



# PLATT FARMHOUSE

## RESOURCE ASSESSMENT REPORT



DRAFT MARCH 2021

# ACKNOWLEDGEMENTS

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## IMAGE CREDITS

Current-day (2020) photographs provided by Mundus Bishop, RATIO, and JVA. Historic photographs (pre-2020) provided by the City of Boulder or from online archives at the Carnegie Branch Library for Local History and Boulder Historical Society Collection, unless otherwise noted.

## DISCLAIMER

The Resource Assessment Report documents the history, significance, integrity and current condition of the resource. It does not evaluate for listing in the National Register of Historic Places. If the resource has been previously listed or evaluated it is referenced and footnoted.



This report is funded in part through a grant from History Colorado, State Historical Fund



# TABLE OF CONTENTS

Common Terminology .....	4
Property Overview .....	5
Designation, Eligibility, & Classification Summary .....	5
Designation Boundary .....	6
History & Significance .....	7
Architectural Description .....	9
Integrity.....	11
Current Existing Condition .....	12
Architectural Condition .....	12
Structural Condition .....	17
Additional images.....	20
Sketches .....	24
Resources .....	26

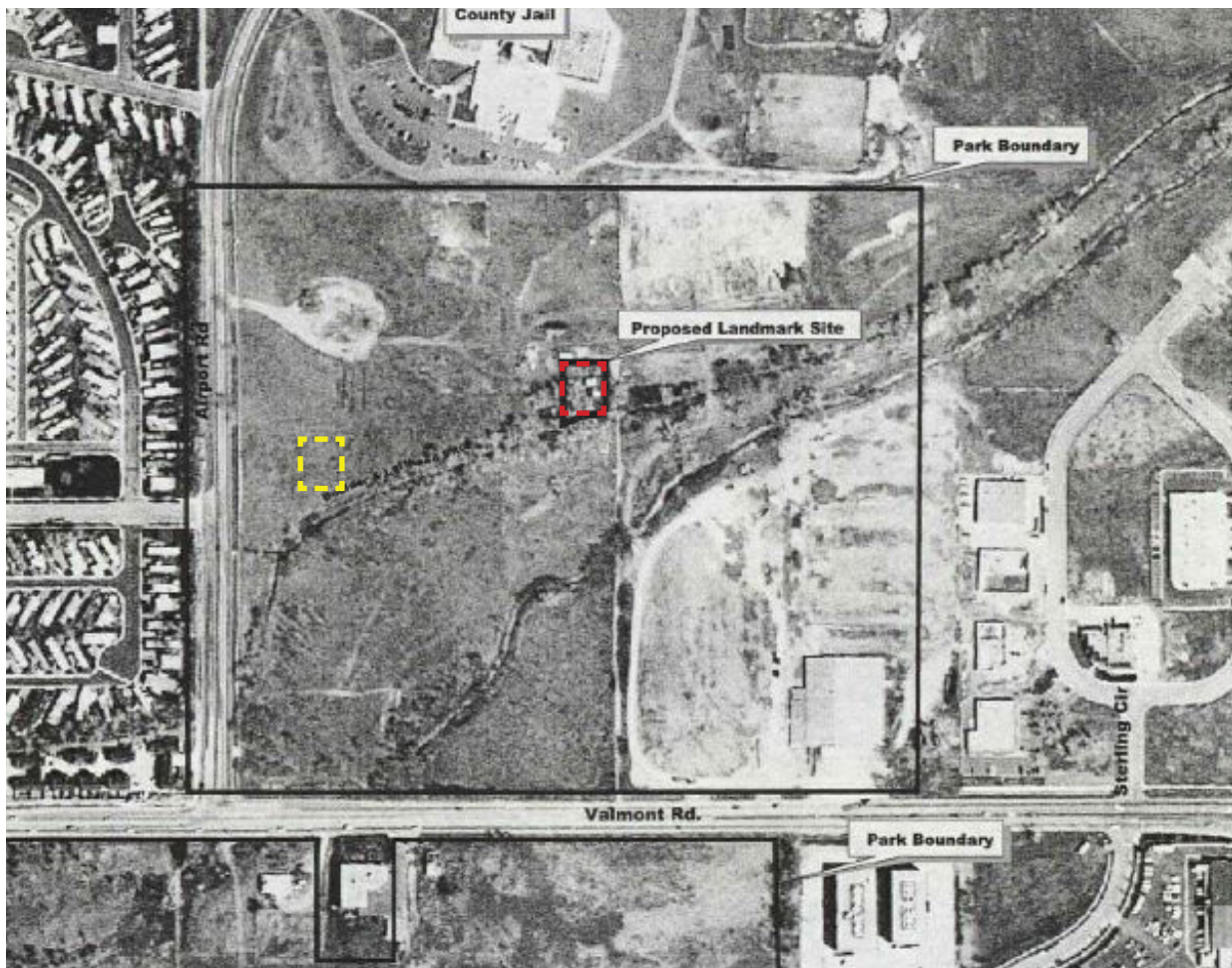


Figure 1-1. Aerial view of Platt Farmhouse located in its original location (Red) within the Valmont Community. (New location is indicated in yellow) (source: Carnegie Library for Local History).

# COMMON TERMINOLOGY

## State/National Register Terminology <sup>1 2</sup>

**Area of Significance** - an aspect of historic development in which a property made contributions for which it meets the National Register criteria, such as architecture, entertainment or recreation.

**Character-Defining Features** - the elements that account for the overall shape of the building, its materials, craftsmanship, decorative details, interior spaces and features, as well as the various aspects of its site and environment.

**Contributing Resource** - a building, site, structure, object, or feature adding to the significance of a property.

**Designation Boundary** - the boundary defined by the Landmarks Board and City Council that encompasses a historic property. This boundary represents a physical area in which any future alterations have historic preservation review associated with them.

**Eligibility** - ability of a property to meet the State/National Register criteria.

**Evaluation Criteria** - the established criteria for evaluating the eligibility of properties for inclusion in the State/National Register of Historic Places.

**Historic Context** - information about historic properties based on a shared theme, specific time period and geographical area.

**Landscape Characteristics** - the tangible and intangible aspects of a landscape from a historic period; these aspects individually and collectively give a space its historic character and aid in understanding its historical importance.

**Local Landmark** - a local area or building that has been determined to have a special character and historic, architectural, or aesthetic or value to the city.

**Period of Significance** - the span of time in which a property attained the significance for which it meets the State and/or National Register criteria, and/or Local Landmarks criteria.

**Property Type** - a grouping of properties defined by common physical and associative attributes.

## Integrity <sup>3</sup>

**Integrity** is the ability of a property to convey its significance. It is assessed to determine if the characteristics that shaped the property during the period of significance are present as they were historically.

**Location** is the place where the historic property was constructed or the place where the historic event occurred.

**Setting** is the physical environment of a historic property.

**Design** is the combination of elements that create the form, plan, space, structure, and style of a property.

**Materials** are the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property.

**Workmanship** is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.

**Feeling** is a property's expression of the aesthetic or historic sense of a particular period of time.

**Association** is the direct link between an important historic event or person and a historic property.

1 US Department of the Interior, National Park Service, *How to Complete the National Registration Bulletin* (Washington DC: National Park Service Cultural Resources, 1997), Appendix IV.

2 US Department of the Interior, National Park Service, The Secretary of the Interior's Standards for Treatment of Historic Properties with Guidelines for the Treatment of Cultural Landscapes (Washington DC: Cultural Resource Stewardship and Partnerships, 1996).

3 Ibid.

## PROPERTY OVERVIEW

**Property Name:** Platt Farmhouse  
**Location:** Valmont City Park  
**Property Address:** 3160 Airport Road (Formerly 5227 Valmont Road), Boulder, CO 80301  
**Latitude/Longitude:** 40.0311 / -105.2338  
**Legal Property Description:** W 28 AC OF SW 1/4 SE 1/4 LESS TR 2753 21-1N-70 20 ACS LESS .28  
**Parcel Tag:** ACS BOULDER PER REC #483849  
146321000028  
**Acreage / Square Footage:** 5.01 Acres / 218,426 SF  
**Date of Construction:** 1908  
**Designer(s):** Unknown

## DESIGNATION, ELIGIBILITY, & CLASSIFICATION SUMMARY

<b>Current Designation Level</b> <input checked="" type="checkbox"/> Local Landmark <input type="checkbox"/> State Register of Historic Properties (SRHP) <input type="checkbox"/> National Register of Historic Properties (NRHP)		<b>Ordinance &amp; Listing Information</b> City of Boulder Local Landmark No: <u>99-3</u> Ordinance No: <u>7016</u> Ordinance Date: <u>November 09, 1999</u> State ID: _____ Smithsonian Trinomial: <u>5BL139</u> National Historic Landmark No: _____	
<b>State &amp; National Register Eligibility</b> <div> State Register of Historic Properties  <input type="checkbox"/> Determined Eligible  <input type="checkbox"/> Delisted </div> <div> National Register of Historic Properties  <input type="checkbox"/> Determined Eligible  <input type="checkbox"/> Delisted </div>		<b>Areas of Significance</b> <u>Agriculture</u> <u>Architecture</u> <u>Transportation</u>	
<b>Recommended Period of Significance</b> Date Range: <u>1908</u> to <u>1950</u>		<b>Property Integrity: Aspects</b> <div> <input type="checkbox"/> Location  <input type="checkbox"/> Setting  <input checked="" type="checkbox"/> Design  <input type="checkbox"/> Materials </div> <div> <input type="checkbox"/> Workmanship  <input type="checkbox"/> Feeling  <input checked="" type="checkbox"/> Association </div>	
<b>Property Types</b> <div> <input type="checkbox"/> District(s)  <input checked="" type="checkbox"/> Sites(s)  <input checked="" type="checkbox"/> Buildings(s) </div> <div> <input type="checkbox"/> Structure(s)  <input type="checkbox"/> Object(s)  <input type="checkbox"/> Feature(s) (SRHP) </div>		<b>NRHP Evaluation Criteria</b> <input type="checkbox"/> Criteria A: The property is associated with event that have made a significant contribution to the broad patterns of our history <input type="checkbox"/> Criteria B: The property is associated with the lives of persons significant in our past <input type="checkbox"/> Criteria C: The property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components may lack individual distinction <input type="checkbox"/> Criteria D: The property has yielded, or may be likely to yield, information important in prehistory or history	
<b>Individual Character-Defining Features of Property Types</b> <div> District(s)  _____  _____ </div> <div> Structure(s)  _____  _____ </div> <div> Site(s)  <u>Valmont City Park</u>  _____ </div> <div> Object(s)  _____  _____ </div> <div> Building(s)  <u>Platt Farmhouse</u>  _____ </div> <div> Feature(s) (SRHP only)  _____  _____ </div>			

## Designation Boundary

Platt Farmhouse was relocated to its current location in Valmont City Park in 2011. The designated boundary consists only of the building.



Figure 1-2. Aerial view of Platt Farmhouse in its current location within Valmont City Park, 2021 (source: Google Earth)

# HISTORY & SIGNIFICANCE

## Historic Context

See Appendix

## Statement of Significance

Platt Farmhouse is historically significant for its association with the Platt family and for their role in the agricultural development of east Boulder. The house is architecturally significant as an intact example of an early-20th century vernacular farmhouse as reflected in its hipped-box design, simple wood frame construction, and prominent wrap-around front porch. The house is also significant for its proximity to the North Boulder Farmers Ditch and the Boulder and Left Hand Ditch, which played significant roles in the agricultural development of the Valmont community.<sup>3</sup>

Platt Farmhouse is significant for the role it played in the development of the Valmont Community within the City of Boulder since the early 1900's and its associations with the Platt Family. This house is located in east Boulder in an area generally known as the Valmont community. The subject farm site is significant for its relationship to key land features within close proximity to the subject Farmhouse within east Boulder that played a vital role in the agricultural success of the Valmont Community.<sup>4</sup> The Platt Family not only maintained the Farm and Farmhouse property but were also deeply involved in the community water resource issues. In 1907, James Platt was appointed Boulder County's first water commissioner, a position he held for 25 years.<sup>5</sup>

Platt Farmhouse is significant for maintaining an early example of vernacular farmhouse within the Boulder community and the United States altogether. It is consistent with the typical vernacular wood frame structure built throughout Colorado farming communities since 1860, as well as a good portion of the United States in the early 20th century.<sup>6</sup> Typical characteristics of this of this style include, but are not limited to: an absence of architectural features and details, simple, modest buildings, usually small one-story structures, hipped roofs with central dormers, and a front wrap around porch.

## Recommended Period of Significance

The recommended period of significance for Platt Farmhouse is from 1908 to 1950. The period begins with the construction of the House and ends when the Platt family is considered to be no longer residences of the house in 1950, after which it changes ownership a couple times and then was ultimately leased to the City of Boulder in which it remains today.

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3 Holthouser, Neil and Ruth McHeyser. Memorandum. City of Boulder Parks Department, 2.  
4 Ibid, 3.  
5 Ibid, 2.  
6 Ibid. 4



## Summary of Use

### *Historic Use*

Platt Farmhouse property was originally homesteaded by James J. Rhoads until 1872, although it was unclear if he and his family ever lived on the property. The farm changed ownership multiple times in the 1880-90's until it was purchased by James M. Platt in 1896. In 1908, Platt Farmhouse that exists today was constructed. The Platt family lived in the house and operated the farm until the early 1950s. The residence is owned by the Howe Family of Howe Mortuary and Mr. Everett Wiehe before ultimately being acquired by the City of Boulder.<sup>7</sup>

Date	Event
1872 to 1880's	Property was Homesteaded by James J. Rhoads
1886 to early 1950's	James Platt begins Ownership of the Property
Early 1950's to 1976	Howe Family Ownership
1976 to 1997	Mr. Wiehe Ownership

### *Current Use*

Platt Farmhouse was acquired by Boulder Parks and Recreation Department in 1997. When the Parks and Recreation Department purchased the land, they proposed moving the farmhouse to facilitate the construction of a bike park to the north and east of the site. Originally, the house was located on approximately 25 acres of rural, undeveloped land bounded to the south by Valmont Road, Airport Road to the west, the Boulder County Jail complex to the north, and an industrial site to the east.<sup>8</sup> On March 3, 2011, the Landmarks Board approved a Landmark Alteration Certificate to relocate and restore Platt Farmhouse. On June 3, 2011, the building was relocated, and the bike park construction was completed soon after.<sup>9</sup>

Date	Event
1997 to present	Ownership by Boulder Parks and Recreation Department
2011 to present	Building relocated and re-purposed

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<sup>7</sup> Holthouser, Neil and Ruth McHeyser. Memorandum. City of Boulder Parks Department, 2.

<sup>8</sup> Ibid, 4.

<sup>9</sup> East Boulder Working Group. East Boulder Inventory and Analysis Report, Boulder, 6.



# ARCHITECTURAL DESCRIPTION

## Architecture Summary

This a vernacular wood frame structure with painted wood board siding. The house is an intact example of an early 20th century farmhouse as reflected in its vernacular hipped-box design, simple wood-farm construction, and prominent wrap-around front porch. A stair at the main entry leads up to the elevated wrap around porch. The hipped roof features sprung (flared) eaves.<sup>10</sup>

### *Primary Materials*

The house features poured concrete foundations, central brick chimney, and double-hung windows with wood shutters. The roof consists of asphalt shingles and the dormers have wood shingle siding. The interior walls are painted plaster, as well as the ceiling, and the floors are hardwood.

During relocation efforts, multiple modifications and rehabilitations took place. The building was placed on a new poured concrete foundation that maintains an elevated space under the porch to provide an accessible crawlspace. The wood Doric porch columns were replaced to match in kind. Some of the original windows and doors were replaced to match in kind. The walls were repainted, kitchen and bathroom fixtures were updated, and all of the existing appliances were replaced or added during this time.



*Figure 1-3. View of Platt Farmhouse and outbuildings, early 1900s (source: Carnegie Library for Local History)*

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Holthouser, Neil and Ruth McHeyser. Memorandum. City of Boulder Parks Department, 3.

## Construction & Alteration History

Date	Event	Source
1872	James Rhoads, farmer and son of Boulder Pioneer Joseph Rhoads, homesteaded at the subject farm site. It is unclear if him and his family ever actually lived on the property.	Memorandum, 2.
1896	Property was purchased by James M. Platt.	Memorandum, 2.
1908	Platt Farmhouse was constructed.	Memorandum, 2.
1950s	Platt Family no longer resided in the Farmhouse. It was purchased by the Howe Family of Howe Mortuary.	Memorandum, 2.
1970s	A large addition was added to the west elevation. The addition included a flat-roof dormer with two double -hung windows, two narrow plate - glass windows, and a doorway exiting onto a projecting balcony. Three skylights on east elevation were also added during this time.	Memorandum, 4.
1976	The house changed ownership from the Howe Family to Everett Wiehe.	Memorandum, 2.
1999	Platt Farmhouse was designated as a local landmark.	City of Boulder Landmark L-99-3
2011	Platt Farmhouse is relocated within the Valmont Bike Park.	East Boulder Inventory and Analysis Report, 6.

# INTEGRITY

## *Location*

Platt Farmhouse was relocated to its existing location in 2011 for the construction of a new bike park. It was placed approximately 700 feet west of its original location and at one of the main entrances to the bike park.

## *Setting*

The surrounding landscape has drastically changed from a farming community to a bike park. As part of the relocation, the orientation of the building on the site was changed. In its original location the front door of the building faced toward the irrigation ditch. In the current location the front door is also facing toward the irrigation ditch. However, to maintain this, the overall building orientation was revised to work with the new site.

## *Design*

The house generally retains a high degree of architectural integrity, especially from the south (front) elevation. However, a 1970's addition to the west elevation is not compatible with the original design of the house. The addition consists of a large flat-roofed dormer with two double hung windows, two narrow plate-glass windows, and a doorway exiting onto a projecting balcony. The three skylights in the east-facing roof plane, added in the 1970's, are not compatible with the original structure either, however, their visual impact is minimal.

## *Materials*

Most of the original materials have remained the same. During the relocation process of the structure, the entry columns had to be replaced in kind and a concrete ramp was added for accessibility on the rear of the building. The house was set upon a new concrete foundation during the relocation. Some of the windows and doors have been replaced to match in kind.

## *Workmanship*

Workmanship is consistent with the typical vernacular wood frame structure built throughout Colorado since 1860 as well as a good portion of the United States in the early 20th century. With an absence of architectural features and details that can distinguish a specific style, these simple, modest homes are divided into types according to floor plan and roof shape. This typical style of house is a small, one-story structure with a hipped roof and usually a front porch.

## *Feeling*

Since the building was relocated, there is a feeling of disconnect with its original history. However, it still feels like a prominent part of the community in its new location within the bike park.

## *Association*

The house retains its association with the Platt family as prominent members of the Valmont (and wider Boulder) community, as well as its associations with early agricultural development in Boulder.

# CURRENT EXISTING CONDITION

## ARCHITECTURAL CONDITION

### Concrete

**Sidewalk:** In the current building location, the main entrance is accessed from an accessible concrete ramp. The ramp was added when the building was relocated and renovated and is in good condition. The non-accessible entry facing the south irrigation ditch has a concrete pad at the bottom of the stairs that is also in good condition.

**Building Foundations:** The building and porch appear to have been set on new concrete foundations as part of the recent relocation and renovation. The concrete appears to be in good condition.



Figure 1-4. View of the concrete sidewalk at the accessible entrance, 2020 (source: Ratio)



Figure 1-5. View of concrete slab at the base of the stairs, 2020 (source: Ratio)



Figure 1-6. View of the porch and building foundations, 2020 (source: Ratio)



Figure 1-7. View of the porch columns, 2020 (source: Ratio)



## Wood

**Porch Columns:** The original wood porch columns were removed during the relocation, and in lieu of being refurbished, were replaced with new wood columns. It is unclear how well the columns match the original construction. The columns are in fair condition overall. The paint is peeling slightly at the base of the columns. The wood railing in between the columns appears to be the original construction. The rails and posts are in fair condition. The bottoms of the posts are showing signs of cracking and peeling paint. There are areas on both the top and bottom rails where the paint is peeling. To comply with the current height requirements for guardrails, a metal rail has been added above the wood railings. The metal rail appears to be in fair condition, maintaining its structural integrity but showing large areas of rust.

**Porch Flooring:** The wood floor of the porch and the entry stairs are in poor to fair condition. The tongue and groove boards are intact and functional, but are unfinished and showing considerable wear, weathering, and warping.

**Porch Framing:** The porch floor framing appears to be in good condition. The porch roof framing and soffit finish are in fair to poor condition. There is considerable wear, weathering, and cracking and peeling paint on both the support beams and the wood soffit material.



*Figure 1-8. View of wood porch stair, 2020 (source: Ratio)*



*Figure 1-9. View of wood porch framing roof supports, 2020 (source: Ratio)*

Exterior Siding: In general, the wood building siding is in fair condition. There is some discoloration on the siding near the south door of an undetermined origin. Around the building, there are a few small areas where the siding is damaged, or the paint is missing, and most of the horizontal joints contain noticeable amounts of dirt.

Wood Flooring: Both levels of the interior have wood plank flooring, that appears to be in good condition. The interior stairs also have a wood finish. The stairs appear to be in good condition. The boards that make the nosings of the stairs do not appear to match the wood type of the rest of the stairs. There are also a few locations where the nosing boards are loose.



Figure 1-10. View of wood siding, 2020 (source: Ratio)



Figure 1-11. View of south door, 2020 (source: Ratio)



Figure 1-12. View of hardwood flooring on the first floor, 2020 (source: Ratio)



Figure 1-13. View of hardwood flooring on the second floor, 2020 (source: Ratio)



Figure 1-14. View of wood treads and nosings, 2020 (source: Ratio)

**Windows and Doors:** The windows and doors appear to be in good condition, with no obvious signs of wear or damage. Based on the provided building drawings of the previous renovation it appears that the windows and doors are a mix of both original and replacements. The replacement windows and doors appear to match the design and materials of the original components. The most recent work was the addition of a new sliding barn door and wood finish at the first floor office.

## Roofing

**Shingles:** The main portion of the roof is finished with asphalt shingles, which appear to be in good condition. The upper dormers have an exterior wall finish of painted wood shingles. From ground level observation the shingles appear to be in fair condition.

**Gutters:** The gutters and downspouts appear to have been replaced in the previous rehabilitation. The gutter profile is a half-round style which replicates some of the gutter shapes that were in use when the Farmhouse was originally built. Both gutters and downspouts appear to be in good condition.

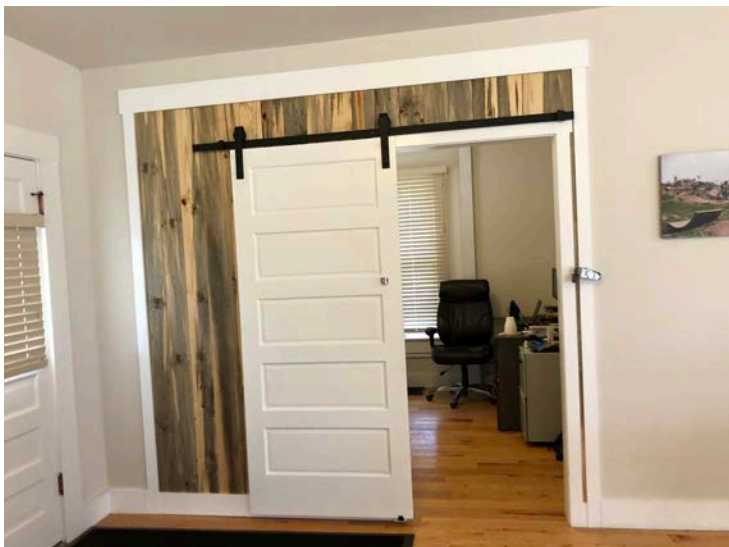


Figure 1-15. View of sliding barn door and infill wall, 2020 (source: Ratio)



Figure 1-16. View of the wood shingled dormers, 2020 (source: Ratio)



Figure 1-17. View of the asphalt shingle roof, 2020 (source: Ratio)



Figure 1-18. View of half-round gutters, 2020 (source: Ratio)



## Additional Items

**Tile Floors:** Both the kitchen and the rest room have tile floor finishes, and the rest room has a tile wainscot on the wall. The tile work all appears to be in good condition.

**Mechanical:** The swamp cooler and furnace for the building appear to be in working condition. They are in the crawl space below the building, that is accessed behind the slatted wood screens below the porch.

**Attic:** On the upper level there are two wall panels that appear to be the access for the attic space below the eaves of the roof. In both access panels there is a hole cut into them. It is unclear the intent of the holes or if there is an infill panel or grille missing from these locations.



Figure 1-19. View of kitchen area with tile floor, 2020 (source: Ratio)

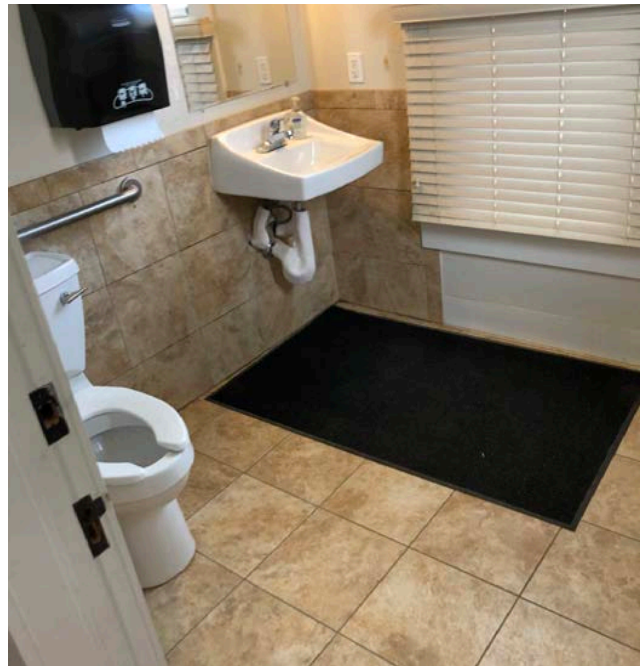


Figure 1-20. View of restroom tile finishes, 2020 (source: Ratio)



Figure 1-21. View of swamp cooler and furnace in the crawl space, 2020 (source: Ratio)



Figure 1-22. View of attic access panel, 2020 (source: Ratio)



# STRUCTURAL CONDITION

## Structural Summary

Platt Farmhouse is a one and a half story wood framed farmhouse that was built c. 1908. In 2010 it was moved to a new location, much of the structure was replaced and a second level addition was removed. Structural drawings from the 2010 renovation were available during this assessment. The structural systems are described below based on our site observations, documentation of the structure, and observation of existing documentation.

### *Foundation*

The structure has new concrete foundation stem walls and concrete footings at frost depth. The foundation is in good condition; it is new and is performing as expected. It appears that the new concrete piers at the porch were coated in a finish coat to look like the original piers which had a honeycombed surface.

### *Roofing*

The house has a hip roof with curved eaves and a shed roof dormer on the front and back. The wrap around porch has a shed roof. Most of the roof framing was replaced with new lumber during the 2010 renovation. The roof is in good condition. It was strengthened during the 2010 renovation and is performing adequately.

### *Flooring*

The first-floor system consists of dimension lumber spanning between perimeter concrete stem walls and interior stem walls or steel beams. The second-floor framing spans between bearing walls or LVL headers. The original joists have been sistered or replaced with new lumber. The floor systems are in good condition. They were strengthened during the 2010 renovation and are performing adequately.

### *Walls and Framing*

The structure has wood framed stud walls and LVL headers. During the 2010 renovation the framing was updated to comply with current codes. The walls are in good condition. They were strengthened during the 2010 renovation and are performing adequately.

### *Lateral force resisting system (LFRS)*

The LFRS of the house consists of the wood framed and sheathed shear walls, the wood floor diaphragms, and wood roof sheathing and framing; it was updated to meet the ASCE 7-05 and 2006 IBC Codes for an office occupancy. The existing LFRS is in good condition. It was strengthened during the 2010 renovation and is performing adequately.

### *Porch and Ramp*

The house has a wrap-around front porch supported by wood columns. The rear entrance has an accessible concrete ramp. The porch and ramp are in good condition. The paint on the porches wood framing elements is failing. If not properly maintained, moisture can penetrate the paint layer and cause the wood material to deteriorate.



Figure 1-23. Front and west elevation of Platt Farmhouse, 2020 (source: JVA)



Figure 1-24. Back and east elevation of Platt Farmhouse, 2020 (source: JVA)



Figure 1-25. Porch piers wrapped in coating, 2020 (source: JVA)

## Structural Condition Definitions

This structural condition assessment makes use of terms concerning the condition of building components which are defined as follows:

**Good** - A structural element, component or system is considered in good condition when it is undamaged, structurally sound or functionally operational, and performing as intended. No specific repairs are required, and only minor or routine maintenance is needed.

**Fair** - An element, component or system is considered in fair condition when there are signs of wear or deterioration, such as freeze-thaw deterioration, corrosion, or wood decay exceeding expectations based on the age and use of the element, that may be reducing the structural capacity of the member. Replacement or repair of the element may be required.

**Poor** - An element, component, or system is considered in poor condition when it no longer performs its intended structural purpose. Deterioration or damage reduced the load carrying capacity of the element and simple repairs cannot be justified or are not expected to be effective. The element may show signs of imminent failure. Major repair or replacement will be required.

Note: Condition ratings reported are based upon visual observations only. No material testing or exploratory observations have been made. Further investigation could result in modification to condition ratings.

Table 1-1: Condition Assessment of Architectural Features

Primary Architectural/ Structural Features	Description of Primary Materials	Condition
Concrete	Concrete slab on grade	Good
Wood	Stone, Brick	Fair
Roofing	Single pane, Stained glass	Good
Additional Building Systems		
Mechanical	Swamp cooler and furnace	Good
Electrical	Lighting and power	Good
Plumbing	Restroom and kitchen sink	Good
Fire Protection & Suppression		Not Observed

Table 1-2: Condition Assessment of Structural Features

Primary Architectural Features	Description of Primary Materials	Condition
Foundation	New foundation stem walls and concrete footings	Good
Roofing	Hip roof with curved eaves and shed dormer	Good
Flooring	Dimensional lumber	Good
Walls and Framing	Framed stud walls and LVL headers	Good
Lateral Force Resisting Systems (LFRS)	Wood framed and sheathed sheer walls, the wood floor diaphragms, and wood roof sheathing and framing	Good
Porch and Ramp	Wrap around porch and entrance ramp	Good



## ADDITIONAL IMAGES

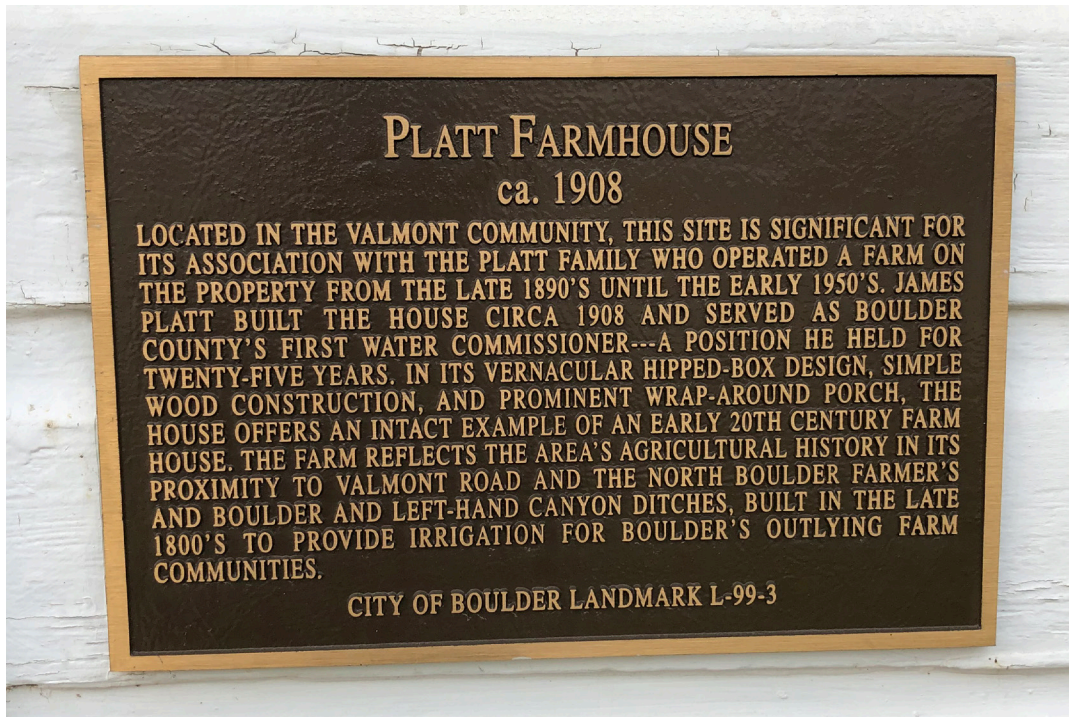


Figure 1-26. Platt Farmhouse Landmark Designation plaque, 2020 (source: Ratio)



Figure 1-27. North elevation view, 2020 (source: Ratio)





Figure 1-28. West elevation view, 2020 (source: Ratio)



Figure 1-29. South elevation view, 2020 (source: Ratio)





Figure 1-30. East elevation view, 2020 (source: Ratio)



Figure 1-31. View of crawl space access, 2020 (source: Ratio)





Figure 1-32. View of attic space, 2020 (source: Ratio)



Figure 1-35. View of attic space, 2020 (source: Ratio)



Figure 1-33. View of south porch, 2020 (source: Ratio)



Figure 1-36. View of east porch, 2020 (source: Ratio)

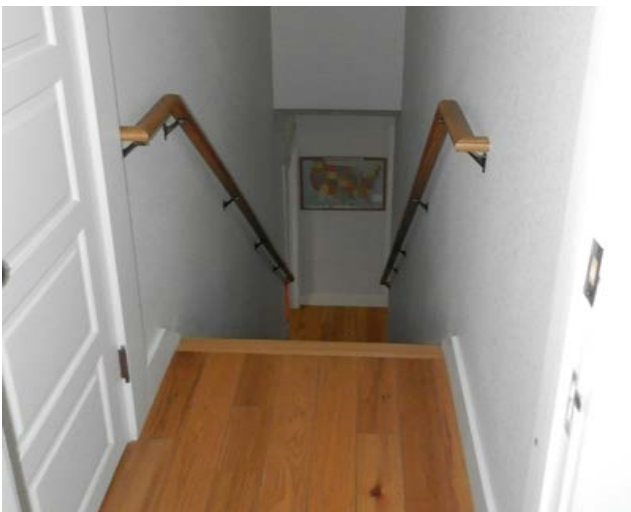
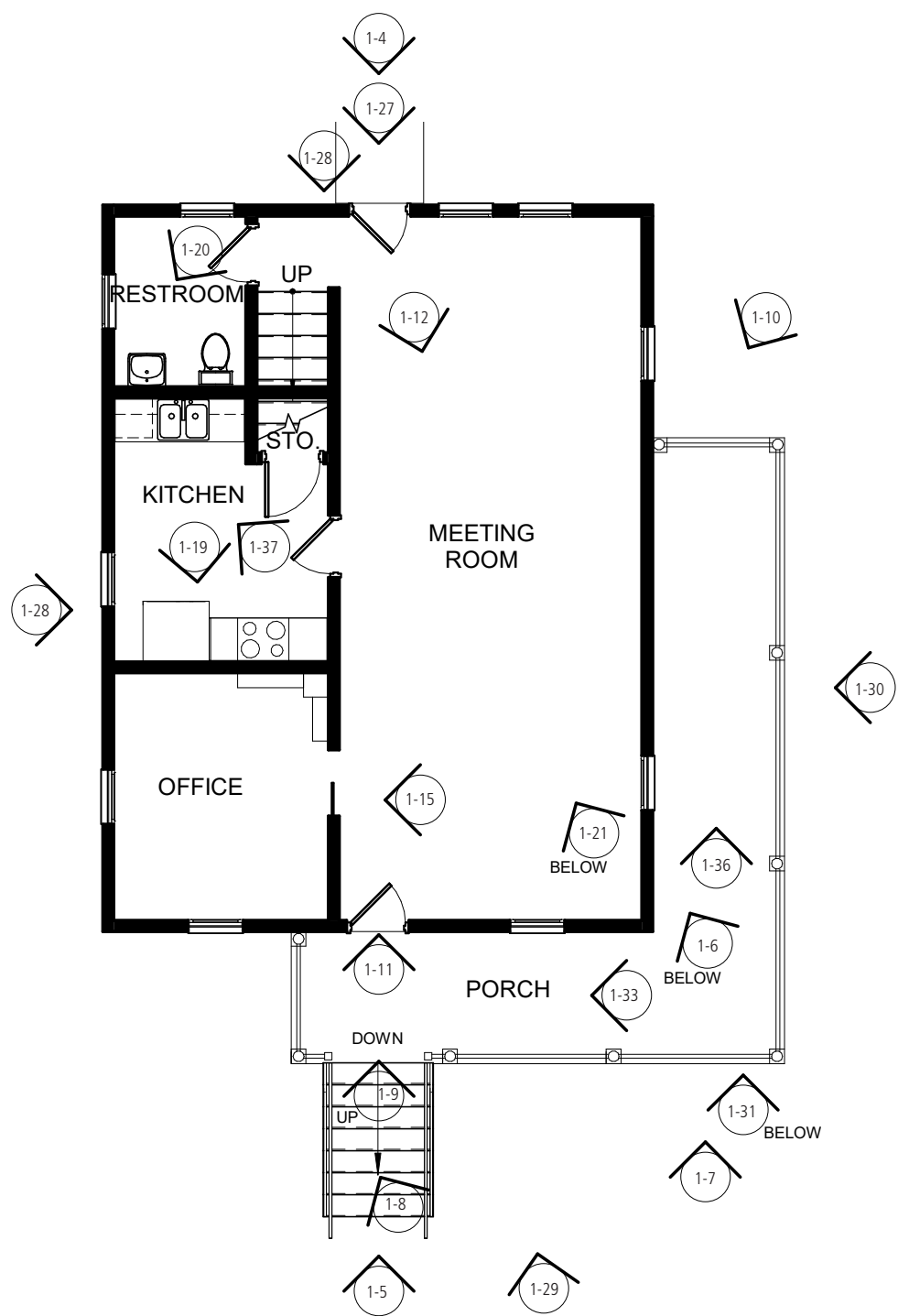


Figure 1-34. View of interior stairway, 2020 (source: Ratio)



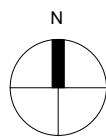
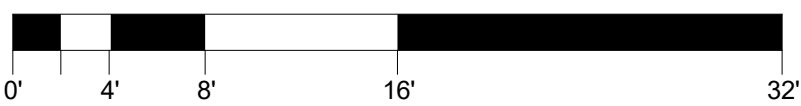
Figure 1-37. View of kitchen, 2020 (source: Ratio)

SKETCHES

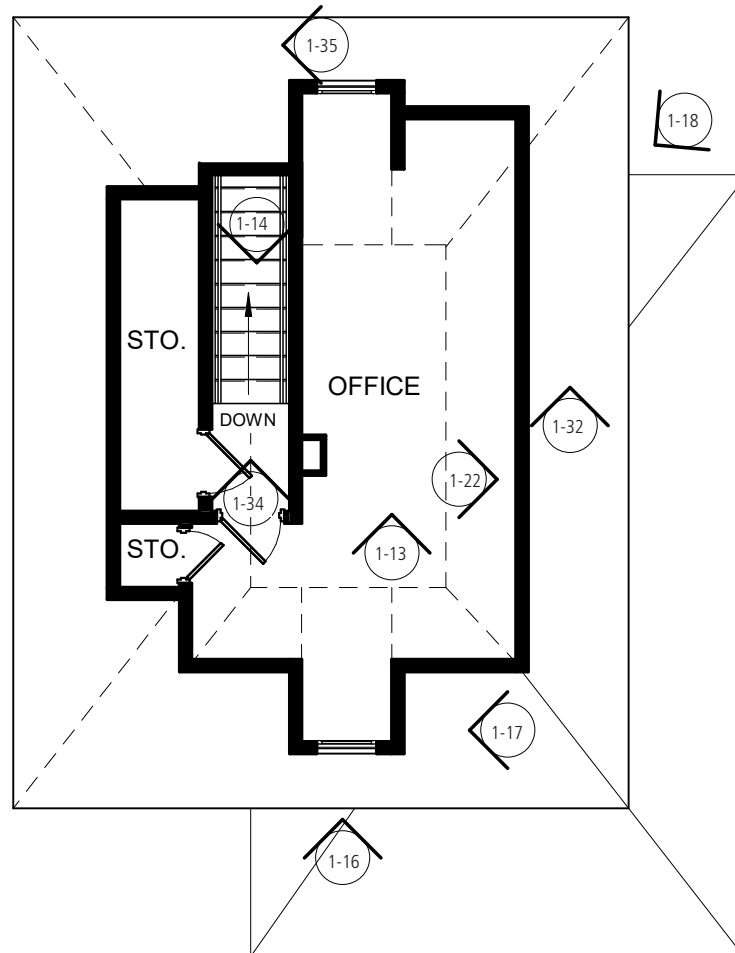


EXISTING FIRST FLOOR PLAN

1/8" = 1'-0"

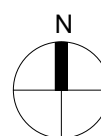
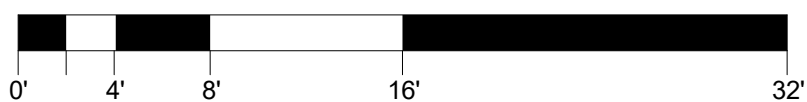






## EXISTING SECOND FLOOR PLAN

1/8" = 1'-0"



## RESOURCES

East Boulder Working Group. East Boulder Inventory and Analysis Report, Boulder (Colo.) Office of Arts and Culture, 2020.

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Boulder Parks Multiple Resource Preservation Plan  
**Platt Farmhouse Historic Context**

**Statement of Context**

Platt Farmhouse is historically significant for its association with the Platt family and for their role in the agricultural development of east Boulder. The house is architecturally significant as an intact example of an early-twentieth century vernacular farmhouse as reflected in its hipped-box design, simple wood frame construction, and prominent wrap-around front porch. The house is also significant for its proximity to the North Boulder Farmers Ditch and the Boulder and Lefthand Ditch, which played significant roles in the agricultural development of the Valmont community.<sup>1</sup>

**Background History**

Platt Farmhouse is located in east Boulder in an area generally known as the Valmont community. The Valmont community was founded in 1860 by a group of former miners seeking their fortunes in agriculture. The subject farm was originally homesteaded by James Rhoads, the son of a Boulder Pioneer Joseph Rhoads, in 1872.<sup>2</sup> It is unclear if Rhoads and his family ever lived on the property. The farm changed ownership multiple times in the 1880-90's until it was purchased by James M. Platt in 1896. In 1908, the Platt constructed the Farmhouse that we see today. Platt and his family moved to Boulder from Iowa in search of new farming opportunities. He remarried after his first wife died and had twelve children in total. In addition to farming, Platt served as Boulder County's first water commissioner. Upon Platt's death, he passed along this position to his son, Thomas Platt, who also served as a daily weather server for the National Weather Service.<sup>3</sup>

The Platt family lived in the house until the early 1950's. The Farmhouse was owned by the Howe Family of Howe Mortuary and, later, Mr. Everett Wiehe until the property was finally acquired by the Boulder Parks and Recreation Department in 1997.<sup>4</sup> When the Parks and Recreation Department purchased the land, they proposed moving the Farmhouse to facilitate the construction of a bike park to the north and east of the site.<sup>5</sup> Originally, the house was located on approximately 25 acres of rural, undeveloped land bounded to the south by Valmont Road, Airport Road to the west, the Boulder County Jail complex to the north, and an industrial site to the east.<sup>6</sup> On March 3, 2011, the Landmarks Board approved a Landmark Alteration Certificate to relocate and restore Platt Farmhouse. On June 3, 2011, the building was relocated from 5227 Valmont Road to 3160 Airport Road, and the bike park construction was completed soon after.<sup>7</sup>

During relocation efforts, multiple modifications and rehabilitations took place. The building was placed on a new poured concrete foundation that maintains an elevated space under the porch to provide an accessible crawlspace. The wood Doric porch columns were replaced to match in kind. Some of the original windows and doors were replaced to match in kind. The walls were repainted, kitchen and bathroom fixtures were updated, and all of the existing appliances were replaced or added during this time.

**Definition of the Context**

Platt Farmhouse and its setting are associated with the themes of Architecture and Agricultural Development. Not only is the House an intact example of early 20th century vernacular Farmhouse construction, but its

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<sup>1</sup> Holthouser, Neil and Ruth McHeyser. Memorandum. City of Boulder Parks Department, 2.

<sup>2</sup> Ibid, 3.

<sup>3</sup> Ibid, 2.

<sup>4</sup> Ibid.

<sup>5</sup> East Boulder Working Group. *East Boulder Inventory and Analysis Report*, Boulder (Colo.) Office of Arts and Culture, 6.

<sup>6</sup> Holthouser, Neil and Ruth McHeyser. Memorandum. City of Boulder Parks Department, 3.

<sup>7</sup> East Boulder Working Group. *East Boulder Inventory and Analysis Report*, Boulder (Colo.) Office of Arts and Culture, 6.

associations with the Platt Family also played a valuable role in the development of the Valmont community and agriculture within the City of Boulder.

### **Development of the Theme or Area of Significance**

The Farmhouse is located in east Boulder in an area generally known as the Valmont community. The Valmont community was founded in 1860 by a group of former miners seeking their fortunes in agriculture. The town of Valmont, plotted in 1865, started out as a farming community. For a brief period in the 1860s, Valmont's population actually surpassed that of Boulder. Platt Farmhouse site is significant for its relationship to three key land features in east Boulder: North Boulder Farmers Ditch, Boulder and Left Hand Ditch, and Valmont Road. The North Boulder Farmers Ditch was constructed in 1862 to divert water from Boulder Creek to outlying farm communities. A second irrigation canal, the Boulder and Lefthand Ditch, was constructed in 1873 to parallel the Farmers Ditch. Together, the ditches played a vital role in the agricultural success of the Valmont area. Platt Farmhouse sits approximately 40 feet north of the Boulder and Lefthand Ditch.<sup>8</sup>

Valmont's agricultural accomplishments also depended on reliable transportation. Valmont Road was built in the early 1860s to transport agricultural products from outlying farm communities to markets in Boulder. The importance of the road as an agricultural trading route is reflected in the placement of many farmhouses along Valmont Road, such as Platt Farmhouse.<sup>9</sup>

Platt and his family moved to Boulder from Iowa in search of new farming opportunities and built Platt Farmhouse in 1908.<sup>10</sup> The Platt Family maintained the farmland and house until the early 1950s. In addition to farming, the Platt family was deeply engaged with water resource issues in the Boulder Valley. In 1907, James Platt was appointed Boulder County's first water commissioner, a position he held for 25 years.<sup>11</sup>

### **Associated Property Types**

Platt Residence was built in the typical Vernacular Farmhouse style of the early 20th century. This structure is reminiscent of other Farmhouses built during this time throughout Colorado that can still be seen in most rural communities today. Many of this style of houses no longer exist in the Valmont Community making it a truly unique occurrence within the remaining rural landscape. An example of this style of architecture most similar to Platt Farmhouse is Roney House which still exists within the Valmont Community today. Like Platt Farmhouse, Roney House is modest in form, has a hipped roof with central dormers, and lacks architectural details.

### **Physical Characteristics and Integrity**

Platt Farmhouse retains its vernacular hipped-box design, simple wood-frame construction, and prominent wrap-around front porch.<sup>12</sup> A stair at the main entry leads up to the elevated wrap around porch. The hipped roof features sprung (flared) eaves. The house features poured concrete foundations, central brick chimney, and double-hung windows with wood shutters. The roof consists of asphalt shingles and the dormers have wood shingle siding. The interior walls are painted plaster, as well as the ceiling, and the floors are hardwood.

Platt Farmhouse possess a high degree of authenticity and retains its integrity of location, design, materials, workmanship, feeling, and association. This building was relocated to its existing location in 2011 for the construction of a new bike park. It was placed approximately 700 feet west of its original location and at one

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<sup>8</sup> Holthouser, Neil and Ruth McHeyser. Memorandum. City of Boulder Parks Department, 3.

<sup>9</sup> Ibid.

<sup>10</sup> Ibid, 2.

<sup>11</sup> Ibid.

<sup>12</sup> Holthouser, Neil and Ruth McHeyser. Memorandum. City of Boulder Parks Department, 4.



of the main entrances to the bike park.<sup>13</sup> Although building relocation is never ideal, the property remains within the Valmont Community and maintains its rural character. The house generally retains a high degree of architectural integrity, especially from the south (front) elevation. However, a 1970's addition to the west elevation is not compatible with the original design of the house.<sup>14</sup> Most of the original materials have remained the same. The workmanship is consistent with the typical Vernacular Farmhouse construction throughout Colorado since 1860, as well as a good portion of the United States in the early 20th century. Since the building was relocated, there is a feeling of disconnect with its original history. However, it still feels like a prominent part of the community in its new location within the bike park. Through preservation and continuing the Farmhouse's story, the structure has retained its association with the Platt family as prominent members of the Valmont (and wider Boulder) community, as well as its associations with early agricultural development in Boulder.

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<sup>13</sup> East Boulder Working Group. *East Boulder Inventory and Analysis Report*, Boulder (Colo.) Office of Arts and Culture, 6.

<sup>14</sup> Holthouser, Neil and Ruth McHeyser. *Memorandum*. City of Boulder Parks Department, 4.