



RONNEY FARMHOUSE

RESOURCE ASSESSMENT REPORT



DRAFT MARCH 2021

ACKNOWLEDGEMENTS

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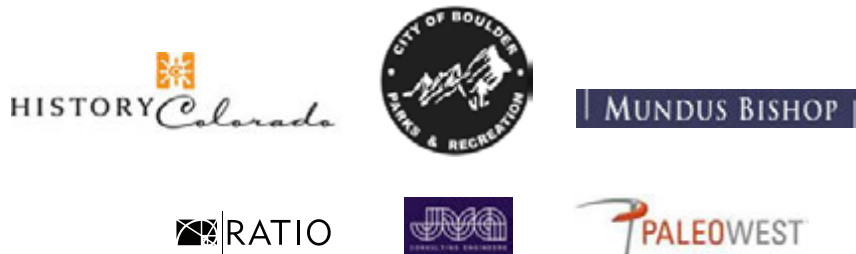
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IMAGE CREDITS

Current-day (2020) photographs provided by Mundus Bishop, RATIO, JVA, and PaleoWest. Historic photographs (pre-2020) provided by the City of Boulder or from online archives at the Carnegie Branch Library for Local History and Boulder Historical Society Collection, unless otherwise noted.

DISCLAIMER

The Resource Assessment Report documents the history, significance, integrity and current condition of the resource. It does not evaluate for listing in the National Register of Historic Places. If the resource has been previously listed or evaluated it is referenced and footnoted.



This report is funded in part through a grant from History Colorado, State Historical Fund

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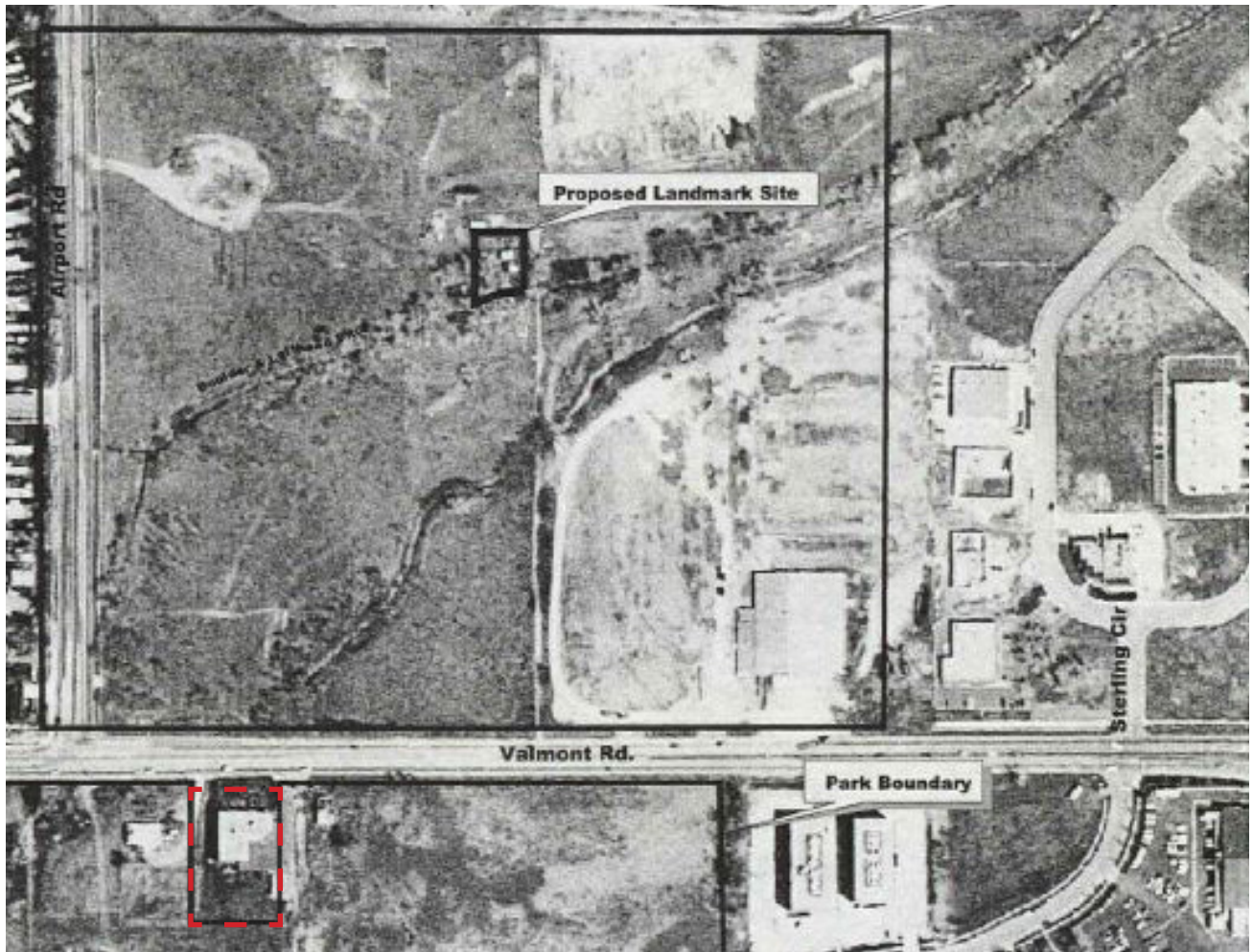


Figure 1-1. Aerial view of Roney House located in the Valmont Community (source: Memorandum for 5227 Valmont Road)

COMMON TERMINOLOGY

State/National Register Terminology ^{1 2}

Area of Significance - an aspect of historic development in which a property made contributions for which it meets the National Register criteria, such as architecture, entertainment or recreation.

Character-Defining Features - the elements that account for the overall shape of the building, its materials, craftsmanship, decorative details, interior spaces and features, as well as the various aspects of its site and environment.

Contributing Resource - a building, site, structure, object, or feature adding to the significance of a property.

Designation Boundary - the boundary defined by the Landmarks Board and City Council that encompasses a historic property. This boundary represents a physical area in which any future alterations have historic preservation review associated with them.

Eligibility - ability of a property to meet the State/National Register criteria.

Evaluation Criteria - the established criteria for evaluating the eligibility of properties for inclusion in the State/National Register of Historic Places.

Historic Context - information about historic properties based on a shared theme, specific time period and geographical area.

Landscape Characteristics - the tangible and intangible aspects of a landscape from a historic period; these aspects individually and collectively give a space its historic character and aid in understanding its historical importance.

Local Landmark - a local area or building that has been determined to have a special character and historic, architectural, or aesthetic or value to the city.

Period of Significance - the span of time in which a property attained the significance for which it meets the State and/or National Register criteria, and/or Local Landmarks criteria.

Property Type - a grouping of properties defined by common physical and associative attributes.

Integrity ³

Integrity is the ability of a property to convey its significance. It is assessed to determine if the characteristics that shaped the property during the period of significance are present as they were historically.

Location is the place where the historic property was constructed or the place where the historic event occurred.

Setting is the physical environment of a historic property.

Design is the combination of elements that create the form, plan, space, structure, and style of a property.

Materials are the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property.

Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.

Feeling is a property's expression of the aesthetic or historic sense of a particular period of time.

Association is the direct link between an important historic event or person and a historic property.

1 US Department of the Interior, National Park Service, *How to Complete the National Registration Bulletin* (Washington DC: National Park Service Cultural Resources, 1997), Appendix IV.

2 US Department of the Interior, National Park Service, The Secretary of the Interior's Standards for Treatment of Historic Properties with Guidelines for the Treatment of Cultural Landscapes (Washington DC: Cultural Resource Stewardship and Partnerships, 1996).

3 Ibid.

4

PROPERTY OVERVIEW

Property Name: Roney Farmhouse
Location: Valmont City Park
Property Address: 5172 Valmont Road, Boulder, Colorado 80302
Latitude/Longitude: 40.0290 / -105.2329
Legal Property Description: TR 1655 & TR 1655 C & TR 1655 D 28-1N-70 LESS 0.11 ACS M/L TO BOULDER COUNTY REC 478346 TOTAL 16.00 ACS M/L SEE ID 29943 1983/OWNER
Parcel Tag: 146328000004
Acreage / Square Footage: NA
Date of Construction: 1910
Designer(s): Unknown

DESIGNATION, ELIGIBILITY, & CLASSIFICATION SUMMARY

Current Designation Level		Ordinance & Listing Information	
<input checked="" type="checkbox"/> Local Landmark <input type="checkbox"/> State Register of Historic Properties (SRHP) <input type="checkbox"/> National Register of Historic Properties (NRHP)		City of Boulder Local Landmark No: <u>99-2</u> Ordinance No: <u>7017</u> Ordinance Date: <u>November 09, 1999</u> State ID: _____ Smithsonian Trinomial: <u>5BL13979</u> National Historic Landmark No: _____	
State & National Register Eligibility		Areas of Significance	
State Register of Historic Properties	National Register of Historic Properties	<u>Agriculture</u> <u>Architecture</u> <u>Transportation</u>	
<input type="checkbox"/> Determined Eligible <input type="checkbox"/> Delisted	<input type="checkbox"/> Determined Eligible <input type="checkbox"/> Delisted		
Recommended Period of Significance		Property Integrity: Aspects	
Date Range: <u>1911</u> to <u>1968</u>		<input checked="" type="checkbox"/> Location <input type="checkbox"/> Setting <input type="checkbox"/> Design <input checked="" type="checkbox"/> Materials <input type="checkbox"/> Workmanship <input type="checkbox"/> Feeling <input checked="" type="checkbox"/> Association	
Property Types		NRHP Evaluation Criteria	
<input type="checkbox"/> District(s) <input checked="" type="checkbox"/> Sites(s) <input checked="" type="checkbox"/> Buildings(s)	<input type="checkbox"/> Structure(s) <input type="checkbox"/> Object(s) <input type="checkbox"/> Feature(s) (SRHP)	<input type="checkbox"/> Criteria A: The property is associated with event that have made a significant contribution to the broad patterns of our history <input type="checkbox"/> Criteria B: The property is associated with the lives of persons significant in our past <input type="checkbox"/> Criteria C: The property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components may lack individual distinction <input type="checkbox"/> Criteria D: The property has yielded, or may be likely to yield, information important in prehistory or history	
Individual Character-Defining Features of Property Types			
District(s) _____ _____	Structure(s) _____ _____		
Site(s) <u>Valmont City Park</u> _____	Object(s) _____ _____		
Building(s) <u>Roney Farmhouse</u> _____	Feature(s) (SRHP only) _____ _____		

Designation Boundary

Roney Farmhouse is located in its original location. The designated boundary includes the house and the surrounding area.



Figure 1-2. Aerial view of Roney Farmhouse in its current location along Valmont Road, 2021 (source: Google Earth)

HISTORY & SIGNIFICANCE

Historic Context

See Appendix

Statement of Significance

Roney Farmhouse is historically significant for its role in the agricultural development history of the Valmont Community, and architecturally significant as an intact example of an early 20th century farmhouse as reflected in its vernacular hipped-box design, simple wood-framed construction, and prominent front porch.⁴ Today, the house has remained in its original location, set back from Valmont Road approximately 30 feet.⁵ This is the only historic farmhouse in the Valmont Community to do so making it a truly unique piece of history to the Valmont Community and the wider City of Boulder.

Roney Farmhouse is significant for the role it played in the development of the Valmont Community within the City of Boulder since the early 1900s and its associations with the Roney Family. This house is located along Valmont Road in east Boulder in an area generally known as the Valmont Community. Like other farm houses of its era, it was located in a community that was established to facilitate agricultural trade between Boulder and its outlying farm communities.⁶ In the early 1900's, James Roney moved to the Valmont Community and built the House that still fronts Valmont Road today. Other than maintaining the farmhouse and land, James Roney served as undersheriff for Boulder County starting in 1918. His son, Robert Roney, grew up to marry Boulder Native, Ruby sellers, and together they helped establish the Pow Wow Rodeo and served the wider Boulder Community by working with the Post Office to deliver mail to mountain communities.⁷

Roney Farmhouse is significant for maintaining an early example of vernacular farmhouse within the east Boulder community and the United States altogether. It is consistent with the typical vernacular wood frame structure built throughout Colorado farming communities since 1860, as well as a good portion of the United States in the early 20th century.⁸ Typical characteristics of this of this style include, but are not limited to: an absence of architectural features and details, simple, modest buildings, usually small one-story structures, hipped roofs with central dormers, and a front porch. This is the last remaining farmhouse from east Boulder's early Valmont Community to remain in its original location.

Recommended Period of Significance

The recommended period of significance for Roney Farmhouse is from 1910 to 1968. The period begins with the construction of the house and ends with the year Roney Family ceased occupying the house as their residence.

4 Holthouser, Neil and Ruth McHeyser, Memorandum for 5172 Valmont Road, City of Boulder Parks Department, 4.

5 Ibid, 3.

6 Ibid, 2.

7 Ibid, 3.

8 Ibid, 4.

Summary of Use

Historic Use

The property was first homesteaded in 1865 by Joseph D. Fowler although little else is known about him or his activities. The property remained undeveloped until the late 1890s when the Inland Oil and Refining Company purchased the property and built an oil refinery to the south of the subject farmhouse.⁹ In the early 1900s, James Roney moved his family to the Valmont Community and began leasing approximately 36 acres from the Inland Oil and Refining Company. In or about 1911, James constructed Roney Farmhouse that exists today. Roney also established a dairy farm and built several outbuildings, all of which have been demolished.¹⁰ Roney bought the 36 -acre farm outright in 1915. The Roney Family owned and operated the property until 1968. The Roney Family sold the farm in 1972 to Kenneth C. Schneider.¹¹

Date	Event
1865 to Unknown	Property First Homesteaded by Joseph D. Fowler
1911 to 1968	Roney Family Builds and owns Farmhouse Property
1972 to late 1990s	Roney Farmhouse is owned by Kenneth C. Schneider

Current Use

It is unclear when Boulder Parks and Recreation Department acquired the property. It was likely acquired around the same time as the Platt Farmhouse in the late 1990s. Roney Farmhouse currently sits abandoned in its original location. It is the only vernacular farmhouse from the late nineteenth, early 20th century within the Valmont Community to remain, let alone in its original location. The property is maintained by City staff as well as local law enforcement City staff. Over recent years, the city has commissioned various redevelopment plans for Valmont City park which have included the renovation of Roney Farmhouse for future use, although nothing has been formerly approved to move forward at this time.¹²

Date	Event
1990s to present	Owned by the City of Boulder

9 Holthouser, Neil and Ruth McHeyser. Memorandum for 5172 Valmont Road. City of Boulder Parks Department, 2.
10 Ibid, 2.
11 Ibid, 3.
12 East Boulder Working Group. East Boulder Inventory and Analysis Report, Boulder (Colo.) Office of Arts and Culture, 7.

ARCHITECTURAL DESCRIPTION

Architecture Summary

This modest, one-story farmhouse features a hipped roof, root cellar, a centered front entrance, and a prominent front porch with a hipped roof as well. The front (north) elevation features a centered hipped dormer with decorative scalloped shingles. The windows are double-hung with wood sashes.

Primary Materials

Roney Farmhouse features sandstone foundations, clapboard siding, and wood framing. The original wood shingle roof has been covered with metal sheet roofing. The original floors are hardwood and the interior walls are painted plaster. The ceiling is comprised of painted plaster as well.

Much of the original materials have remained the same since it's original construction, however, vandalism has left many of the original finishes and fixtures with a substantial amount of damages. Many of the openings have been boarded up with plywood. The rear of the house has seen two additions that are not original but could have been built during the recommended period of significance



Figure 1-3. View of north and west elevations at Roney House, 5172 Valmont Road, early 1900s. (source: Carnegie Library for Local History)

Construction & Alteration History

Date	Event	Source
1865	Subject property was first homesteaded by Joseph D. Fowler	Memorandum for 5172 Valmont Rd, 2
1900s	James Roney moved to the Valmont Community and leased 36-acres of land from the Oil and Refinery Co.	Memorandum for 5172 Valmont Rd, 2
1911	James Roney built the subject farmhouse.	Memorandum for 5172 Valmont Rd, 2
1915	James Roney bought the property outright.	Memorandum for 5172 Valmont Rd, 2
1920s to 1990s	Sometime between 1920-1970, two rear additions were added to the property.	Memorandum for 5172 Valmont Rd, 4
1968	Robert Roney passed away in 1968 and Ruby Roney relocated to a new area.	Memorandum for 5172 Valmont Rd, 3
1972	Kenneth C. Schneider began ownership of the property.	Memorandum for 5172 Valmont Rd, 3
1990s	City of Boulder Parks and Recreation Department acquired the property.	East Boulder Inventory and Analysis Report, 7
1999	Roney Farmhouse was designated a landmark by the City of Boulder.	City of Boulder Landmark L-99-2

INTEGRITY

Location

Roney House is the only farmhouse in the Valmont community to remain in its original location since construction.

Setting

The surrounding landscape to the north has drastically changed from a farming community to a bike park. The land directly south has remained primarily open, but no longer used for agriculture. To the east and west of the property are new commercial developments. This house is no longer compatible with its site due to encroaching commercial development and increased automobile traffic along Valmont Road.

Design

The house has been enlarged with two rear additions, both of which are compatible with the original structure. The first addition, which abuts the original structure, spans the length of the rear elevation and features a shed roof with a 4/12 pitch. The second addition was originally built as a back porch adjoining the shed-roof addition. The porch, which has since been enclosed, has a shed roof with a shallow 2/12 pitch.

Materials

The majority of the original materials have remained the same, however many have been substantially vandalized.

Workmanship

Workmanship is consistent with the typical vernacular wood frame structure built throughout Colorado since 1860 as well as a good portion of the United States in the early 20th century. With an absence of architectural features and details that can distinguish a specific style, these simple, modest homes are divided into types according to floor plan and roof shape. This typical style of house is a small, one-story structure with a hipped roof and usually a front porch.¹³

Feeling

The current state of the house is dilapidated and attracts transients. The general style and character of the house allows potential for use as a community asset with rehabilitation.

Association

Roney House retains its associations with the Roney family and early agricultural development in Boulder.

13 Holthouser, Neil and Ruth McHeyser, Memorandum for 5172 Valmont Road, City of Boulder Parks Department, 4.

CURRENT EXISTING CONDITION

ARCHITECTURAL CONDITION

Concrete

Porch Slabs: The concrete slab of the porch appears to be in good condition. There is some damage to the edge of the slab, and the step below, however it seems minimal and primarily aesthetic. In the rear of the building, there is a step and short sidewalk out from the back door. The step is in good condition, but the sidewalk has a large hole, a corner missing, and is in very poor condition.

Stone

Building foundations and basement walls: Overall, the building foundations are in fair condition. There are a few areas on the south end where major repairs are needed. The basement walls don't show any major cracks or damage, but the top of the stair wall has a notable crack that runs down half the length of the wall.



Figure 1-4. View of damaged concrete sidewalk, 2020 (source: Ratio)

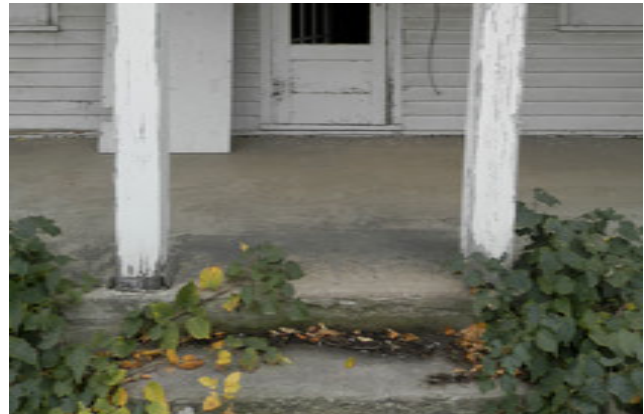


Figure 1-5. View of north porch and step, 2020 (source: Ratio)(source: Ratio)



Figure 1-6. View of cracks at building foundation, 2020 (source: Ratio)



Figure 1-7. View of cracks at basement stair, 2020 (source: Ratio)

Wood

Siding: The existing wood siding is in varying conditions. On the south end of the building, the wood siding is in poor condition, with a large amount of the paint missing, the boards are worn and weather damaged, and there are areas covered with plywood, with greater damage presumed below the plywood panels. However, the portions of siding that are contained within the enclosed porch area are in good condition. The remaining exterior siding walls are in poor to fair shape with paint missing and notable wear, but no large areas of concern.

Exterior Columns: Along the front of the house (north side) are four columns that support the porch roof. The columns are in poor condition. There is a substantial amount of lean to one of the center columns. All four of them have considerable wear and weather damage. The areas of most concern are the bottoms of the columns.



Figure 1-8. View of south wall siding, 2020 (source: Ratio)



Figure 1-9. View of west wall siding, 2020 (source: Ratio)



Figure 1-10. View of north wall siding, 2020 (source: Ratio)

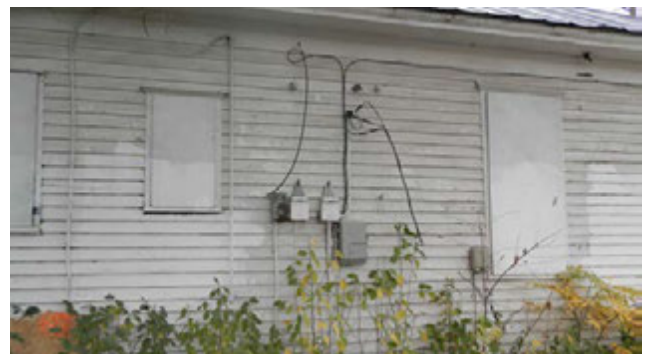


Figure 1-11. View of east wall siding, 2020 (source: Ratio)

Framing: From what could be seen in both the attic and the basement, the wood framing is in good condition.

Windows: All of the window exteriors were boarded up at the time of the site visit, and therefore unable to be verified. The interiors of the wood windows are more visible but covered with a transparent material. From what is observable, the wood windows appear to be in fair condition. Due to the state of the windows, functionality was unable to be tested.

Doors: A majority of the wood doors appear to be original to the house. The existing doors appear to be in fair shape overall, though many have been vandalized since the building was abandoned.

Flooring: The majority of the house has wood floors. Overall they are in fair condition, some rooms with substantial graffiti damage. The wood flooring in south room addition is in very poor condition.

Wall Paneling: There is wood wall paneling as the closet walls of the south room. The wall is in poor condition and has a large hole and a variety of other scratches and scuffs.



Figure 1-12. View of roof framing, 2020 (source: Ratio)

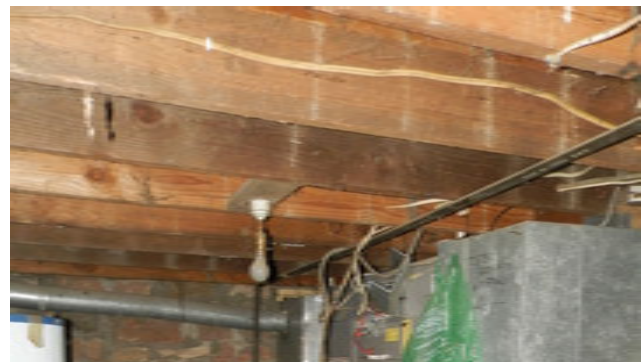


Figure 1-13. View of main floor framing from basement, 2020 (source: Ratio)



Figure 1-14. View of window interiors, 2020 (source: Ratio)



Figure 1-15. View of wood doors, 2020 (source: Ratio)

Plumbing

The restroom and kitchen plumbing elements are all in poor condition. As the building is not in use, the functionality was unable to be verified. The restroom fixtures and finishes are in various states of vandalism and show significant damage.

Roofing

The metal roofing panels appear to be in poor condition. The panels do not show any major holes or cracks, however there is a large amount of rust. The roof flashing and sealant appears to be minimal or missing. The watertightness of the roof was unable to be verified at the time of the site visit.



Figure 1-16. View of wood wall paneling and wood flooring, 2020 (source: Ratio)



Figure 1-17. View of vandalism on wood flooring, 2020 (source: Ratio)



Figure 1-18. View of kitchen sink, 2020 (source: Ratio)



Figure 1-19. View of restroom basement, 2020 (source: Ratio)



Figure 1-20. View of roofing, 2020 (source: Ratio)

STRUCTURAL CONDITION

Structural Summary

Roney House is a one-story hip-roofed wood framed farmhouse that was built in 1906. Since its original construction, two shed additions have been added to the back or south elevation. No drawings of the structure, original or otherwise, were available during this assessment. The structural systems are described below based on our site observations and documentation of the structure.

Foundation

The house has a stone masonry foundation stem wall. The foundation was not exposed or observed below grade, so the depth and presence of a footing is unknown, however, it is likely that the walls extend slightly below grade and bear on a stone masonry footing. The front porch is constructed of a concrete slab on grade, which is not original. Most of the house is built above a crawl space, however, there is partial basement on the east side of the first addition. The basement has coursed stone masonry retaining walls and a concrete slab floor which is covered with dirt. The basement is accessed via an external staircase flanked by stone masonry retaining walls.

The southwest corner of the building has settled; it is sinking and has cracked and rotated away from the building (Figure 1-21). At this location, a gutter with no downspout focuses water at this corner which has likely exacerbated the settlement of the soil in this area due to increased wetting and drying cycles and soil erosion. There are other minor cracks in the foundation caused by thermal expansion which are not of structural concern. A stone has been removed from the rear foundation wall, compromising its integrity. The basement walls all appear in good condition, however the north retaining wall at the access stair has a large diagonal crack near grade and a vertical crack the length off the wall next to the door opening. The unreinforced stone masonry walls are likely inadequate to retain the soil beyond, causing these cracks.



Figure 1-21. Southwest corner foundation settlement, 2020 (source: JVA)

Roofing

The original portion of the house has a hip roof with a 8:12 pitch and one hip-roofed dormer on the north elevation and a low sloped hip porch roof to the north. The primary roof is framed with 2" x 3 1/2" rafters spaced at approximately 24" with rafter ties of the same dimensions running in the north-south direction. The roofs of the additions are monosloped shed roofs; the first addition, framed of 2x6 rafters at 16", has a 3.5:12 pitch, steeper than the second shed roof that has a 1.5:12 pitch and is framed with 2x4 rafters at 24" on center.

There is no sagging or deflection to indicate structural problems with the roof; however, the second addition roof does not meet current Code requirements. Several of the ends of the roof rafters of the second, southernmost addition have rotted which are exposed to the elements at the rear of the building where the fascia board is missing. The metal roof has a significant amount of rust, especially on the lower sloped addition and porch roofs. As this worsens, openings can form, allowing moisture to enter the roof and damage the framing.

Flooring

The floor system in the original house consists of full sawn 2" x 8" (actual dimension) joists spaced at 16" OC and spanning in the north-south direction between the stone stem foundation walls and a large timber resting on grade at approximately the mid-point of the original building. The first addition floor system visible in the basement consists of nominal 2 x 8 joists spaced at 16" also in the north-south direction between foundation walls. The joists bear directly on the stone walls; there is no wood sill plate. The floor framing in the second addition is dimensional lumber spanning in the east-west direction. The floor systems appear in good condition. The timber supporting the floor joists in the original part of the house is resting on grade with no vapor barrier. This condition can harbor moisture against the wood member and encourage decay fungi to flourish.



Figure 1-22. Original house roof framing, 2020 (source: JVA)



Figure 1-23. Back of Roney House, note rusted metal roof, 2020 (source: JVA)

Walls and Framing

The original structure and additions are constructed of wood framed stud walls. Only the framing of the original structure was visible, seen from the attic to be 2" x 4" studs spaced at 24". There is now a cripple wall in the attic space above the location in the kitchen where the original exterior was removed during the first addition. A supporting element beneath this cripple wall was not visible at the time of the observation visit.

The stud walls are in good condition; however, the rear wall sheathing appears to be suffering from moisture related decay where the gutter is missing. It is not known if the concealed stud framing beyond is deteriorating, although it is likely given the level of decay of the siding. In the kitchen, it is unclear what is supporting the attic cripple wall at the location of the removed original south wall of the house. This wall takes a significant load from both the main hip roof and the shed roof of the first addition, so it is important that it is adequately supported.

Lateral force resisting system (LFRS)

The LFRS of the house consists of the wood stud walls sheathed with exterior siding and interior plaster, as well as the wood roof sheathing and framing. The existing LFRS is in good condition. It has performed well over the lifetime of the structure; however, it likely does not meet current Code requirements. If a change in use is suggested, Code required upgrades may be triggered.

Chimney and Porch

The house has a brick masonry capped chimney in the center of the original space that now terminates in the attic at the ridge of the hip roof. The front porch is supported by a row of four columns. One of the porch columns has become dislodged and is not supporting the north edge of the porch roof. All of the columns are rotting at their bases where in contact with the concrete porch which can harbor moisture against the wood elements and cause decay fungi to flourish.



Figure 1-24. Original house roof framing, 2020 (source: JVA)



Figure 1-25. Seating showing spall at pedestal (source: JVA)

Structural Condition Definitions

This structural condition assessment makes use of terms concerning the condition of building components which are defined as follows:

Good - A structural element, component or system is considered in good condition when it is undamaged, structurally sound or functionally operational, and performing as intended. No specific repairs are required, and only minor or routine maintenance is needed.

Fair - An element, component or system is considered in fair condition when there are signs of wear or deterioration, such as freeze-thaw deterioration, corrosion, or wood decay exceeding expectations based on the age and use of the element, that may be reducing the structural capacity of the member. Replacement or repair of the element may be required.

Poor - An element, component, or system is considered in poor condition when it no longer performs its intended structural purpose. Deterioration or damage reduced the load carrying capacity of the element and simple repairs cannot be justified or are not expected to be effective. The element may show signs of imminent failure. Major repair or replacement will be required.

Note: Condition ratings reported are based upon visual observations only. No material testing or exploratory observations have been made. Further investigation could result in modification to condition ratings.

Table 1-1: Condition Assessment of Architectural/Structural Features

Primary Architectural/ Structural Features	Description of Primary Materials	Condition
Concrete	Concrete slab on grade	Fair
Stone	Foundations	Fair
Wood	Wood siding, framing, windows, doors	Poor
Plumbing	Sink, toilet, tub/shower interior fixtures	Poor
Roofing	Metal roofing panels	Poor
Additional Building Systems		
Electrical	Unable to be reviewed	
Plumbing	Unable to be reviewed	

Table 1-2: Condition Assessment of Structural Features

Primary Architectural Features	Description of Primary Materials	Condition
Foundation	House: stone masonry stem wall; Porch: concrete slab on grade	Poor - Good
Roofing	Hip roof	Fair (not to code)
Flooring	Full sawn 2" x 8" joists spaced 16" OC	Good - Fair
Walls and Framing	Wood framed stud walls	Good
Lateral Force Resisting Systems (LFRS)	Wood stud walls sheathed with exterior siding and interior plaster; wood roof sheathing and framing	Good (not to code)
Porch	Supported by row of four columns	Fair

ADDITIONAL IMAGES

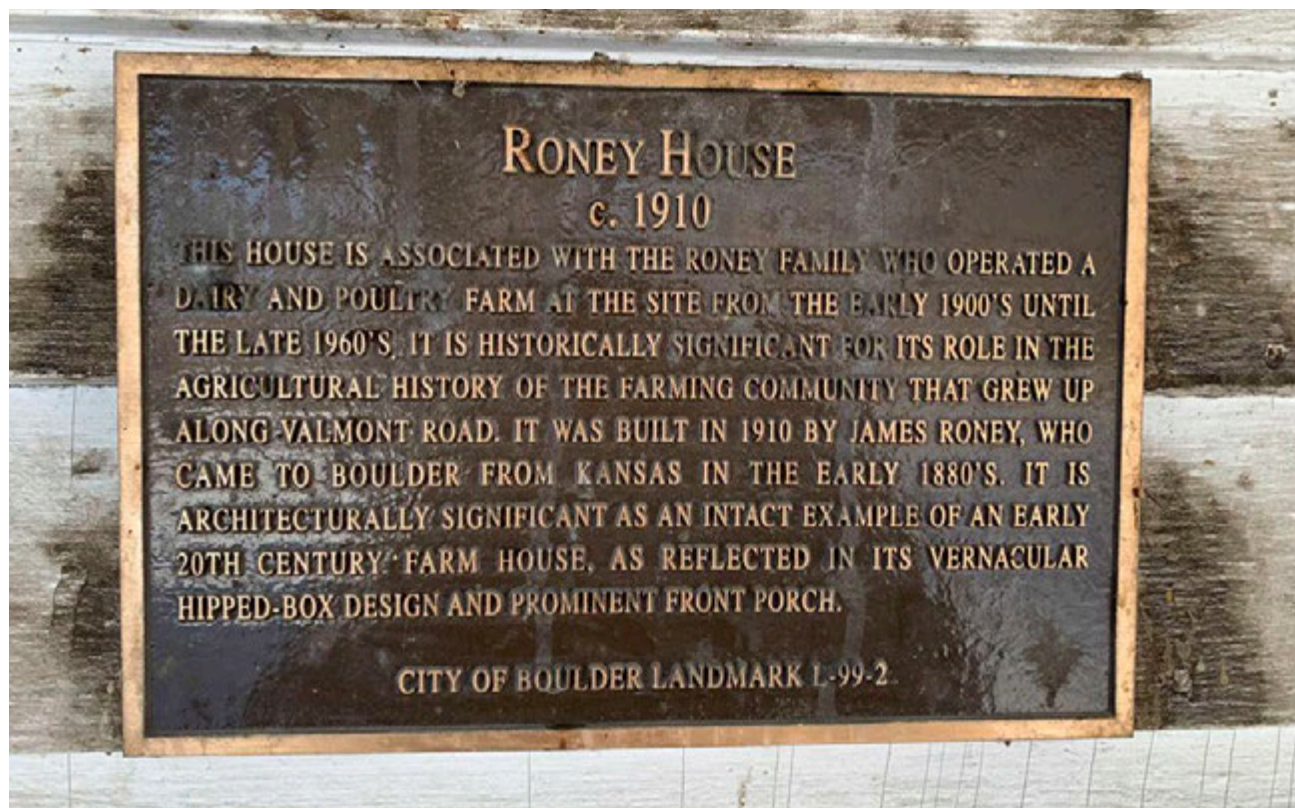


Figure 1-26. Roney House Landmark Designation plaque, 2020 (source: Ratio)



Figure 1-27. Northeast elevation view, 2020 (source: Ratio)



Figure 1-28. Southeast elevation view, 2020 (source: Ratio)



Figure 1-29. Interior living room view, 2020 (source: Ratio)



Figure 1-30. View of exterior basement steps from interior, 2020 (source: Ratio)

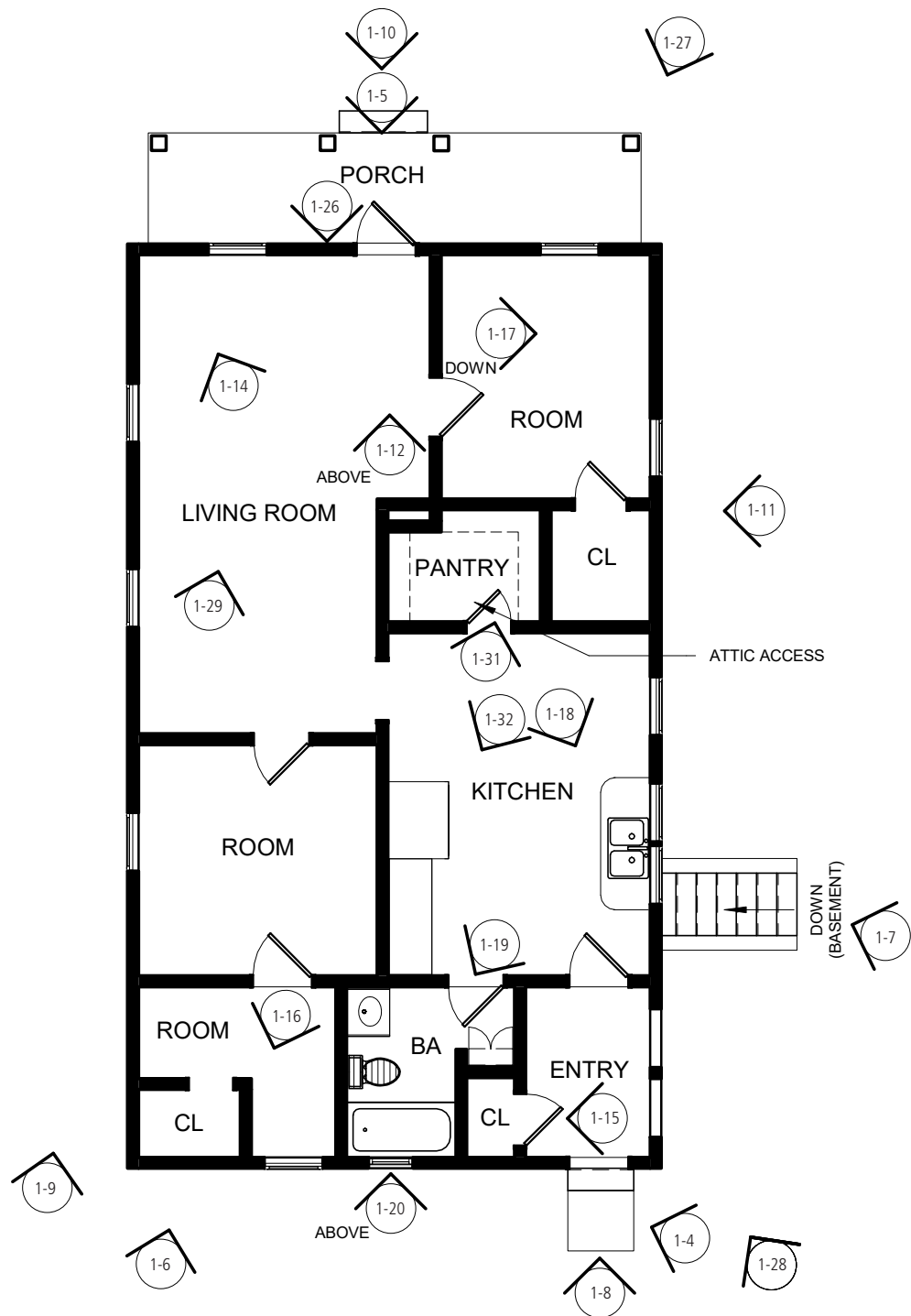


Figure 1-31. Interior pantry view, 2020 (source: Ratio)



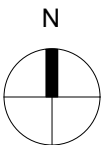
Figure 1-32. Northeast elevation view, 2020 (source: Ratio)

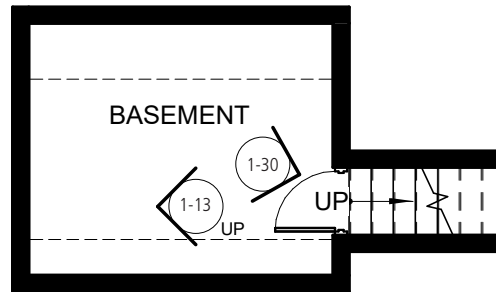
SKETCHES



EXISTING FIRST FLOOR PLAN

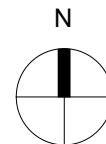
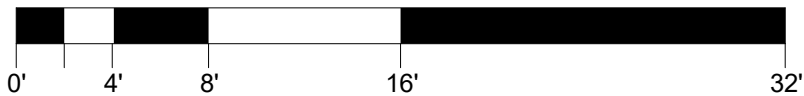
1/8" = 1'-0"





EXISTING BASEMENT FLOOR PLAN

1/8" = 1'-0"



RESOURCES

East Boulder Working Group. East Boulder Inventory and Analysis Report, Boulder (Colo.) Office of Arts and Culture, 2020.

Holthouser, Neil and Ruth McHeyser. Memorandum for 5227 Valmont Road. City of Boulder Parks Department. September, 1 1999.

United States Department of the Interior, National Park Service. *How to Complete the National Registration Bulletin*. Washington DC: National Park Service Cultural Resources, 1997.

United States Department of the Interior, National Park Service. *The Secretary of the Interior's Standards for Treatment of Historic Properties with Guidelines for the Treatment of Cultural Landscapes*. Washington DC: Cultural Resource Stewardship and Partnerships, 1996.

Boulder Parks Multiple Resource Preservation Plan
Roney Farmhouse Historic Context

Statement of Context

Roney Farmhouse is historically significant for its role in the agricultural development history of the Valmont Community, and architecturally significant as an intact example of an early 20th century farmhouse as reflected in its vernacular hipped-box design, simple wood-framed construction, and prominent front porch.¹ Today, the house has remained in its original location, set back from Valmont Road approximately 30 feet.² This is the only historic farmhouse in the Valmont community to do so making it a truly unique piece of history to the Valmont Community and the wider City of Boulder.

Background History

The property was originally homesteaded by Joseph D. Fowler in 1865, although little is known about Fowler or his lifestyle. The property remained undeveloped until the late 1890's when the Inland Oil and Refining Company purchased the property and built an oil refinery, (that has since been demolished), located south of the farmhouse. James Roney came to Boulder from Kansas in the early 1880's and found work as a sawmill laborer. In 1887, Roney married Mabel Copes and together they had four children: Roy, Curtis, John, and Robert. In the early 1900's, James Roney moved his family from Ward to the Valmont community and began leasing approximately 36 acres from the Inland Oil and Refining Company. In 1910, Roney built the farmhouse on the northern edge of the property, fronting Valmont Road. Roney built several outbuildings and established a dairy and poultry farm that the family operated until the 1960's, (all of which have since been demolished). Roney bought the 36-acre farm outright in 1915. Other than tending to the land, James Roney served as undersheriff for Boulder County starting in 1918.³

James' son, Robert, grew up on the family farm where he helped his father raise dairy cows and poultry. In 1927, he married Boulder native Ruby Sellers, the great-granddaughter of Boulder pioneer James King. Robert and Ruby Roney lived in the farmhouse from 1927 until the late 1960's. In addition to farming, Robert and Ruby worked for the Post Office, delivering mail to several mountain communities. In 1939, the Roney's helped establish the Pow Wow Rodeo, (then the third-largest rodeo in the country). Robert Roney died in 1968, after which his wife moved to Niwot and later passed away in 1992.⁴ The Roney family sold the farm in 1972 to Kenneth C. Schneider who eventually sold the property to the City of Boulder Park and Recreation Department.⁵

Much of the original materials have remained the same since its original construction, however, vandalism has left many of the original finishes and fixtures with a substantial number of damages. Many of the openings have been boarded up with plywood. The rear of the house has seen two additions that are not original but could have been built during the recommended period of significance.

Definition of the Context

¹ Holthouser, Neil and Ruth McHeyser. Memorandum for 5172 Valmont Road, 4.

² Ibid, 3.

³ Ibid, 2.

⁴ Ibid, 3.

⁵ East Boulder Working Group. East Boulder Inventory and Analysis Report, Boulder (Colo.) Office of Arts and Culture, 7.

Roney Farmhouse and its setting are associated with the themes of Architecture and Agricultural Development. Not only is the House an intact example of early twentieth century vernacular Farmhouse construction, but its associations with the Roney Family also played a valuable role in the development of the Valmont community and agriculture within the City of Boulder.

Development of the Theme or Area of Significance

Roney Farmhouse is located in east Boulder in an area generally known as the Valmont Community. The Valmont Community was founded in 1860 by a group of former miners seeking their fortunes in agriculture. The town of Valmont, plotted in 1865, started out as a farming community. For a brief period in the 1860s, Valmont's population actually surpassed that of Boulder. Roney Farmhouse is significant for its relationship to three key land features in east Boulder: North Boulder Farmers Ditch, Boulder and Left Hand Ditch, and Denver and Boulder Valley Railroad.⁶

The water supply was supplemented in 1873 with the construction of the Boulder and Left Hand Ditch, which runs nearly parallel to the Farmers Ditch north of Roney Farmhouse. Roney Farmhouse property was served by an irrigation canal, called the Young Ditch, which drew water from the Farmers Ditch.⁷

Roney Farm was bounded to the south by the Denver and Boulder Valley Railroad, which was also built in 1873 and later acquired by Union Pacific. The railroad was the first to connect Boulder and Denver by train and played an important role in the transport of agricultural products from Valmont to Boulder. ⁸"In an interview recorded a year before her death, Ruby Roney recalled the trains passing through her family's farm during the Great Depression, loaded with men headed to Boulder looking for work."⁹

Speaking of transportation, Valmont Road was built in the early 1860s to move agricultural products from outlying farm communities to markets in Boulder. The importance of the road as an agricultural trading route is reflected in the placement of many farmhouses along Valmont Road, such as Roney Farmhouse.¹⁰

Associated Property Types

Roney Farmhouse was built in the typical Vernacular Farmhouse style of the early twentieth century. This structure is reminiscent of other farmhouses built during this time throughout Colorado that can still be seen in most rural communities today. Many houses possessing this architectural style no longer exist in the Valmont Community making Roney Farmhouse it a truly unique occurrence within the remaining rural landscape. An example of this style of architecture most similar to Roney Farmhouse is Platt Farmhouse which still exists within the Valmont Community today. Like Roney Farmhouse, Platt Farmhouse is modest in form, has a hipped roof with central dormers, and lacks architectural details.

Physical Characteristics and Integrity

Roney Farmhouse is a modest, one-story farmhouse features a hipped roof, root cellar, a centered front entrance, and a prominent front porch with a hipped roof as well. The front (north) elevation features a centered hipped dormer with decorative scalloped shingles. The windows are double-hung with wood sashes. It features sandstone foundations, clapboard siding, and wood framing. The original wood shingle roof has been covered with metal sheet roofing. The original floors are hardwood and the interior walls are painted plaster. The ceiling is comprised of painted plaster as well.

⁶ Holthouser, Neil and Ruth McHeyser. Memorandum for 5172 Valmont Road, 3.

⁷ Ibid.

⁸ Ibid.

⁹ Ibid, 4.

¹⁰ Ibid, 3.

Roney Farmhouse possess a high degree of authenticity and retains its integrity of location, setting, design, materials, workmanship, feeling, and association. This building has remained its original location since construction (the only early Valmont Community farmhouse to do so). The surrounding landscape has drastically changed from a farming community to a bike park and commercial developments. However, the property and land to the south still retain its rural character. The house has been enlarged with two rear additions, both of which are compatible with the original structure. Most of the original materials have remained the same, however many have been substantially vandalized. The workmanship at Roney Farmhouse is consistent with typical vernacular wood frame structures built throughout Colorado since 1860 as well as a good portion of the United States in the early twentieth century.¹¹ With an absence of architectural features and details that can distinguish a specific style, these simple, modest homes are divided into types according to floor plan and roof shape. This typical style of house is a small, one-story structure with a hipped roof and usually a front porch. The general style and character of the house allows potential for use as a community asset with rehabilitation. The house retains its associations with the Roney family and early agricultural development in Boulder through shared historical resources and continued preservation of the property.

Bibliography

East Boulder Working Group. *East Boulder Inventory and Analysis Report*, Boulder (Colo.) Office of Arts and Culture, 2020.

Holthouser, Neil and Ruth McHeyser. *Memorandum for 5227 Valmont Road*. City of Boulder Parks Department. September 1, 1999.

¹¹ Holthouser, Neil and Ruth McHeyser. *Memorandum for 5172 Valmont Road*, 4.

Resource Number: 5BL.6881
Temporary Resource Number: N/A

OAHP1403
Rev. 9/98

COLORADO CULTURAL RESOURCE SURVEY

Architectural Inventory Form

Official eligibility determination
(OAHP use only)

Date _____ Initials _____
____ Determined Eligible- NR
____ Determined Not Eligible- NR
____ Determined Eligible- SR
____ Determined Not Eligible- SR
____ Need Data
____ Contributes to eligible NR District
____ Noncontributing to eligible NR District

I. IDENTIFICATION

1. Resource number: 5BL.6881
2. Temporary resource number: N/A
3. County: Boulder
4. City: Boulder
5. Historic building name: Roney Farmhouse
6. Current building name: Roney Farmhouse
7. Building address: 5172 Valmont Road, Boulder CO 80301
8. Owner name and address: City of Boulder, PO Box 791, Boulder CO 80306

II. GEOGRAPHIC INFORMATION

9. P.M. 6th Township 1N Range 70W
NE $\frac{1}{4}$ of NE $\frac{1}{4}$ of NW $\frac{1}{4}$ of NE $\frac{1}{4}$ of section 28
10. UTM reference
Zone 1 3 ; 4 8 0 1 2 5 mE 4 4 3 1 0 0 0 mN
11. USGS quad name: Niwot, CO
Year: 1980 Map scale: 7.5' X 15' _____ Attach photo copy of appropriate map section.
12. Lot(s): N/A Block: N/A
Addition: East Boulder Year of Addition: Unknown
13. Boundary Description and Justification: Site 5BL.6881 comprises the former Roney Farmhouse property. Because the Historic-period property boundaries of the Roney farm are unclear, this boundary was drawn to encompass the farmhouse and all known structural features. It measures 135 feet east-west x 160 feet north-south. Site 5BL.6881 is located within Boulder County property parcel 146328000004 (Valmont City Park) and is bounded on the west by a commercial property (parcel 146328000007), on the north by Valmont Road, and to the east and south by Valmont City Park.

III. Architectural Description

14. Building plan (footprint, shape): Rectangular Plan
15. Dimensions in feet: Length 44 feet north-south x Width 27 feet east-west
16. Number of stories: 1

Resource Number: 5BL.6881

Temporary Resource Number: N/A

17. Primary external wall material(s): Wood – Horizontal Siding
18. Roof configuration: Pyramidal (main); Hipped (porch); Shed (rear additions)
19. Primary external roof material: Metal
20. Special features: Dormer, porch
21. General architectural description: The Roney Farmhouse comprises a one-story, rectangular plan, pyramidal-roof cottage. The house is clad in white horizontal wood siding, and the roof is covered with gray metal sheeting. The house faces north towards Valmont Road. The front porch comprises a concrete floor that extends nearly the length of the north façade, four wood support posts, and a hipped roof. A single dormer overlooks the north façade. Two rear additions, constructed consecutively one onto the other, feature shed roofs. The north façade features a central wood door between two boarded windows. A plaque mounted on the façade to the west of the door gives a brief description of the property's history and local landmark status. The east elevation features two boarded windows on the main structure and one on the first (north) rear addition. The south elevation features a boarded door with a concrete stoop at the east end, followed by two boarded windows. The west elevation contains one boarded window in the first addition and two boarded windows in the main structure. A cellar entrance is situated near the south end of the east elevation.
22. Architectural style/building type: Classic Cottage
23. Landscaping or special setting features: 5BL.6881 is located in a lightly developed, formerly agricultural area. Although dense residential and commercial developments are located less than a quarter-mile away to the east and west, 5BL.6881 is buffered by the Valmont City Park to the south and east and by the Valmont Bike Park to the north. These parks have restricted development in the immediate area surrounding the Roney Farmhouse, preserving a sense of an isolated, pastoral lifestyle.

Several landscaping features are present within 5BL.6881, described below.

Feature 1: Visible along the south elevation and wrapping slightly around the southeast corner of the residence are the remains of a mixed flagstone and concrete patio. Most of this patio area is in ruins; the most intact portion is located at the southeast corner of the residence next to a well or cistern (see Feature 6 in #24 below). The patio area measures approximately 23 feet east-west x 14 feet north-south.

Feature 2: A small concrete stoop on the south elevation leads to a long concrete sidewalk that runs due south. The sidewalk measures approximately 2 feet wide x 70 feet long.

Feature 3: A linear concrete foundation wall that runs north-south near the east edge of the site boundary may have been the base or footing for a fence that once surrounded the property. The fence has been removed since it was first recorded (Rice and Gleichman 1997). The remaining concrete foundation wall is flush with the

Resource Number: 5BL.6881

Temporary Resource Number: N/A

ground surface and measures 16 inches wide × approximately 100 feet long. The north half of the wall is heavily overgrown with shrubs.

Feature 4: The remains of a small garden comprising an apple tree and rosebush are located to the southeast of the house. A small rubble pile comprising three concrete fragments, three red bricks, and one yellow brick is located under the tree.

Feature 5: A modern paved driveway is located at the northeast corner of 5BL.6881. A modern chain-link fence with a metal gate crosses the driveway, then runs south along the west elevation of the residence.

24. Associated buildings, features, or objects: There are no outbuildings associated with 5BL.6881; Rice and Gleichman noted that they had all been removed prior to their recording (Rice and Gleichman 1997). PaleoWest recorded two objects in association with 5BL.6881.

Feature 6: A well or cistern located at the southeast corner of the house, within the Feature 1 patio area. The well/cistern comprises an open concrete cylinder measuring 28 inches in diameter with 2-inch-thick walls. It has been infilled with debris and measured just 4 feet deep at the time of this recording.

Feature 7: A rectangular concrete trough or basin located southeast of Features 1 and 6. This trough measures 63 inches long × 30 inches wide × 18.5 inches tall and has 6-inch-thick walls. It sits on a concrete base measuring 6 feet north-south × 58" east-west.

IV. ARCHITECTURAL HISTORY

25. Date of Construction: Estimate: 1911 Actual: _____
Source of information: Rice and Gleichman 1997 (see full citation in #36)
26. Architect: Unknown
Source of information: N/A
27. Builder/Contractor: Unknown
Source of information: N/A
28. Original owner: James Roney
Source of information: Rice and Gleichman 1997 (see full citation in #36)
29. Construction history (include description and dates of major additions, alterations, or demolitions):
According to the previous site recording, the residence was constructed ca. 1911 (Rice and Gleichman 1997). However, the landmark plaque on the residence states that it was constructed ca. 1910. The construction dates of the two consecutive rear shed additions are unknown. Likewise, the dates of construction and subsequent removal of any former outbuildings are unknown.

Resource Number: 5BL.6881

Temporary Resource Number: N/A

30. Original location X Moved Date of move(s):

V. HISTORICAL ASSOCIATIONS

31. Original use(s): Domestic – Single Dwelling

32. Intermediate use(s): N/A

33. Current use(s): Vacant/Not In Use

34. Site type(s): Private residence, Agriculture

35. Historical background: Rice and Gleichman 1997 (see full citation in #36) provided a detailed narrative of 5BL.6881; PaleoWest uncovered no additional information. Accordingly, the following is a brief summary.

The land encompassing 5BL.6881 was first patented in 1865 by Joseph S. Fowler under the authority of the Land Act of 1820 (Bureau of Land Management 2020). That same year the town of Valmont, approximately 1 mile east of 5BL.6881, was platted, and several new farms were established in the vicinity. However, little is known about Fowler and he did not appear to develop his property. In fact, the land was not farmed until the early twentieth century when James Roney purchased the property and constructed the house that still stands today. Several members of the extended Roney family continued to operate a dairy farm in this location through the 1960s. In 1972, the Roneys sold the farm to Kenneth C. Schneider (Rice and Gleichman 1997).

36. Sources of information:

Boulder County

2020 Boulder County Assessor Property Search Available at: <http://maps.boco.solutions/propertysearch/>. Accessed December 16, 2020.

Bureau of Land Management

2020 General Land Office Records. Available at: <https://glorerecords.blm.gov/>. Accessed December 16, 2020.

Rice, Phil and Pete Gleichman

1997 Historical Architectural Building/Structure Form for 5BL.6881. On file at the Office of Archaeology and Historic Preservation, Denver, Colorado.

VI. SIGNIFICANCE

37. Local landmark designation: Yes X No Date of designation: 11/09/1999

Designating authority: City of Boulder. Landmark No. 99-2, Ordinance No. 7017

38. Applicable National Register Criteria:

- A. Associated with events that have made a significant contribution to the broad pattern of our history;
- B. Associated with the lives of persons significant in our past;
- C. Embodies the distinctive characteristics of a type, period, or method of construction, or represents the work of a master, or that possess high artistic values, or represents a significant and distinguishable entity whose components may lack individual distinction; or

Resource Number: 5BL.6881

Temporary Resource Number: N/A

☐ D. Has yielded, or may be likely to yield, information important in history or prehistory.

☐ Qualifies under Criteria Considerations A through G (see Manual)

☒ Does not meet any of the above National Register criteria

39. Area(s) of significance: None

40. Period of significance: N/A

41. Level of significance: National ☐ State ☐ Local ☐

42. Statement of significance: While 5BL.6881 is an early twentieth-century farmhouse, it was constructed 40 to 50 years after the first wave of farmers settled in the Valmont neighborhood. Accordingly, it is not associated with significant historical trends, so PaleoWest recommends it not eligible under Criterion A. Likewise, it is not associated with significant historical persons, so it is not eligible under Criterion B. While the residence is recognizable as a Classic Cottage style structure, it is not a particularly notable example of that architectural style, and it has been altered by the construction of the rear additions. Accordingly, we recommend it not eligible under Criterion C. Finally, the property is not likely to yield important historical information as its information potential has been exhausted by this and prior recordings, so we recommend it not eligible under Criterion D.

43. Assessment of historic physical integrity related to significance: 5BL.6881 generally retains integrity of setting and feeling because – with the exception of the small commercial building to the west – the surrounding area is still undeveloped fields. Likewise, 5BL.6881 generally retains integrity of design, materials, and workmanship, although these areas have been slightly impacted by the construction of the rear additions and the installation of a metal roof. Finally, 5BL.6881 retains integrity of association with agriculture in the Valmont neighborhood.

VII. NATIONAL REGISTER ELIGIBILITY ASSESSMENT

44. National Register eligibility field assessment:

Eligible ☐ Not Eligible ☒ Need Data ☐

45. Is there National Register district potential? Yes ☐ No ☒

Discuss: The paucity of significant, contemporaneous Historic-period resources in the vicinity precludes the formation of a district.

If there is National Register district potential, is this building: Contributing ☐ Noncontributing ☐

46. If the building is in existing National Register district, is it: Contributing ☐ Noncontributing ☐

VIII. RECORDING INFORMATION

47. Photograph numbers: 5BL.6881 photographs 1–14

Negatives filed at: PaleoWest office servers in Lafayette, CO and Phoenix, AZ

48. Report title: N/A

Resource Number: 5BL.6881

Temporary Resource Number: N/A

49. Date(s): December 10, 2020

50. Recorder(s): Autumn C. Cool

51. Organization: PaleoWest, LLC

52. Address: 308 E. Simpson Street Suite 102, Lafayette, CO 80026

53. Phone number(s): 303-214-4301

NOTE: Please include a sketch map, a photocopy of the USGS quad map indicating resource location, and photographs.

History Colorado - Office of Archaeology & Historic Preservation
1200 Broadway, Denver, CO 80203 (303) 866-3395

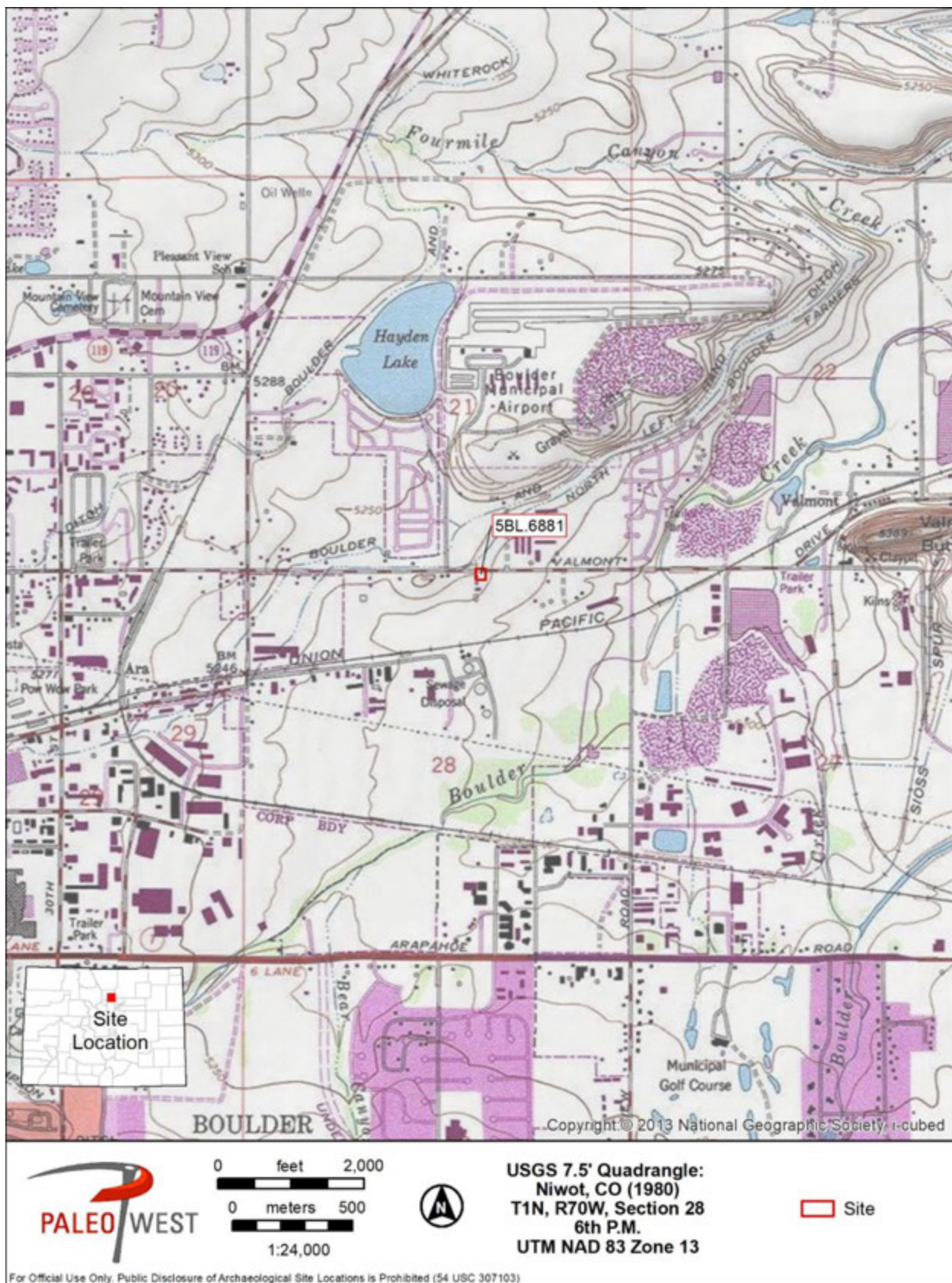


Figure 1. Location of 5BL.6881.

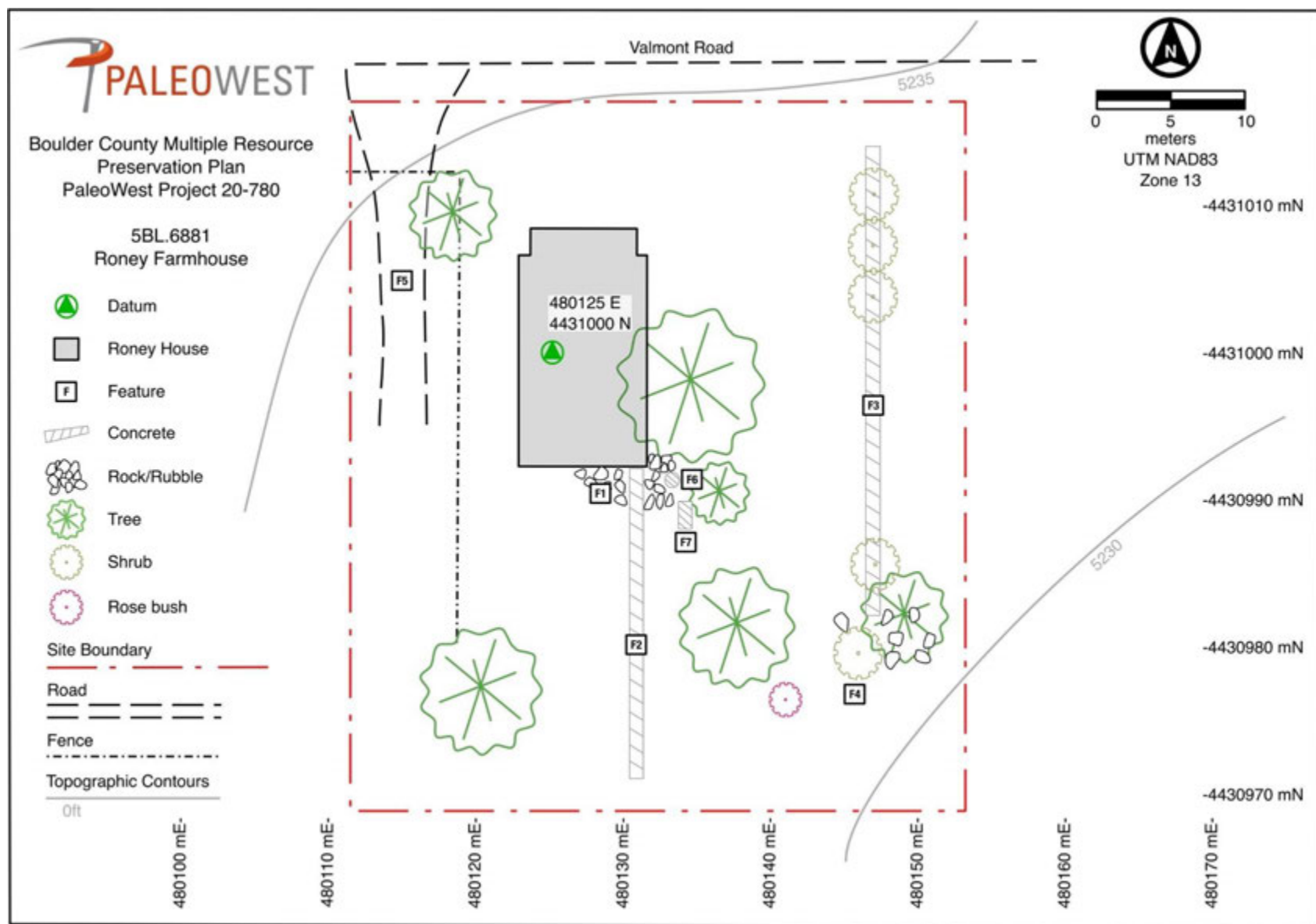


Figure 2. 5BL.6881, sketch map.



Figure 3. 5BL.6881, overview of Roney Farmhouse, facing southwest. A. Cool, 12/10/2020.



Figure 4. 5BL.6881, overview from field, facing west. A. Cool, 12/10/2020.



Figure 5. 5BL.6881, north façade, facing south. A. Cool, 12/10/2020.



Figure 6. 5BL.6881, east elevation and north façade, facing southwest. A. Cool, 12/10/2020.



Figure 7. 5BL.6881, south and east elevations with Feature 7 trough at lower left, facing northwest. A. Cool, 12/10/2020.



Figure 8. 5BL.6881, south elevation, Feature 2 sidewalk at lower right, facing north. A. Cool, 12/10/2020.



Figure 9. 5BL.6881, west and south elevations, facing northeast. A. Cool, 12/10/2020.



Figure 10. 5BL.6881, north façade and west elevation, facing southeast. A. Cool, 12/10/2020.



Figure 11. 5BL.6881, detail of plaque on north façade, facing south. A. Cool, 12/10/2020.



Figure 12. 5BL.6881, Feature 1 patio and Feature 6 well/cistern, facing northwest. A. Cool, 12/10/2020.



Figure 13. 5BL.6881, Feature 1 patio and Feature 7 trough, facing east. A. Cool, 12/10/2020.



Figure 14. 5BL.6881, Feature 3 foundation wall, facing north. A. Cool, 12/10/2020.



Figure 15. 5BL.6881, Feature 3 foundation wall and Feature 4 garden area with rubble, facing south. A. Cool, 12/10/2020.



Figure 16. 5BL.6881, Feature 4 garden area with rubble, facing northeast. A. Cool, 12/10/2020.