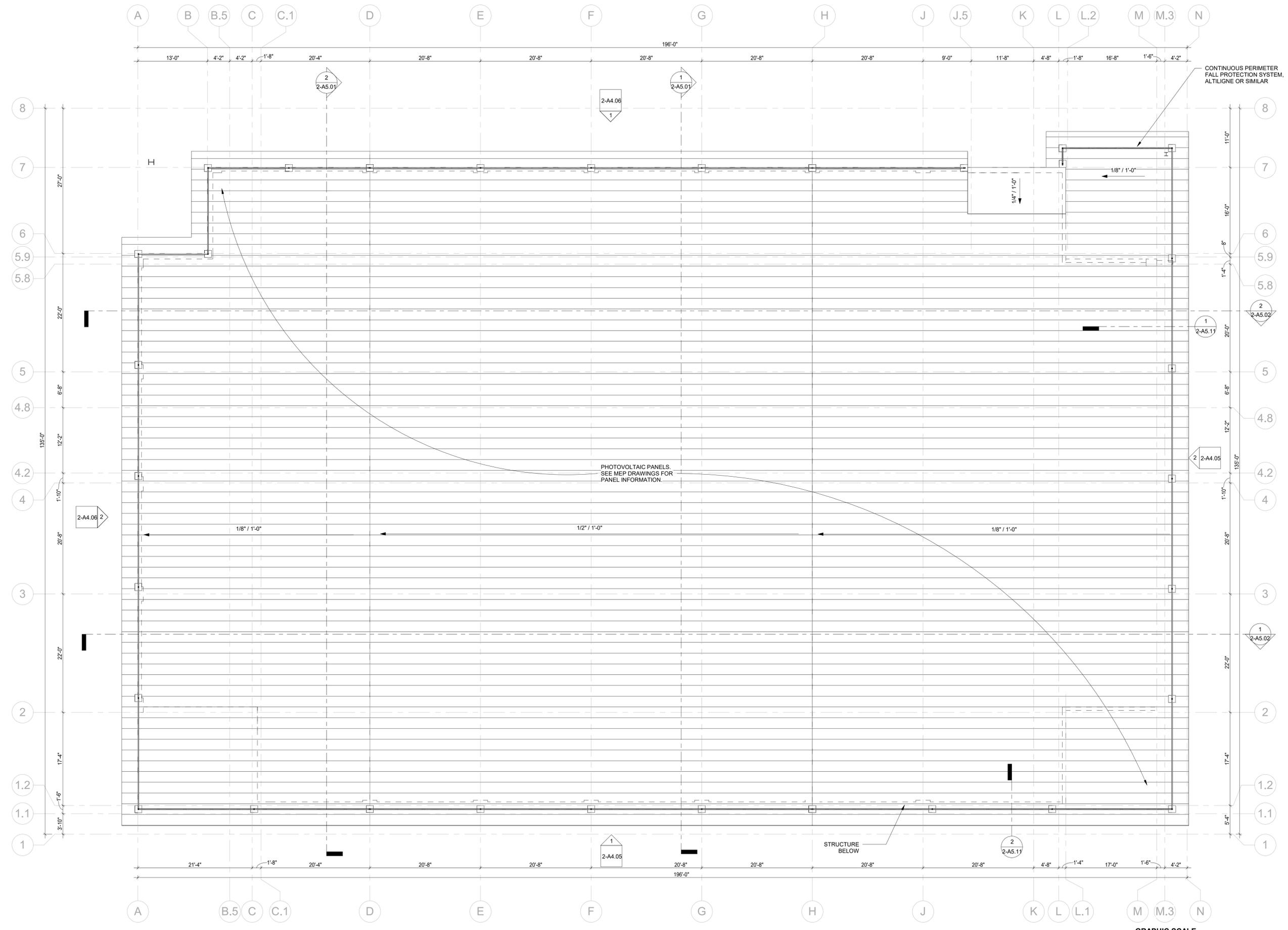
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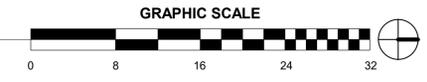
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1 ROOF PLAN
1/8" = 1'-0"



- Consultant
- CIVIL**
THE SANTAS GROUP
901 MAIN STREET, SUITE 350
LOUISVILLE, CO 80027
T 303 481 2170
 - LANDSCAPE**
STUDIO TERRA INC.
758 CLUB CIRCLE
LOUISVILLE, CO 80027
T 303 494 9138
 - STRUCTURAL**
ANTHEM STRUCTURAL ENGINEERS
FLATIRON OFFICE PARK
2213 CENTRAL AVENUE
BOULDER, CO 80501
T 303 448 8487
 - MEP**
BRANCH PATTERN
3344 WALNUT STREET
DENVER, CO 80205
T 303 382 1920
 - LIGHTING**
AE DESIGN
1900 WAZEE STREET, #205
DENVER, CO 80202
T 303 266 3034
 - AV/TECHNOLOGY/SECURITY**
SALAS O'BRIEN
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BOULDER, CO 80501
T 303 865 5500
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Client and Project Information



**COB West Campus Parking
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Original Issue	NO.	DATE	DESCRIPTION
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Sheet Status: **NOT FOR CONSTRUCTION**

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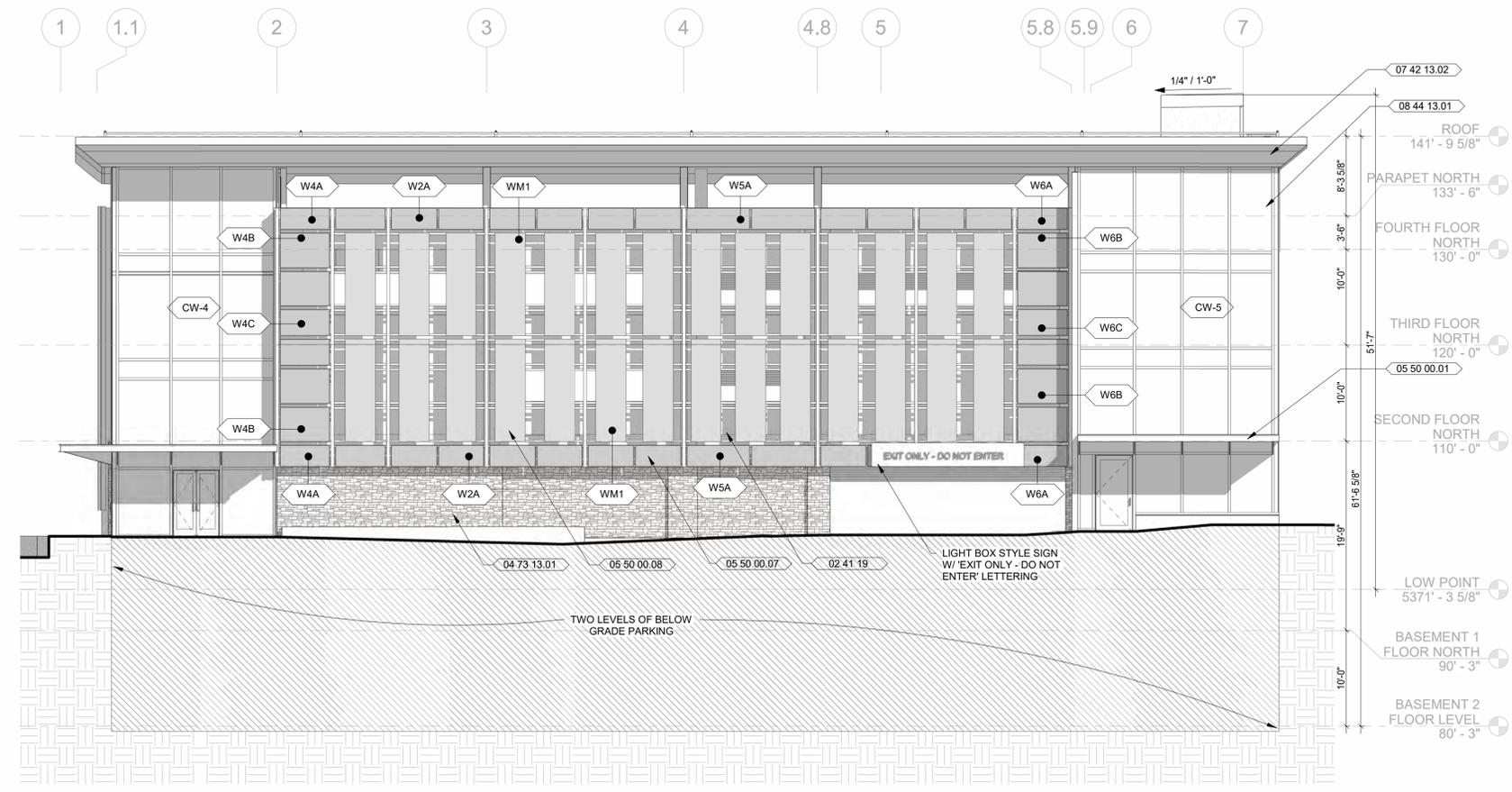
Sheet Number: **2-A2.07**

Current Issue: **SITE REVIEW**

Current Issue Date: **11/03/2023**

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1:1
10'



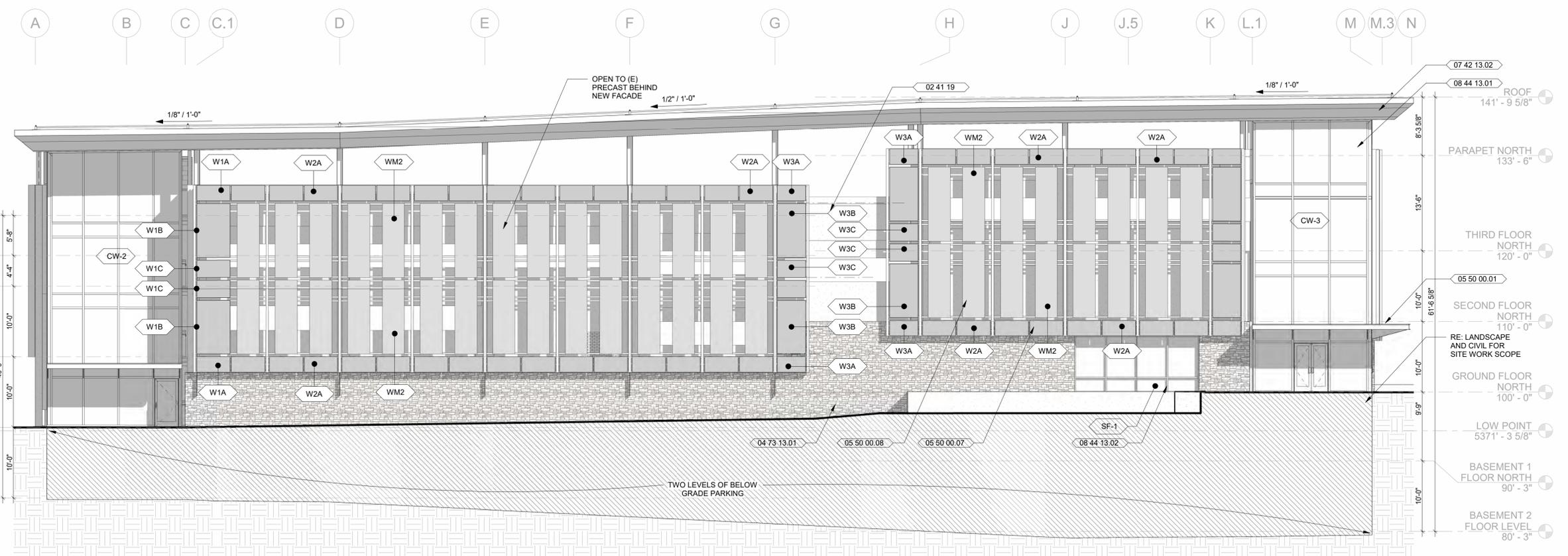
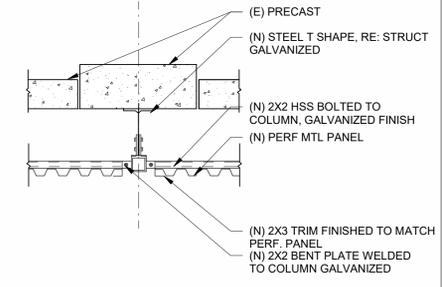
2 NORTH ELEVATION
1/8" = 1'-0"

GENERAL NOTES

1. THE UPPERMOST POINT OF THE ROOFING MEMBRANE IS THE HIGHEST POINT FOR THE PURPOSE OF CALCULATING BUILDING HEIGHT PER BRC. THE PARAPET WALLS EXCEED THE HEIGHT LIMIT BY NO MORE THAN THE ALLOWABLE 18" FOR FACILITATING ROOFTOP DRAINAGE.

KEYNOTES

Key Value	Keynote Text
02 41 19	EXISTING ELEMENT TO REMAIN
04 73 13.01	THIN SET MANUFACTURED STONE VENEER, COLOR SM1
05 50 00.01	GLASS AND STEEL CANOPY
05 50 00.07	PERFORATED METAL PANEL, PAINTED
05 50 00.08	METAL MESH SCREEN
07 42 13.02	FLATLOCK METAL PANEL SIDING, FIRESTONE UC500
08 44 13.01	TIMBER BACKED CURTAIN WALL SYSTEM, UNICEL
08 44 13.02	6" ALUMINUM STOREFRONT SYSTEM, UNICEL



1 EAST ELEVATION
1/8" = 1'-0"



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Full Design Team Roster on Sheet 1-G0.01

Client and Project Information

COB West Campus Parking Garage
2655 Broadway Ave.
BOULDER, CO

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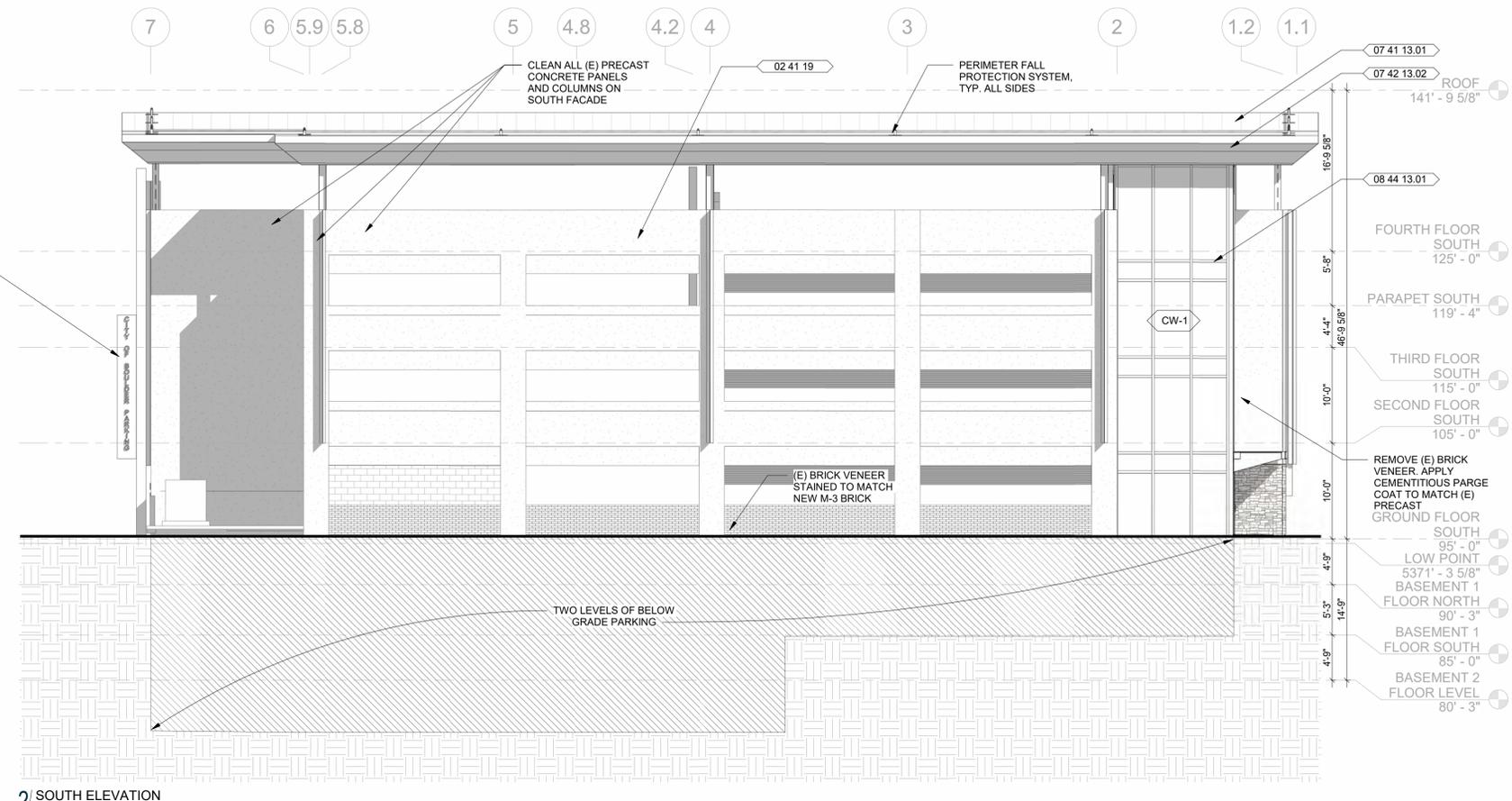
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Sheet Number: **2-A4.01**

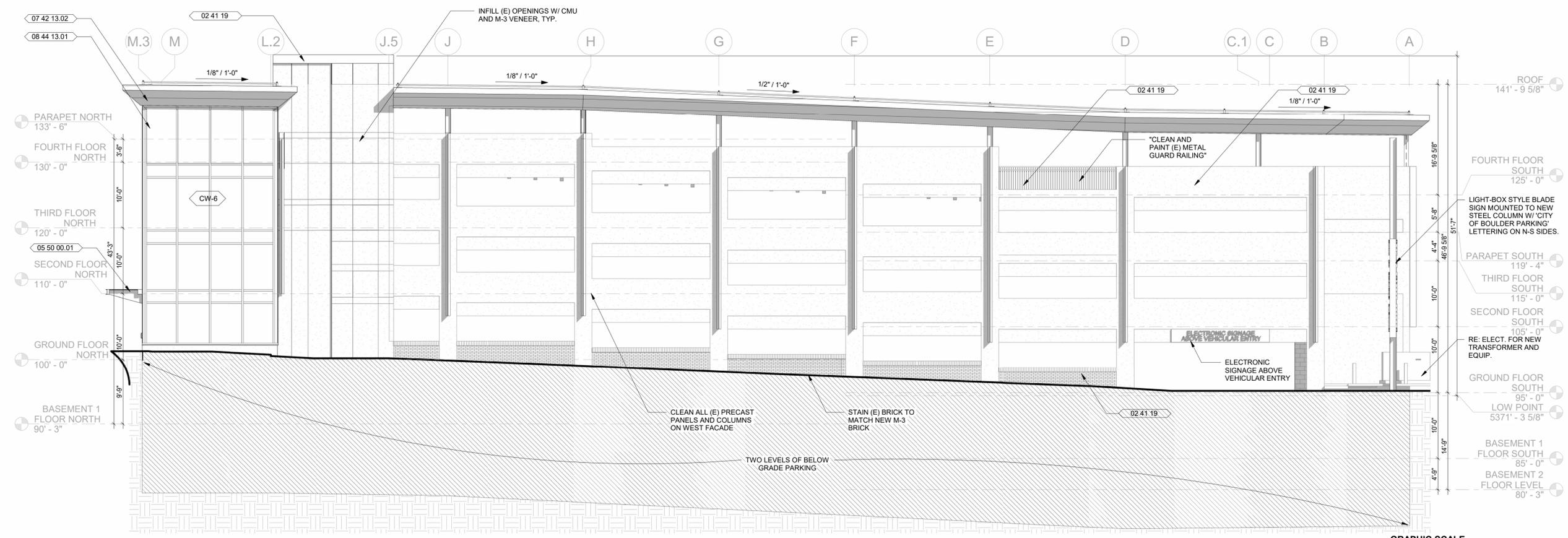
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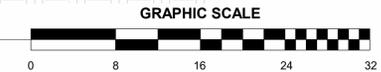
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2 SOUTH ELEVATION
1/8" = 1'-0"



1 WEST ELEVATION
1/8" = 1'-0"



GENERAL NOTES

- THE UPPERMOST POINT OF THE ROOFING MEMBRANE IS THE HIGHEST POINT FOR THE PURPOSE OF CALCULATING BUILDING HEIGHT PER B.C. THE PARAPET WALLS EXCEED THE HEIGHT LIMIT BY NO MORE THAN THE ALLOWABLE 18" FOR FACILITATING ROOFTOP DRAINAGE.

KEYNOTES

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02 41 19	EXISTING ELEMENT TO REMAIN
05 50 00.01	GLASS AND STEEL CANOPY
07 41 13.01	INSULATED STANDING SEAM METAL ROOF, ONEDEK SR2
07 42 13.02	FLATLOCK METAL PANEL SIDING, FIRESTONE UC500
08 44 13.01	TIMBER BACKED CURTAIN WALL SYSTEM, UNICEL

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Client and Project Information

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Sheet Title: **BUILDING ELEVATIONS**

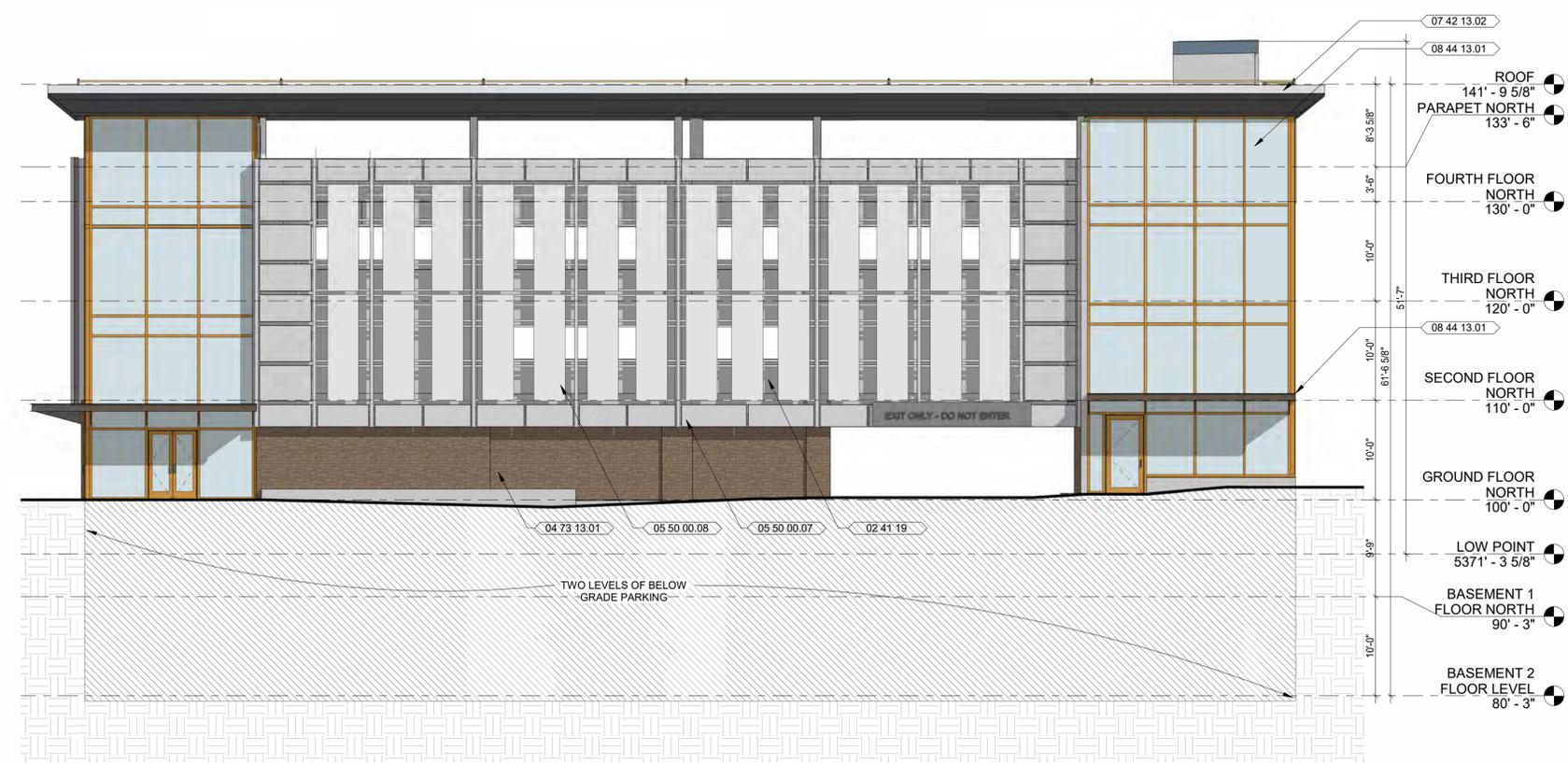
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2 NORTH ELEVATION
1/8" = 1'-0"

GENERAL NOTES

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KEYNOTES

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Client and Project Information



COB West Campus Parking Garage
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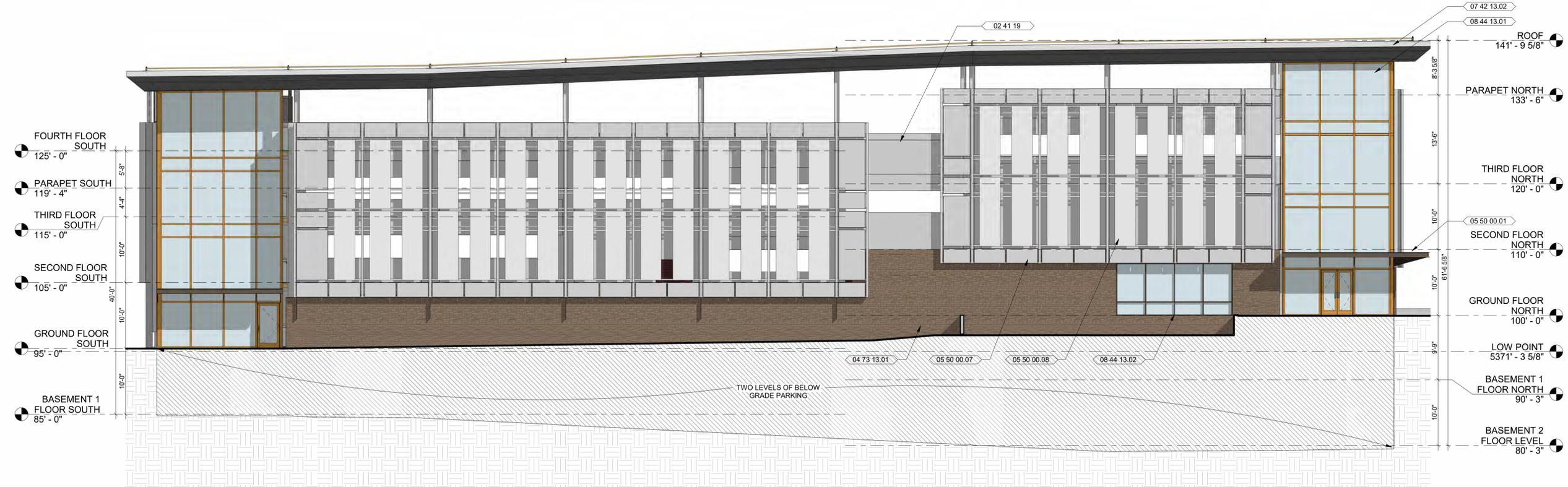
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Current Issue: **SITE REVIEW**

Current Issue Date: **11/03/2023**



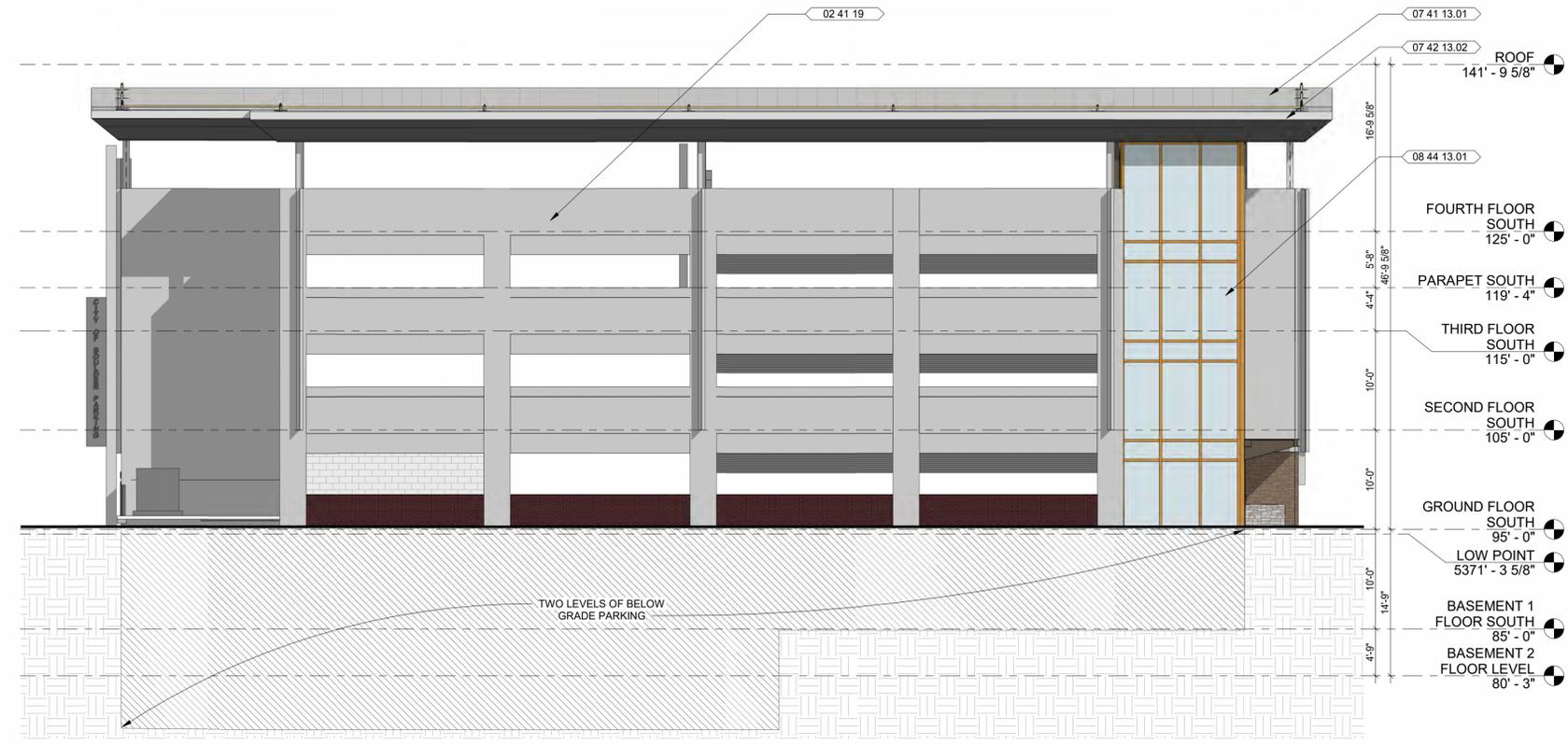
1 EAST ELEVATION
1/8" = 1'-0"

GRAPHIC SCALE



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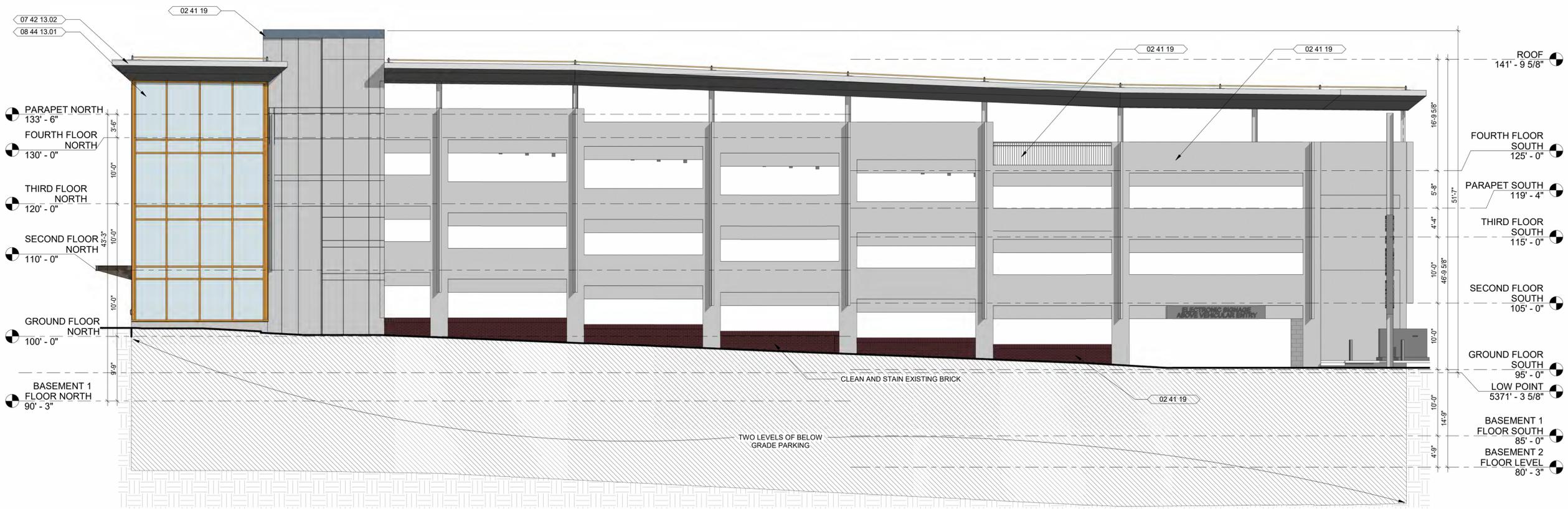
2 SOUTH ELEVATION
1/8" = 1'-0"

GENERAL NOTES

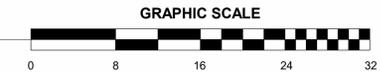
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KEYNOTES

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