



**CITY OF BOULDER
BOARD OF ZONING ADJUSTMENT
MEETING AGENDA**

DATE: Tuesday, November 8th, 2022

TIME: Meeting to begin at 4 p.m.

PLACE: Virtual Meeting

NOTICE IS HEREBY GIVEN THAT A PUBLIC HEARING WILL BE GIVEN BY THE CITY OF BOULDER, BOARD OF ZONING ADJUSTMENT, AT THE TIME AND PLACE SPECIFIED ABOVE. ALL PERSONS, IN FAVOR OF OR OPPOSED TO OR IN ANY MANNER INTERESTED IN ANY OF THE FOLLOWING VARIANCES FROM THE LAND USE REGULATIONS, TITLE 9, BOULDER REVISED CODE 1981; MAY ATTEND SUCH HEARING AND BE HEARD IF THEY SO DESIRE. (APPLICANT OR REPRESENTATIVE MUST APPEAR AT THE MEETING.)

1. CALL TO ORDER

2. BOARD HEARINGS

A. Docket No.: BOZ2022-00015

Address: 2124 Pine Street

Applicant: Hollis Daniel

Setback Variance: As part of a proposal to add a rear 2-story addition onto the single-story single-family nonconforming house, the applicant is requesting a combined side yard setback variance to the west side yard setback for a principal structure in the RMX-1 zoning district. The resulting west side setback will be approximately 5.7 feet (*taken from the closest point of the rear addition*) where 8.6 feet is required and where approximately 5.7 feet (*taken from the closest point of the house*) exists today. Section of the Land Use Code to be modified: Section 9-7-1, BRC 1981.

B. Docket No.: BOZ2022-00016

Address: 907 11th Street

Applicants: Scott & Jonathan Skinner-Thompson

Fence Setback Variance: As part of a proposal to recognize and establish a portion of an existing fence along the south property line, the applicants are requesting a variance to the fence setback from a public sidewalk standard for a single-family property in the RL-1 zoning district. The resulting fence setback (from the subject public sidewalk along Aurora Avenue) will be approximately zero (0) feet where 18 inches is required and approximately zero (0) feet exists today. Section of the Land Use Code to be modified: Section 9-9-15, BRC 1981.

C. Docket No.: BOZ2022-00017

Addresses: 820 36th Street

Applicant: Deshka Investments, LLC

Parking in the Front Yard Setback & Setback Variances: As part of a proposal to recognize and establish a single off-street parking space within an existing access driveway off 36th Street as well as to add an enclosed entry room to the front/west side of the house, the applicants are requesting variances to allow both the parking and the addition in the front (west) yard setback. The subject 9-foot by 19-foot parking space will be located approximately 8 feet from the front (west) property line where 25 feet is required and no conforming parking exists today. The subject front entry addition will be located approximately 20 feet from the front (west) property line where 25 feet is required and 27 feet (taken from the front of the house) exists today. Section of the Land Use Code to be modified: Section 9-7-1, BRC 1981.

3. GENERAL DISCUSSION

A. Approval of minutes: The [August 9th meeting minutes](#) are scheduled for approval.

B. Matters from the Board:

C. Matters from the City Attorney: [Updates to the procedural regulations of the Board of Zoning Adjustment and the Board of Building Appeals of the City of Boulder, Colorado.](#)

D. Matters from Planning and Development Services

4. ADJOURNMENT

For more information call Robbie Wyler (wylerr@bouldercolorado.gov), Brian Holmes (holmesb@bouldercolorado.gov) or
Cindy Spence (spencec@bouldercolorado.gov). Board packets are available after 4 p.m. Friday prior to the meeting, online at www.bouldercolorado.gov.

*** * * SEE REVERSED SIDE FOR MEETING GUIDELINES * * ***

**CITY OF BOULDER
BOARD OF ZONING ADJUSTMENT
MEETING GUIDELINES**

CALL TO ORDER

The board must have a quorum (three members present) before the meeting can be called to order.

AGENDA

The board may rearrange the order of the agenda or delete items for good cause. The board may not add items requiring public notice.

ACTION ITEMS

An action item requires a motion and a vote. The general format for hearing of an action item is as follows:

1. Presentations

- Staff presentation.*
- Applicant presentation.*Any exhibits introduced into the record at this time must be provided in quantities of seven to the Board Secretary for distribution to the board and admission into the record.
- Board questioning of staff or applicant for information only.

2. Public Hearing

Each speaker will be allowed an oral presentation.*

- Speakers should introduce themselves, giving name and address. If officially representing a group, homeowners' association, etc., please state that for the record as well.
- Speakers are requested not to repeat items addressed by previous speakers other than to express points of agreement or disagreement. Refrain from reading long documents, and summarize comments wherever possible. Long documents may be submitted and will become a part of the official record. When possible, these documents should be submitted in advance so staff and the board can review them before the meeting.
- Speakers should address the Land Use Regulation criteria and, if possible, reference the rules that the board uses to decide a case.
- Any exhibits introduced into the record at the hearing must be provided in quantities of seven to the Board Secretary for distribution to the board and admission into the record.
- Citizens can send a letter to Planning and Development Services staff at 1739 Broadway, Boulder, CO 80302, two weeks before the board meeting, to be included in the Board packet. Correspondence received after this time will be distributed at the board meeting.

3. Board Action

- Board motion. Motions may take any number of forms. With regard to a specific development proposal, the motion generally is to either approve the project (with or without conditions), to deny it, or to continue the matter to a date certain (generally in order to obtain additional information).
- Board discussion. This is undertaken entirely by members of the board. The applicant, members of the public or city staff participate only if called upon by the Chairperson.
- Board action (the vote). An affirmative vote of at least three members of the board is required to pass a motion approving any action. If the vote taken results in a tie, a vote of two to two, two to one, or one to two, the applicant shall be automatically allowed a rehearing. A tie vote on any subsequent motion to approve or deny shall result in defeat of the motion and denial of the application.

MATTERS FROM THE BOARD, CITY STAFF, AND CITY ATTORNEY

Any board member, Planning and Development Services staff, or the City Attorney may introduce before the board matters, which are not included in the formal agenda.

VIRTUAL MEETINGS

For Virtual Meeting Guidelines, refer to <https://bouldercolorado.gov/boards-commissions/board-of-zoning-adjustments-boza-agenda> page for the approved Board of Zoning Adjustment Rules for Virtual Meetings.

*The Chairperson, subject to the board approval, may place a reasonable time limitation on presentations.



City of Boulder Planning and Development Services
 PO Box 791 • Boulder, CO 80306
 Phone: 303-441-1880 • Web: boulderplandevlop.net

BOARD OF ZONING ADJUSTMENT (BOZA) VARIANCE APPLICATION

**APPLICATION DEADLINE IS THE SECOND MONDAY OF EACH MONTH.
 MEETING DATE IS 4:00 P.M. ON THE SECOND TUESDAY OF THE FOLLOWING MONTH.**

Submittal of inaccurate or incomplete information and materials may result in rejection of the application.

GENERAL DATA

(To be completed in full by the applicant.)

- Street Address or General Location of Property: 2124 Pine Street
- Legal Description: Lot 3 Block 129 Subdivision BOULDER O T EAST & WEST & NORTH - BO (Or attach description.)
- Lot Size: 7,055 SQFT
- Existing Use of Property: Single Family Residence
- Detailed Description of Proposal (Specific Variance[s] Requested Including All Pertinent Numerical Values (e.g.: Existing, Required and Proposed Setbacks for the Subject Setback Variance):

West Setback Variance: Current Setback is 5.7' proposed setback is 5.7' Required setback is 9.3'. This is an interior lot.

South West Setback Variance: Current Setback is 26'-11" proposed setback is 6.7' required setback is 9.3'

*Total floor area existing: 1487.95 sqft	*Total floor area proposed: 2742.69 sqft
*Total building coverage existing: 1440.77 sqft	*Total building coverage proposed: 2234.17 sqft
*Building height existing: 19'-10"	*Building height proposed: 29'-9"

*See definitions in Section 9-16-1, B.R.C. 1981.

- ◆ **Name of Owner:** Hollis Daniel
- Address: 2124 Pine Street Telephone: 303-931-5167
- City: Boulder State: CO Zip Code: 80302 Email: Hollis.Penn.Daniel@gmail.com
- ◆ **Name of Contact (if other than owner):** Buffy Andrews
- Address: 1536 Easy Rider Lane Telephone: 303-827-5186
- City: Boulder State: CO Zip Code: 80304 Email: Buffy@Dodd-Studio.com

STAFF USE ONLY

Doc. No. _____ Date Filed _____ Zone _____ Hearing Date _____
 Application received by: _____ Date Fee Paid _____ Sign(s) Provided _____

APPLICATION TYPES (Check All That Apply For This Application)

- ☒ Setback (BRC 9-7-1)
- ☐ Porch Setback & Size (BRC 9-7-4)
- ☐ Building Separation (BRC 9-7-1)
- ☐ Bulk Plane (BRC 9-7-9)
- ☐ Side Yard Wall Articulation (BRC 9-7-10)
- ☐ Building Coverage (BRC 9-7-11 or BRC 9-10)
- ☐ Floor Area Ratio (BRC 9-8-2)
- ☐ Parking in Front Yard Landscape Setback (BRC 9-7-1 & 9-9-6)
- ☐ Size and Parking Setback Requirements for Accessory Units (BRC 9-6-4)
- ☐ Cumulative Accessory Building Coverage (BRC 9-7-8)
- ☐ Mobile Home Spacing Variance (BRC 9-7-13)
- ☐ Use of Mobile Homes for Non-Residential Purposes (BRC 10-12-6)
- ☐ Solar Exception (BRC 9-9-17)
- ☐ Sign Variance (BRC 9-9-21)
- ☐ Fence and Wall Variance (BRC 9-9-15)

APPLICATION REQUIREMENTS

All variance applications are electronic submittal and review. Visit the Planning & Development Services Online Center for additional information & guidance on the application process and how to apply. As a minimum, the following items **MUST** ultimately be provided for an application to be considered complete:

- A completed and signed BOZA Application Form;
- If applicant is other than owner(s), a written consent of the owner(s) of the property for which the variance is requested;
- A detailed written statement thoroughly describing the variance request(s) and addressing all pertinent review criteria for approval - see following pages;
- A signed and stamped Improvement Location Certificate or Site Improvement Survey and legal description by a registered surveyor;
- A site development plan including setbacks, building elevations, interior layout/floor plans and any other pertinent exhibits;
- A demolition plan clearly differentiating between existing/remaining and proposed portions of the structure(s);
- Any other information pertinent to the variance request (e.g. neighbor letters, photos, historic records/approvals, renderings, etc.);
- Sign Posting Acknowledgement Form - *see following page*.

NOTE: The applicant is responsible for posting the property in compliance with city requirements. Obtaining sign(s) will be messaged to an applicant once it has been placed on an agenda. The applicant will be responsible for posting the required sign(s) within 10 days of the hearing date. Failure to post the required sign(s) may result in the postponement of the hearing date.

- A Board of Zoning Adjustment application fee (as prescribed in the current 'Schedule of Fees' which can be found at bouldercolorado.gov/plan-develop);

NOTE: SEE SECTION 9-2-3(I), B.R.C. 1981 FOR VARIANCE EXPIRATION INFORMATION

Applicant Signature  Date 10-06-2022

Owner (if other than Applicant) Signature  Date 9/29/22

SIGN POSTING REQUIREMENTS APPLICANT'S ACKNOWLEDGMENT FORM

Required for Certain Land Use Review, Administrative Review, Technical Document Review, and Board of Zoning Adjustment Applications

CITY CODE REQUIREMENT FOR SIGN POSTING OF LAND USE REVIEW APPLICATIONS -

Excerpt of Section 9-4-3(c), B.R.C. 1981: Public Notice of Application: The city manager will provide the following public notice of a development review application:

(1) Posting: After receiving such application, the manager will cause the property for which the application is filed to be posted with a notice indicating that a development review application has been made, the type of review requested, and that interested persons may obtain more detailed information from the planning department. The notice shall meet the following standards:

- (A) The notice shall be placed on weatherproof signs that have been provided by the City and placed on the property that is the subject of the application.
- (B) All such notice shall be posted no later than ten days after the date the application is filed to ensure that notice is posted early in the development review process.
- (C) The signs shall be placed along each abutting street, perpendicular to the direction of travel, in a manner that makes them clearly visible to neighboring residents and passers-by. At least one sign shall be posted on each street frontage.
- (D) The signs shall remain in place during the period leading up to a decision by the approving authority, but not less than ten days.
- (E) On or before the date that the approving authority is scheduled to make a decision on the application the city manager will require the applicant to certify in writing that required notice was posted according to the requirements of this section.

I, Hollis Daniel, am filing a Land Use Review, Administrative Review, Technical Document Review, or BOZA application [on behalf of] _____ for the property
(PRINT NAME OF APPLICANT OR CONTACT PERSON) (PRINT NAME OF OWNER(S) IF OTHER THAN APPLICANT/CONTACT)
located at 2124 Pine Street Boulder, CO 80302. I have read the city's sign posting requirements above and acknowledge
(PRINT PROPERTY ADDRESS OR LOCATION)

and agree to the following:

1. I understand that I must use the sign(s) that the city will provide to me at the time that I file my application. The sign(s) will include information about my application and property location to provide required public notice.
2. I am responsible for ensuring that the sign(s) is posted on the property described above in such a way that meets the requirements of Section 9-4-3(c), B.R.C. 1981 (listed above), including visibility of the sign(s) and time and duration of the sign(s) posting, and including reposting any signs that are removed, damaged, or otherwise displaced from the site. As necessary, I shall obtain a replacement sign(s) from the city for reposting.
3. I understand that certain future changes to my application, including but not limited to, changes to the project description or adding a review type, may require that I post a new sign(s). The city will notify me if such a reposting is required and provide me with a necessary replacement sign(s).
4. I understand that failing to provide the public notice by sign posting required by the city's land use regulation may result in a delay in the city's issuing a decision or a legal challenge of any issued decision.

Hollis Daniel
NAME OF APPLICANT OR CONTACT PERSON

09-20-2022
DATE

Please keep a copy of this signed form for your reference. If you have any questions about the sign posting requirements or to obtain a replacement sign, please call 303-441-1880.

Written Statement for Administrative Setback Variance for 2124 Pine Street Boulder, CO 80302

September 25, 2022

To: Administrative Review Application

Re: Written Statement

Job Site Address: 2124 Pine Street Boulder, CO 80302

Narrative:

We have been working on creating a modest home that incorporates the existing structure with minimal demo work. The demolished areas are proposed to replace areas that are beyond repair in places. The existing residence was uninhabited for 40 years and the new owner, instead of asking for a full demo, has embraced the full remodel with a modest first floor addition and a second floor master suite. The existing main level is 1117.58 square feet of floor area and 793.4 square feet of additional area which is primarily the stair area to the second level, a mud room and an additional bedroom. The Second floor addition of 831.71 square feet has the master suite which includes a bedroom, bathroom, closet and laundry area.

The new structure has been designed to fit within the nook of the existing L-shaped floor plan to preserve the backyard area and to structurally support the south wall that is to remain. The concept is to work with the character of the existing building and enhance the building and also keep the new design within the context of the Whittier neighborhood where the homeowner grew up. The addition doesn't impair the use or enjoyment of the west lot and the lot, to the west, is fully developed as a split lot with 2-2 story homes.

The existing setback on the West side of the property is 5.7' and the existing setback on the east side of the property is 6.4'.

The current code for non-conforming setbacks is to have the 15'-0" equal on each side of the property front to back with the addition stepping in to create the 15' total setback. So the West setback would need to be 9.3 and the east side setback would need to be 8.6'. The combined setback currently is 2.9' less than the required 15'-0" combined setback. This is within the 20% allowable setback variance.

The proposal is to maintain the 6.4' east setback, as the building is to remain as is, and step the addition in 10' from the east side. This is more than the required 8.6' setback.

Our request is for a setback variance allowing the west 5.7' non-conforming setback to be maintained for 17'-10' of length to allow for a new stairwell and the additional bedroom and a 6.7' non-conforming west setback for 15'-11" for the remainder of the bedroom and a mudroom.

We have gone through many design iterations and this seems to fill the clients needs for a larger home for their family while respecting the historic nature of the existing residence.

Criteria (City Code Excerpt of Section 9-2-3(h), B.R.C. 1981)

(h) Criteria for Variances. The Board of Zoning Adjustment may grant a variance only if it finds that the application satisfies all of the applicable requirements of paragraphs (1), (2), (3), or (4) of this subsection and the requirements of paragraph (5) of this subsection.

(1) Physical Conditions or Disability:

(A) That there are:

(i) Unusual physical circumstances or conditions, including, without limitation, irregularity, narrowness or shallowness of the lot, or exceptional topographical or other physical conditions peculiar to the affected property; or

Due to the existing residence on the lot that was built in 1905, the existing setbacks of 5.7' on the west and 6.4' on the east are non-conforming to the current setbacks. The combined setback currently is 2.9' less than the required 15'-0" combined setback. This is within the 20% allowable setback variance.

(ii) There is a physical disability affecting the owners of the property or any member of the family of an owner who resides on the property which impairs the ability of the disabled person to utilize or access the property; and

The Owners are a younger family of 2 kids. They are able to access their property without impairments. As the Lot is fairly flat, It is very accessible even if there was a disabled person in the home or visiting.

(B) The unusual circumstances or conditions do not exist throughout the neighborhood or zoning district in which the property is located; and

The home was built in 1905 and was built in the middle of the lot. The homes that were built in the same year on that block of Pine all are set in the center of the lot and don't conform to the current setback standards.

(C) Because of such physical circumstances or conditions the property cannot reasonably be developed in conformity with the provisions of this chapter; and

Because the home was built in the center of the property, the setbacks are 5.7' and 6.4'. If the addition were to conform to the current setback standards, the building would step in 9.3' from the west and 8.6' from the east. This would create a narrow addition behind the existing structure that would use up more of the backyard area.

(D) Such unnecessary hardship has not been created by the applicant.

The existing setbacks are non-conforming with the current City setbacks. The non-conforming setbacks were established before the current owners purchased the property.

(2) Energy Conservation

(A) The variance will permit construction of an addition to a building that was constructed on or before January 1, 1983;

Yes. The existing building was built in 1905.

(B) The proposed addition will be an integral part of the structure of the building;

Yes. The addition is designed to integrate fully with the existing structure.

(C) The proposed addition will qualify as a "solar energy system" as defined in Section 9-16, "Definitions," B.R.C. 1981, or will enable the owner of the building to reduce the net use of energy for heating or cooling purposes by a minimum of 10% over the course of a year of average weather conditions for the entire building; and

Yes. The addition qualifies as a solar energy system and will have solar panels installed and be as close to Net Zero energy use as they can make the building.

(D) The costs of constructing any comparable addition within existing setback lines so as to achieve comparable energy purposes would be substantially greater than the cost of constructing the addition which is proposed for the variance.

Yes. The longer, narrow building that the current setback requires will increase the footprint of the addition making the building less energy efficient.

(3) Solar Access

(A) The volume of that part of the lot in which buildings may be built consistent with this code has been reduced substantially as a result of the provisions of Section 9-9-17, "Solar Access," B.R.C. 1981;

The property is in zone RMX-1 with a 25'-0" solar fence.

(B) The proposed building or object would not interfere with the basic solar access protection provided in Section 9-9-17, "Solar Access," B.R.C. 1981; and

The addition will not affect any of the neighbor's solar access.

(C) The volume of the proposed building to be built outside of the building setback lines for the lot will not exceed the amount by which the buildable volume has been reduced as a result of the provisions of Section 9-9-17, "Solar Access," B.R.C. 1981.

The property is in zone RMX-1 with a 25'-0" solar fence. The volume of the building proposed outside of the required setbacks doesn't affect the neighbor's solar access.

(4) Designated Historic Property

The property could be reasonably developed in conformity with the provisions of this chapter, but the building has been designated as an individual landmark or recognized as a contributing building to a designated historic district. As part of the review of an alteration certificate pursuant to Chapter 9-11, "Historic Preservation," B.R.C. 1981, the approving authority has found that development in conforming locations on the lot or parcel would have an adverse impact upon the historic character of the individual landmark or the contributing building and the historic district, if a historic district is involved.

The existing structure isn't designated as an historic structure or in an historic district.

(5) Requirements for All Variance Approvals

(A) Would not alter the essential character of the neighborhood or district in which the lot is located;

The design intent of the addition is to maintain the existing 1905 structure and match the existing rooflines and tuck the addition into the south/west corner of the structure to create a design that blends with the existing houses within the Whittier Neighborhood.

(B) Would not substantially or permanently impair the reasonable use and enjoyment or development of adjacent property;

The addition in no way impairs the reasonable enjoyment or development of the adjacent property. The property(s) to the west are fully developed with 2-2 story structures on a split lot.

(C) Would be the minimum variance that would afford relief and would be the least modification of the applicable provisions of this title; and

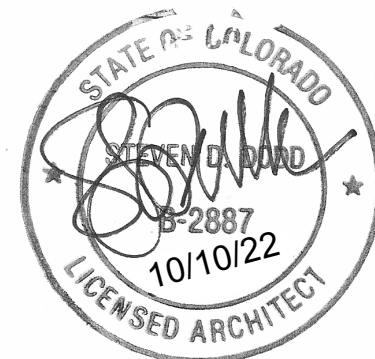
This is the minimum setback variance that would afford relief and would be the least modifications needed.

(D) Would not conflict with the provisions of Section 9-9-17, "Solar Access," B.R.C.1981.

The solar access to the neighboring properties is not impacted with this setback variance.

NOTICE: DUTY OF COOPERATION

Release of these plans contemplates further cooperation among the owner, his contractor, and the architect. Design and construction are complex. Although the architect and his consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect, and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the architect. Failure to notify the architect compounds misunderstanding and increases construction costs. A failure to cooperate by a single notice to the architect shall relieve the architect from responsibility for all consequences. Changes made from the plans without the consent of the architect are unauthorized, and shall relieve the architect of responsibility for all consequences arising out of such changes.

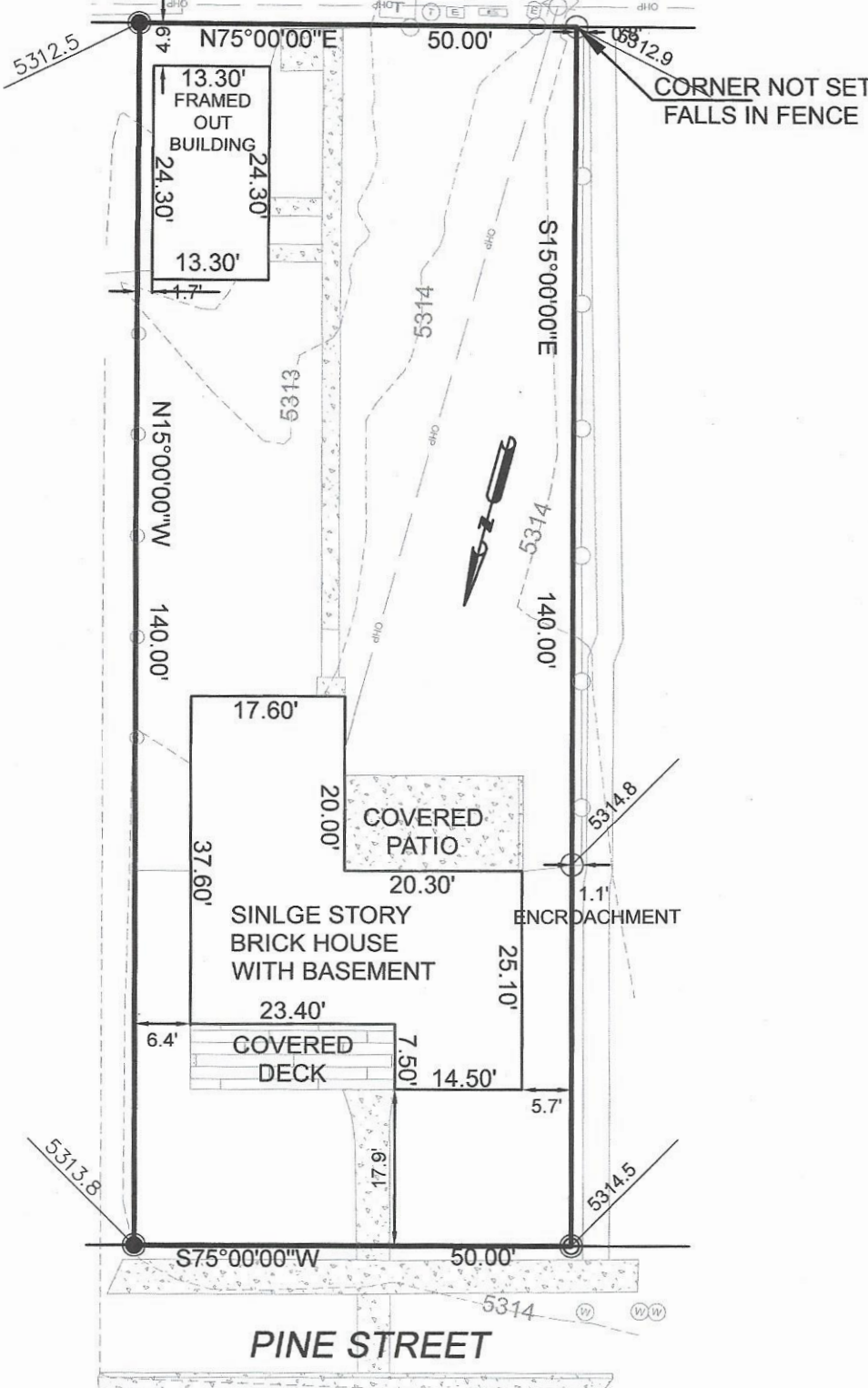


ISSUED:

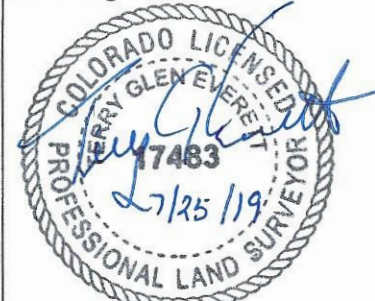
ISP Survey

A002

IMPROVEMENT SURVEY PLAT



I, Terry G. Everett, a duly Registered Professional Land Surveyor in the State of Colorado, do hereby certify that a survey of the described premises was performed by me or under my direct supervision; and that this Improvement Survey Plat shows all improvements, and that they are accurately shown hereon; and that there are no encroachments of any improvements onto any adjoining property, easement or right-of-way and no such encroachments of improvements from any adjoining property onto the subject property, except as shown; and that the boundary corners have been found or set, as shown; and that this Improvement Survey Plat is an accurate representation of said survey, and that all information shown is true and accurate to the best of my knowledge.



Terry G. Everett, P.L.S. 17483
for and on behalf of
CDS Engineering Corporation

SCALE: 1" = 30'
DATE: 07/23/2019
DRAWN: sdw CHECKED: tge

- SET 5/8" REBAR WITH YELLOW PLASTIC CAP PLS 17483
- FOUND 5/8" REBAR AND 1.5" ALLUMINUM CAP PLS 16406

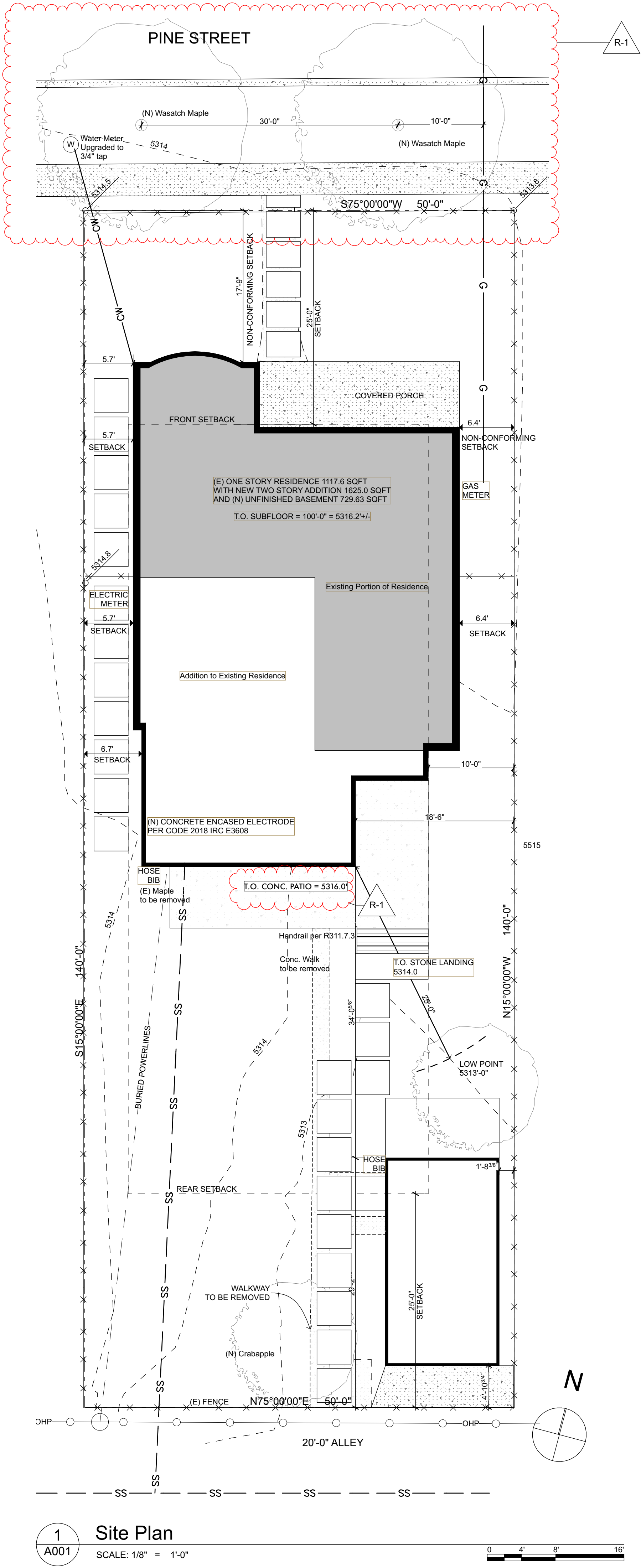
2124 PINE STREET
LOT 3 BLOCK 129
BOULDER EAST
BOULDER, COLORADO

CDS Engineering Corporation
165 2nd ST SW
LOVELAND, COLORADO 80538
(970) 667-8810

30 0 30
SCALE 1"=30'

NOTICE: According to Colorado law, you MUST commence any legal action based on any defect in this survey within THREE years after you first discovered such defect. In no event, may any action based upon any defect in this survey be commenced more than TEN years from the date of the certification shown hereon.

JAY NELSON
PROJECT NO. 0011
DRAWING NO.
REVISION NO.
SHEET 1 OF 1



PROJECT TEAM

ARCHITECT:
Buffy Andrews
4949 N. Broadway St
Boulder, CO 80304
p. 303.827.5186
Buffy@dodd-studio.com
Buffy Andrews

OWNER:
Hollis Daniel and Calum Waddell
2124 Pine Street
Boulder, CO 80302
p. 303-931-5167

STRUCTURAL:
JVA, Inc.
1319 Spruce Street
Boulder, CO 80302
p. 303.444.1951
Benssle@jvaja.com
Benjamin Enssle

GENERAL CONTRACTOR:
Murphy Construction Services, Inc
3944 Wedge Ct
Longmont, CO 80503
p. 303-817-1642
Sean Murphy

APPLICABLE CODES

2018 INTERNATIONAL RESIDENTIAL CODE (IRC)
BOULDER REVISED CODE, 1981 (B.R.C.) - TITLE 10 STRUCTURES
BOULDER REVISED CODE, 1981 - TITLE 9 LAND USE CODE
2018 INTERNATIONAL WILDLAND-URBAN INTERFACE CODE (IWUIC)
2020 CITY OF BOULDER ENERGY CONSERVATION CODE (COBECC)
2020 NATIONAL ELECTRICAL CODE (as of August 1, 2020)
CITY OF BOULDER DESIGN AND CONSTRUCTION STANDARDS

SOILS REPORT

Geotechnical Subsurface Exploration Report done by Soillogic on October 1, 2021 for 2124 Pine Street

CODE REVIEW

ZONING RMX-1
CONSTRUCTION TYPE V
OCCUPANCY R-3
STORIES 2
MAX. EXISTING HT 9'-0" from low point
LOT AREA 7,000 SF from Boulder County Assessor
EXISTING AREA - Finished 1117.5 SF
NEW AREA - Finished 1625 SF
NEW AREA - Unfinished 729.6 SF
REMODELED AREA 1117.5 SF

LEVEL OF ALTERATION/ SCOPE OF WORK
Level 4 Alteration
Remodel of Existing Residence:
1. Remodel of Existing Residential Building
2. Addition of Main Level Bedroom and Kitchen
3. Addition of upper level Master Bedroom and Master Bathroom and Closet

LEGAL DESCRIPTION

LEGAL DESCRIPTION:
LOT 3 BLK 129 BOULDER EAST O T
County of Boulder, State of Colorado

GENERAL NOTES

- Contractor and subcontractors shall perform a site inspection to become familiar with existing conditions prior to submitting a bid for the Work.
- Contractor shall be responsible for issuing complete sets of Contract Documents to all subcontractors invited to bid on the project. Subcontractors shall be responsible for reviewing & complying with all information contained in the Contract Documents. Additional costs resulting from deviating from the aforementioned policy shall not be approved.
- Contractor shall review the Contract Documents and the existing conditions and shall notify the Owner and Architect of any discrepancies and/or conflicts in information contained in the Contract Documents, or between the Contract Documents and existing conditions, as well as any other conflicts which would impact performing the Work identified in the Contract Documents, and shall request clarification from the Architect prior to proceeding with the Work. Neither the Architect nor the Owner shall be responsible for additional costs or for correction of Work in place due to the contractor deviating from the aforementioned policy.
- Contractor shall be responsible for requesting interpretations of the Contract Documents from the Architect prior to proceeding with the Work. The Architect shall render interpretations of the Contract Documents necessary for the proper execution or progress of the work. Interpretations and decisions by the Architect will be consistent with and reasonably inferable from the Contract Documents. Neither the Architect nor the Owner shall be responsible for additional costs or correction of work rejected as a result of the contractor deviating from the aforementioned policy.
- Do not scale drawings to determine dimensions. Written dimensions govern; large scale details govern over small scale details. Discrepancies in dimensions shown on the various Contract Documents shall be brought to the Architect's attention for clarification prior to proceeding with the work.
- Contractor shall be responsible for executing work in conformance with all applicable building codes and regulatory agency requirements. Contractor shall schedule all inspections required by local regulatory agencies and provide Owner with written documentation that all required inspections have been successfully completed.
- Contractor shall verify that all materials, finishes, equipment, etc., are approved for installation as shown on the drawings by local regulatory agencies prior to purchasing.
- Contractor shall verify that all materials, equipment, fixtures etc. will fit through existing or new doorways, stairs, corridors, elevators, etc., prior to purchasing or fabricating. Provide protective coverings and padding as required to protect existing materials and finishes during periods of material / equipment deliveries.
- Contractor shall perform high quality professional work. All materials shall be joined to uniform, straight lines, free of seams, gaps, or overlaps. All work shall be installed appropriately plumb, level, and at right angles to or flush with adjoining work. The work of each trade shall meet or exceed all quality standards recognized by that trade.
- Contractor shall be responsible for protecting newly installed and existing finishes, and shall contain dust, dirt, and debris within the area under construction. Provide barricades and/or dust barriers as appropriate and/or as shown on the drawings.
- Contractor shall be responsible for maintaining building security and protecting the existing structures and contents at all times during the course of construction.
- It is to be understood by the Contractor that in accordance with industry practice, it is probable that all specific field conditions are not detailed in the Contract Documents. In the event of these occurrences, the Contractor shall submit his proposal for details in accordance with recognized industry standards and governing codes, and consistent with the design intent of the Contract Documents, for review by the Architect and his Consultants. The Architect and his Consultants shall not be responsible for additional costs associated with the aforementioned policy.
- It is to be understood by the Contractor that exact locations of all items of Work (i.e., receptacles, J-boxes, etc.) may not be shown specifically on the drawings. The Contractor shall diligently review the documents prior to construction and shall bring to the Architect's attention for clarification all oversight and discrepancies.
- Any widening of studs or furring required to enclose concealed work shall be done at no additional expense to the Owner.
- Any cutting and patching required for execution of the work identified in the Contract Documents shall be done at no additional expense to the Owner.
- Neither the Architect nor the Owner shall be responsible for, or have control or charge of construction means, methods, techniques, sequences, procedures, or for safety precautions in connection with the Work.
- The intent of these Contract Documents is to include all necessary items required for the proper execution of the Work by the Contractor. The Contractor shall provide a complete project with complete working systems unless specifically noted otherwise in the documents. Should anything be omitted in these documents, the Contractor shall not avail himself of such manifestly unintentional error or omission but shall have same qualified or adjusted by the Architect prior to executing the Owner/Contractor Agreement for construction.

SHEET INDEX

- A001 Cover Sheet and Site Plan
A002 ISP Survey
A003 Solar Diagram and FAR
A004 Bulk Plane
A005 Residential Mandatory Checklist
A006 Demolition Main Level Plan
A007 Window & Door Schedules

Landscape

- L101 Landscape Planting Plan
L1.2 Landscape Irrigation Plan

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- A201 Basement Level Plan
A202 Main & Upper Level Plan
A203 Roof Level Plan

Elevations

- A301 North-South Elevations
A302 West-East Elevation

Sections

- A401 Sections
A402 Sections
A403 Stair Section

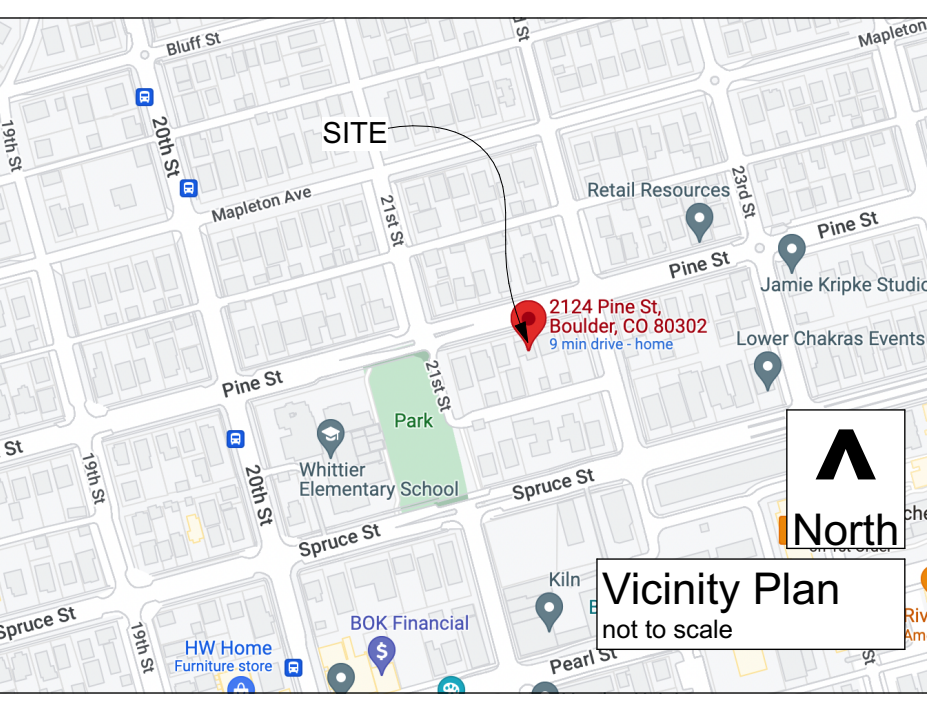
Interior Elevations

- A401 Interior Elevations

Electrical

- E001 Electrical Basement Level Plan
E002 Electrical Main Level Plan
E003 Electrical Upper Level Plan

VICINITY MAP



Andrews Design

Architecture +
Landscape Architecture

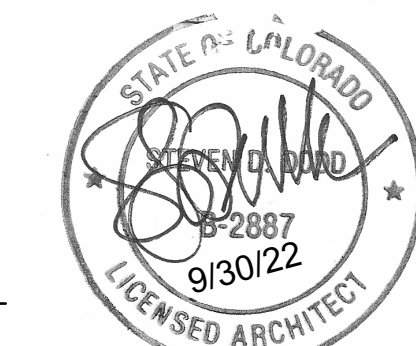
303.827.5186
buffy@dodd-studio.com

**Daniel - Waddell
Residence**

2124 Pine Street
Boulder, CO 80302

Project Number: 1907

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Building Permit

ISSUED:

Cover Sheet and Site
Plan

A001

Printed: 9/30/22

2
A003

FAR - Main Level

SCALE: 1/8" = 1'-0"

0 4' 8' 16'

1,117.58 sq ft
(E) Floor Area

793.4 sq ft
(N) Floor Area

370.37 sq ft
(E) Basement Area
Unfinished

(E) Crawl Space

Crawl Space

Crawl Space

14' x 6' x 8'

729.63 sq ft
(N) Basement Area

FAR - Basement Level

SCALE: 1/8" = 1'-0"

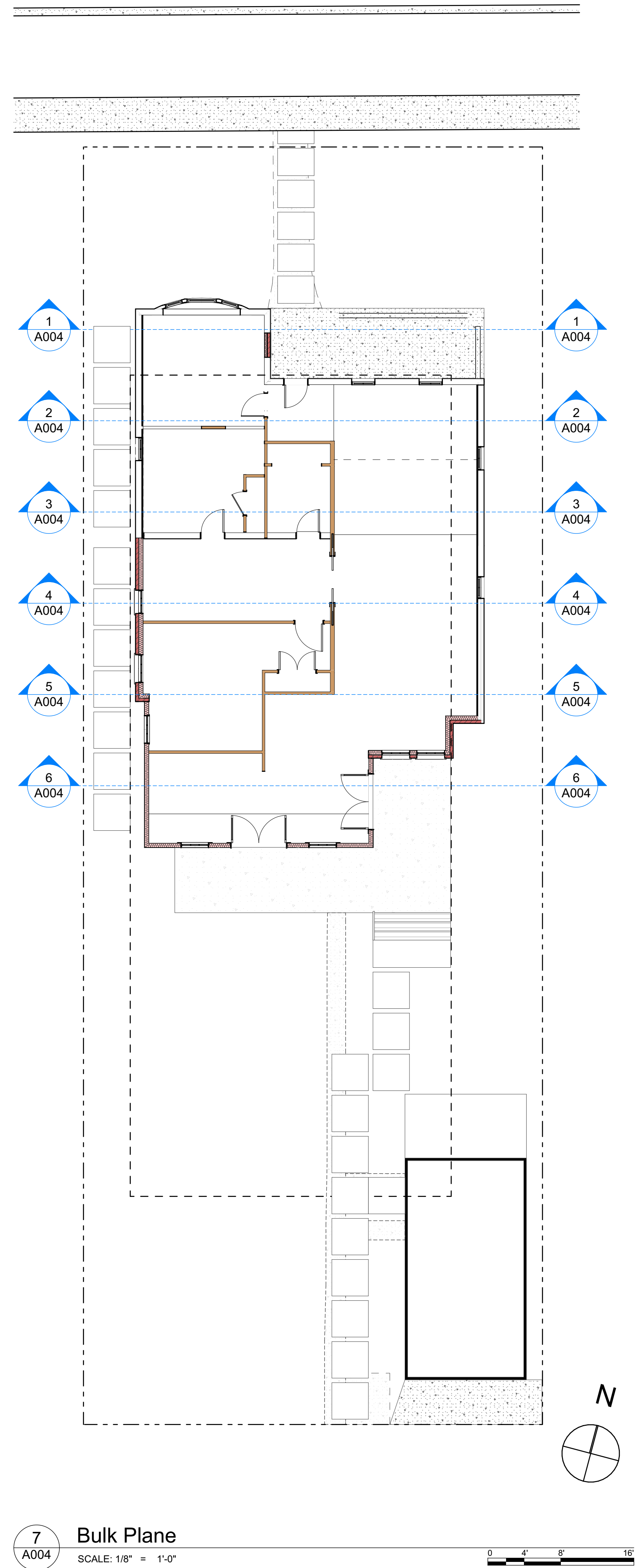
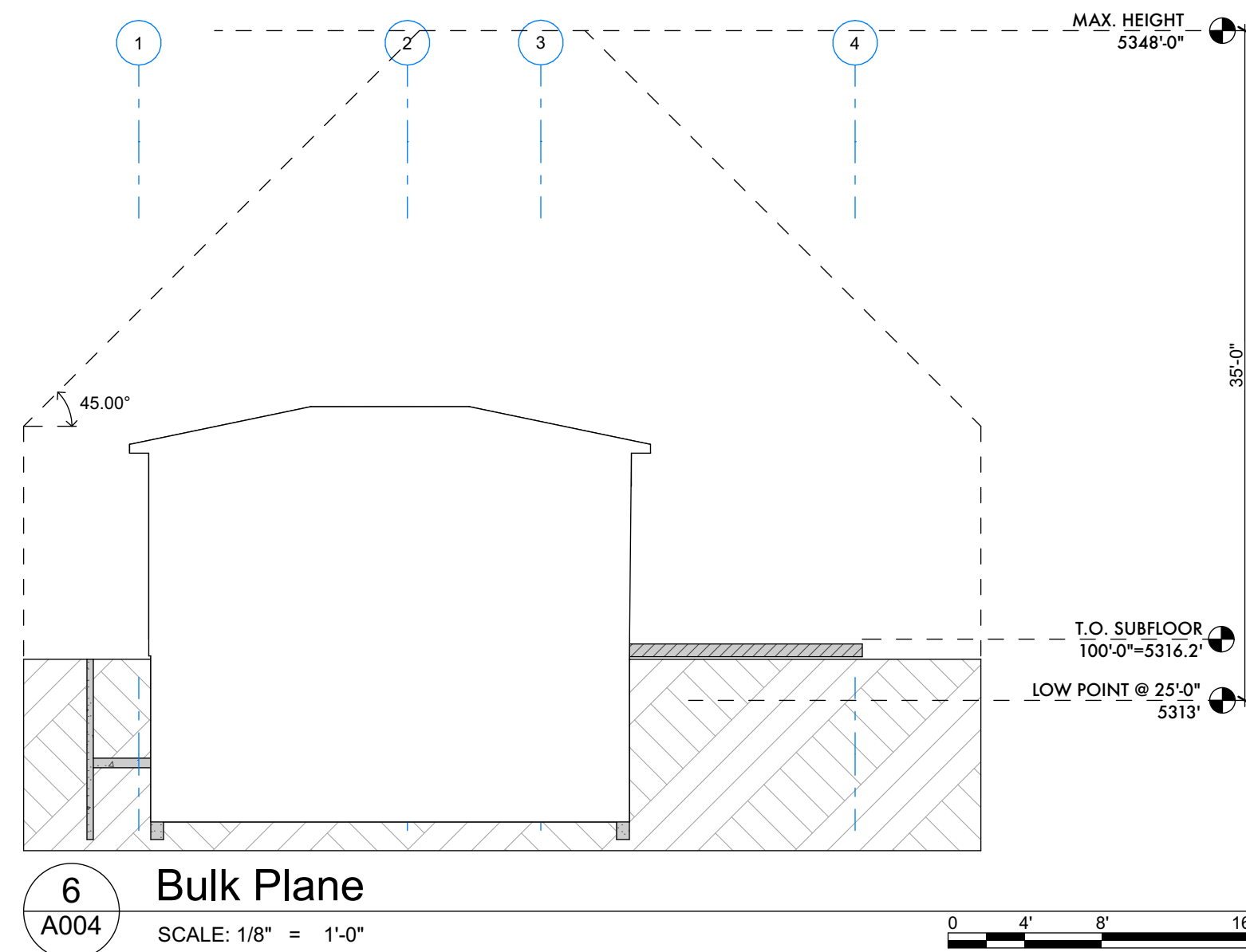
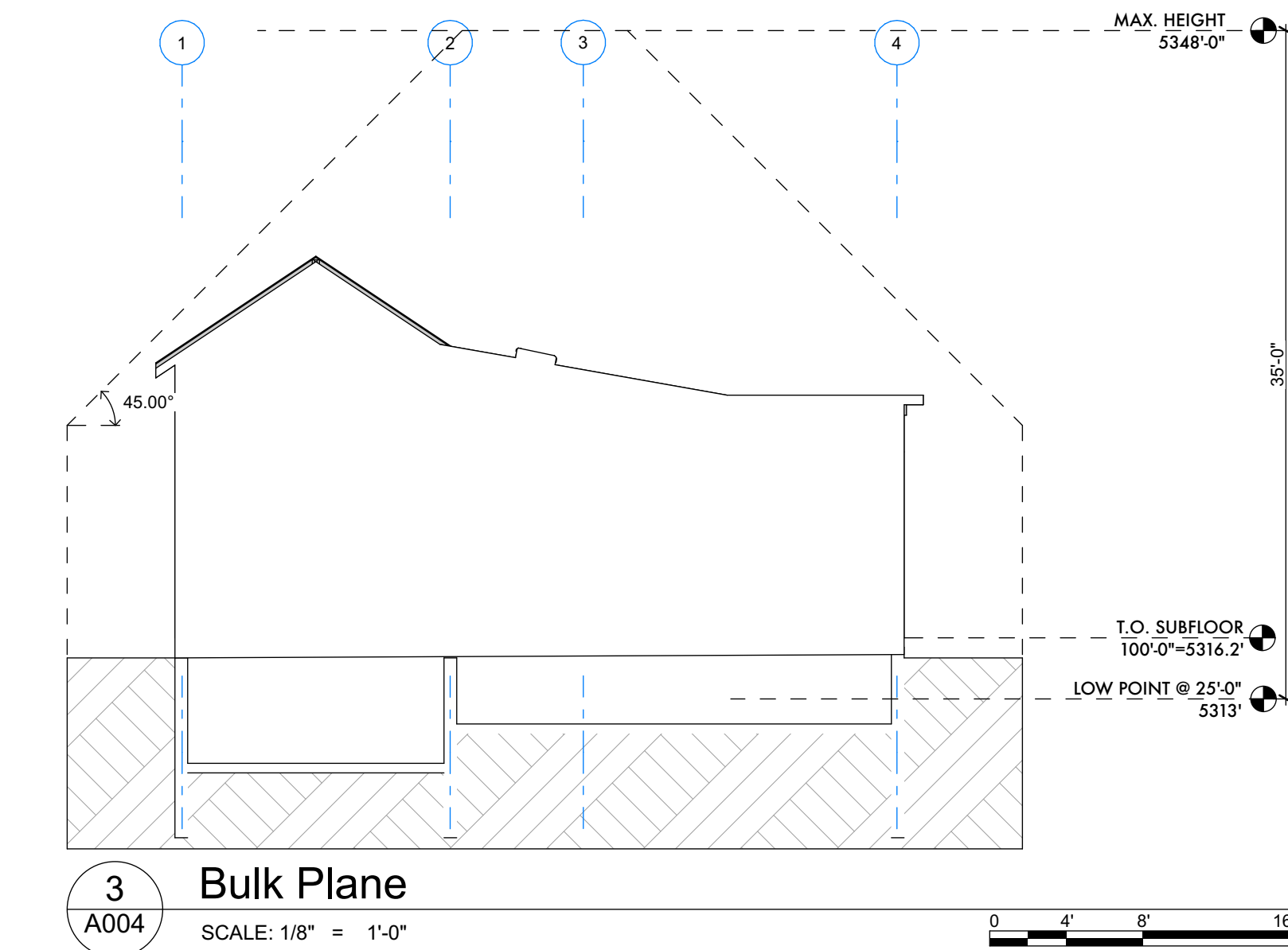
0 4' 8' 16'

Solar Analysis Diagram

SCALE: 1" = 10'

0 5' 10' 20'

6 A003





5 SERIES HOODS – 18" HIGH

Viking 5 Series – VWH

APPEARANCE AND DESIGN

- Backlit LED knobs extend and illuminate to control lighting level and fan speed, then fully retract when not in use
- Seamless design provides a refined finish to your kitchen
- Tough box ventilator housing protects blower and quietly removes smoke and odor
- Quietest hood and ventilator combination in the industry
- Multi-speed ventilator control knob allows precise adjustment to desired fan speed
- Maintenance-free ventilator never need to be cleaned with the commercial-type hood filters doing the dirty work
- Cook with peace of mind as the built-in heat sensor activates the ventilator to full power if cooking temperatures reach uncomfortable levels
- Ventilators must be purchased separately and are available in internal, external, and in-line models (See Ventilation guide for compatibility) Must use Viking ventilator kits with Viking hoods

BRIGHT LED LIGHTING

- Dimmable lighting controls provide custom illumination for enhanced surface cooking visibility
- Long-life LED light bulbs are energy efficient and easily replaceable
- Heat lamps conveniently keep food warm and ready to serve (not available on Island Hoods)

EASY CLEANUP

- Commercial-type baffle filters efficiently remove heat and grease vapors from the air
- Stainless steel dishwasher-safe filters are easily removed for quick cleaning
- Low-profile filter system reduces interior hood space, leaving less surface to clean
- Removable trough collects liquified grease for convenient disposal

ACCESSORIES

- DCW355S – Wall Hood Duct Cover for 36" Hood
- DCW365S – Wall Hood Duct Cover for 36" Hood
- DCW425S – Wall Hood Duct Cover for 42" Hood
- DCW485S – Wall Hood Duct Cover for 48" Hood
- DCW605S – Wall Hood Duct Cover for 60" Hood
- WGP355S – Wall Hood Warming Shelf Panels for 36" Hood
- WGP365S – Wall Hood Warming Shelf Panels for 36" Hood

MODEL NUMBERS

- VWH5354S – 30"W. Wall Hood
- VWH5364S – 36"W. Wall Hood
- VWH5424S – 42"W. Wall Hood
- VWH5484S – 48"W. Wall Hood
- VWH564S – 60"W. Wall Hood

COLOR FINISHES

- Available in 14 exclusive color finishes: Allura Blue (AB), Arctic Gray (AG), Black Forest Green (BF), Bywater Blue (BW), Cast Black (CB), Cypress Green (CY), Damascus Gray (DG), Frost White (FW), Kalamata Red (KR), Pacific Gray (PG), Redwood Red (RR), Slate Blue (SB), San Marzano Red (SM), Vanilla Cream (VC)

WARRANTY

- 2-year full – complete product
- 90-day full – cosmetic parts such as glass, painted items and decorative items
- 5-year limited – ventilator motors

MODELS G6MD • G8MD • G10MD

Page 1

AUTOMATIC MAKE-UP AIR DAMPER WITH TRANSFORMER & PRESSURE SWITCH

READ AND SAVE THESE INSTRUCTIONS

WARNING FOR RESIDENTIAL USE ONLY

TO REDUCE THE RISK OF FIRE, ELECTRIC SHOCK, OR INJURY TO PERSONS, OBSERVE THE FOLLOWING:

- Installation work and electrical wiring must be done by a qualified person(s) in accordance with all applicable codes and standards, including fire-rated construction codes and standards.
- Validated performance testing certified for use with BEST, Broan, and Breeze line range hoods.
- This unit is not designed to provide combustion air for fuel-burning appliances.
- Do not connect the unit directly to a combustion appliance of any type.
- Sufficient air is needed for proper combustion and exhausting of gases through the flue (chimney) of fuel burning equipment to prevent backdrafting. Follow the heating equipment manufacturer's guideline and safety standards such as those published by the National Fire Protection Association (NFPA), and the American Society for Heating, Refrigeration and Air Conditioning Engineers (ASHRAE), and the local code authorities.
- Before servicing or cleaning unit, switch power off at service panel and lock the service disconnecting means to prevent power from being switched on accidentally. When the service disconnecting means cannot be locked, securely fasten a prominent warning device, such as a tag, to the service panel.
- When performing installation, servicing or cleaning the unit, it is recommended to wear safety glasses and gloves.
- During extreme weather events including snow storms, ensure that the intake area for the outside air duct is not blocked and able to provide a clear pathway for outside air to enter the system.
- When cutting or drilling into wall or ceiling, do not damage electrical wiring or other hidden utilities.
- When notching or drilling into framing including floor supports, rim joists, and wall studs, comply with code and manufacturer limitations on allowable modifications to these structural members.
- This unit is intended to be installed within the home in a location protected from moisture.
- This unit must be in an accessible location which allows for inspection of the unit.
- Use this unit only in the manner intended by the manufacturer. If you have questions, contact the manufacturer at the address or telephone number listed in this document.
- When federal, provincial or state legislation comprises more restrictive installation and/or certification requirements, the aforementioned requirements prevail on those of this document and the installer agrees to conform to these at his own expense.

CAUTION

- Do not locate outside air inlet near hazardous materials or explosives.
- Unit shall not be installed to introduce air from crawlspaces, garages, attics, adjacent dwelling units, or other locations within the building shell. Unit shall be installed to introduce air directly from outdoors.
- Do not run the outside air duct directly above or closer than 2 ft to any furnace or its supply plenum, boiler, or other heat producing appliance.
- Any ductwork used in conjunction with the Damper must be installed in compliance with all local and national codes that are applicable.
- Do not operate the Damper for heat air introduction until all system filters, including the central duct system filter, have been installed per the system design.
- Please read the unit specification label on the product for further information and requirements.
- The Damper's outdoor air intake, ducting, and any filters should be inspected and maintained on a regular basis.
- Insulate the duct and damper to prevent build-up of condensation in cold weather climates. Vapor barriers on both sides of insulation are recommended.

4 Make up Air for Range Hood

SCALE: 1:1.43



5 SERIES HOODS – 18" HIGH

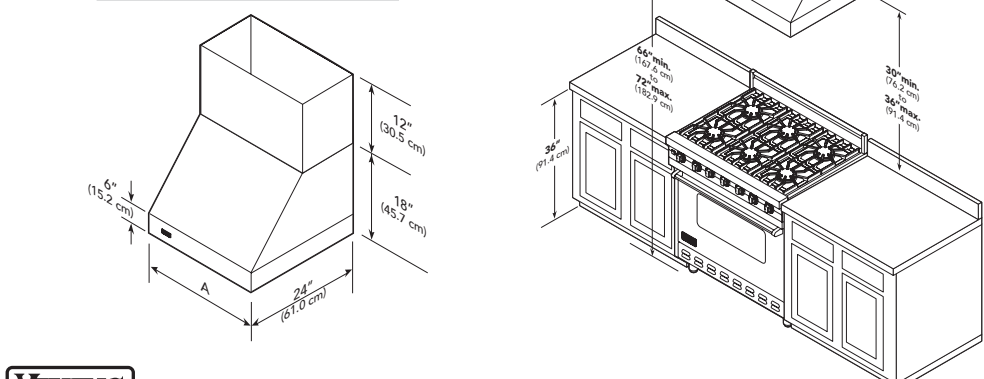
Viking 5 Series – VWH

18" WALL HOODS				
DESCRIPTION	VWH5354S	VWH5364S	VWH5424S	VWH5484S
Overall/Duct Cover Width	29.7/30" (75.9 cm)	35.7/36" (91.1 cm)	41.7/42" (106.4 cm)	47.7/48" (121.6 cm)
Overall Depth	24" (61.0 cm)	24" (61.0 cm)	24" (61.0 cm)	24" (61.0 cm)
Overall Height	18" (45.7 cm)	18" (45.7 cm)	18" (45.7 cm)	18" (45.7 cm)
Duct Cover Depth	12" (30.5 cm)	12" (30.5 cm)	12" (30.5 cm)	12" (30.5 cm)
Duct Cover Height	12" (30.5 cm)	12" (30.5 cm)	12" (30.5 cm)	12" (30.5 cm)
Heat Lamps	1	1	1	1
Interior Ventilator Kits	VNV300/600/1200	VNV300/600/1200	VNV600/1200	VNV1200*
Exterior Ventilator Kits	DEV900/1200*	DEV900/1200*	DEV900/1200*	DEV1200*/1500**
In-Line Ventilator Kits	DIL1200	DIL1200	DIL1200	DIL1200
Interior Duct Size	7" x 10" (17.8/25.4 cm)	10" (25.4 cm)	10" (25.4 cm)	10" (25.4 cm)
Interior - Maximum Amps	4.2/5.2/9.2	5.2/8.2	10.8	10.8
Exterior - Maximum Amps	8.0/5.3	5.2/7.2	9.4	7.8/8.5
In-Line - Maximum Amps				10.0

Please do not prepare installation from brochure data only. See installation instructions for important clearance/installation information.

** Damaged when using recirculating kits. 400 CFM blower is shipped with hood. Maximum duct run is 50 ft.

A Hood widths	
30"W.	29.7/30" (75.9 cm)
36"W.	35.7/36" (91.1 cm)
42"W.	41.7/42" (106.4 cm)
48"W.	47.7/48" (121.6 cm)
60"W.	59.7/60" (151.1 cm)



VIKING VIKING RANGE, LLC 111 FRONT STREET GREENWOOD, MISSISSIPPI 39300 USA

For detailed product information, model numbers, or to request a quote call 1-888-845-4411 or visit vikingrange.com

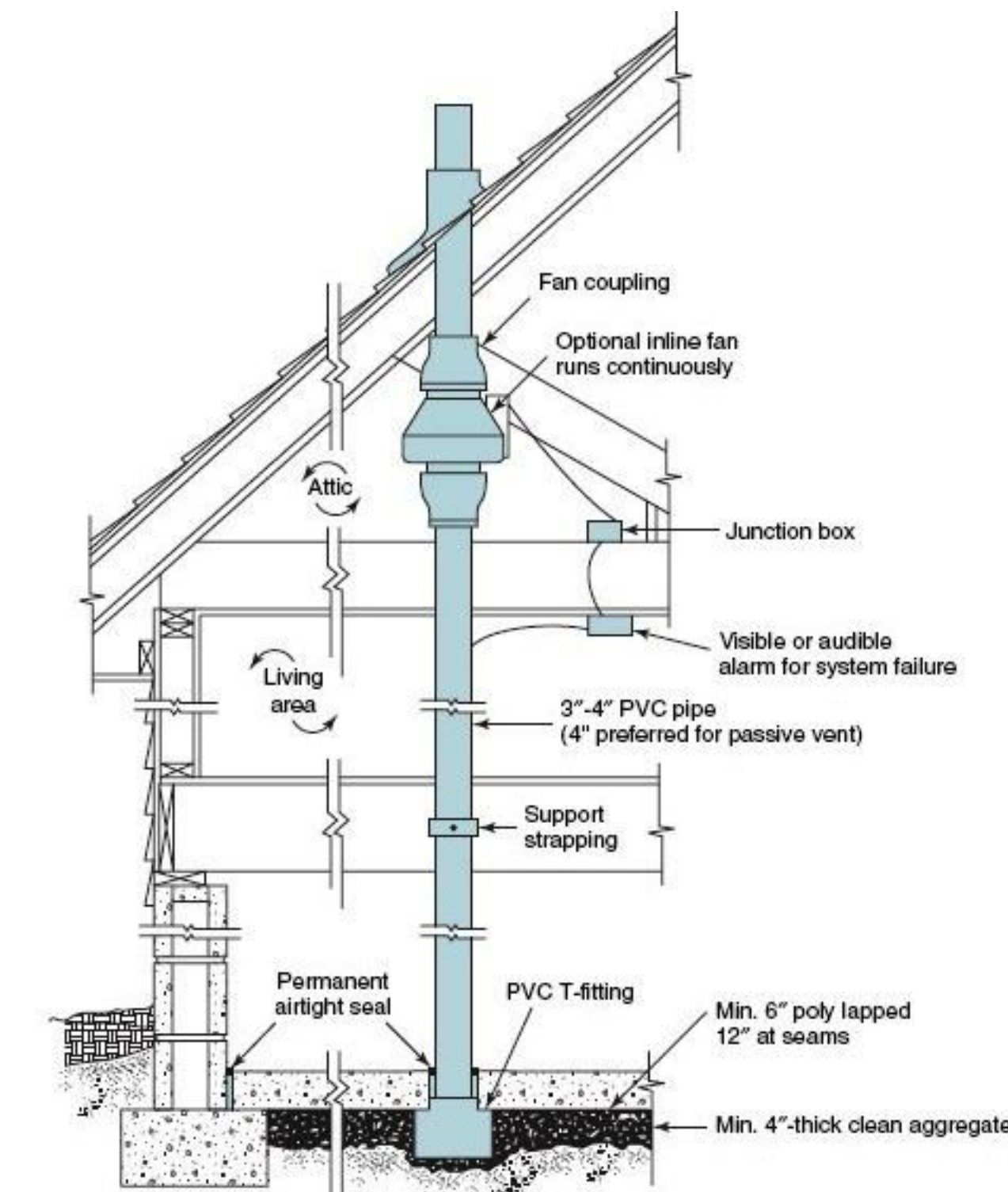
© 2020 Viking Range, LLC. All rights reserved. Specifications subject to change without notice.

FD0304A

FD0304

3 Range Hood

SCALE: 1:1.43

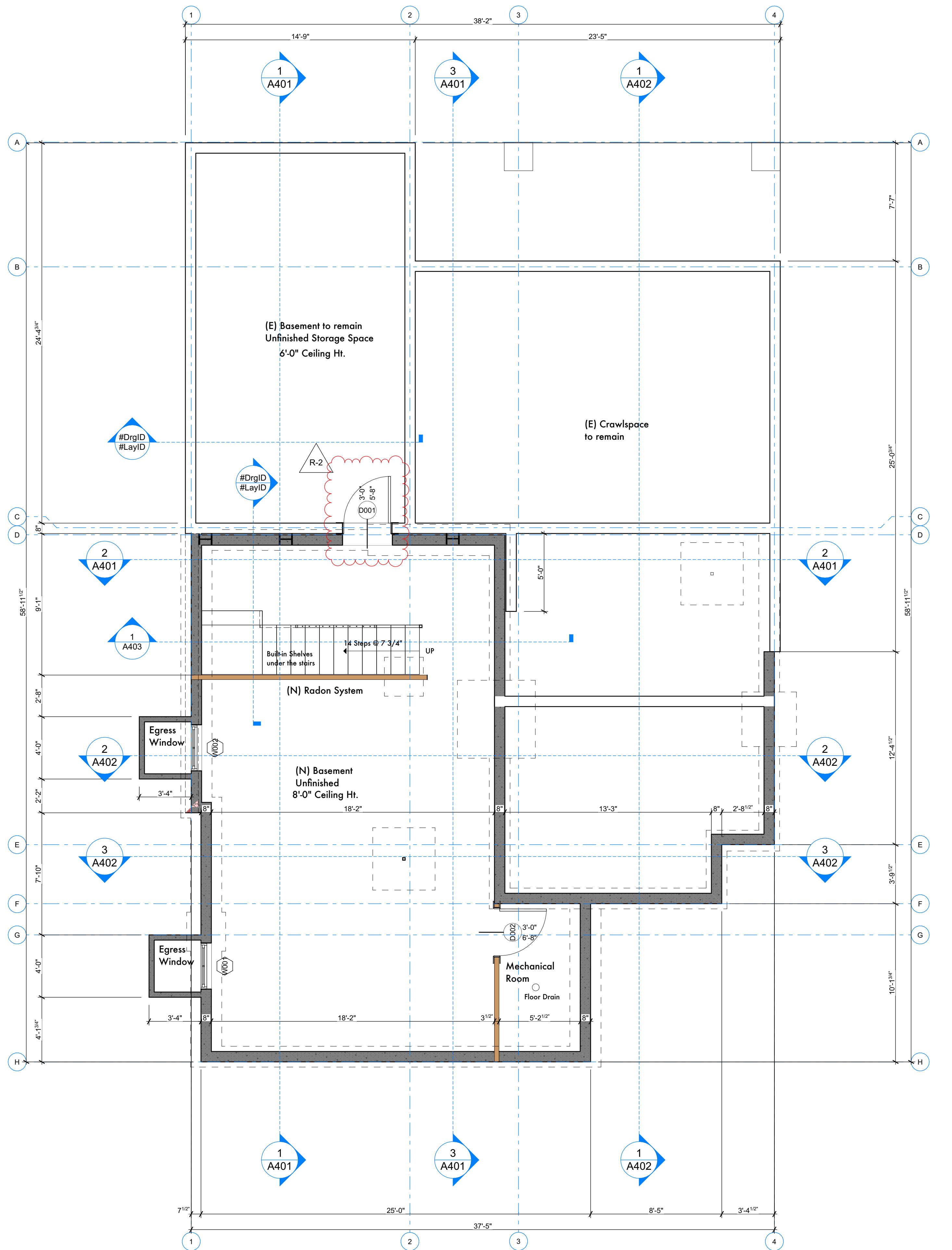
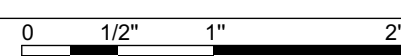


The EPA recommends that builders add a passive subslab depressurization system to all new homes built in areas prone to elevated radon levels (www.epa.gov/radon/zonemap.html). The key components are a gas-permeable layer below the slab, airtight sealing of the slab, and an exhaust duct to vent soil gas. If the passive system does not sufficiently lower radon levels, adding an inline blower will usually solve the problem.

SOURCE: Illustration adapted from *Building Radon Out*, U.S. EPA/402-K-01-022, 2001.

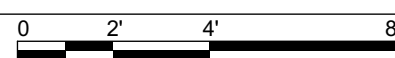
5 Radon Detail

SCALE: 1" = 1'-0"



1 Basement Level Plan

SCALE: 1/4" = 1'-0"



Andrews Design

Architecture +
Landscape Architecture

303.827.5186
buffy@dodd-studio.com

Daniel - Waddell Residence

2124 Pine Street
Boulder, CO 80302

Project Number: 1907

NOTICE: DUTY OF COOPERATION

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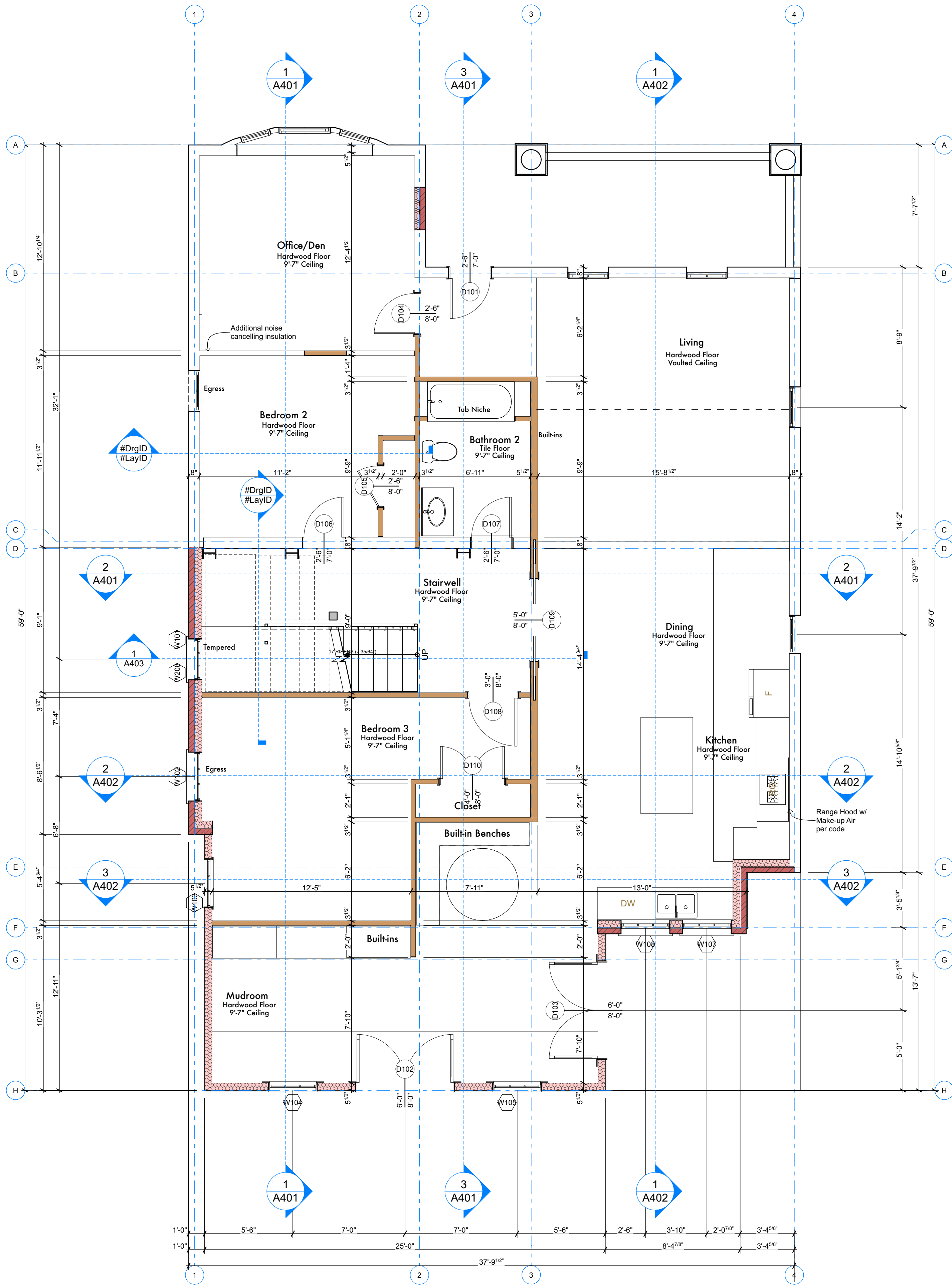
Building Permit

ISSUED:

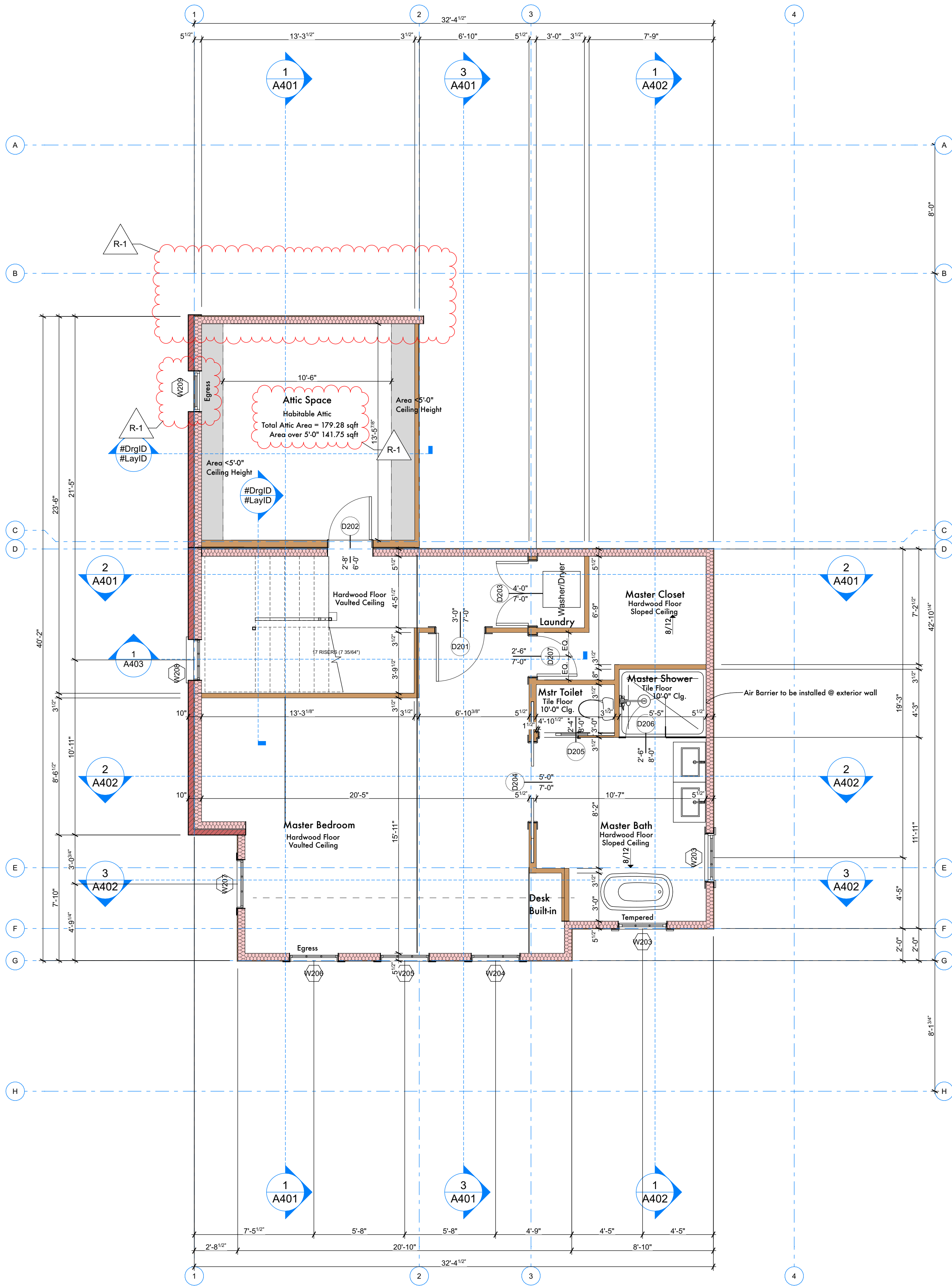
Basement Level Plan

A201

Printed: 9/30/22



1 Main Level Plan
A202 SCALE: 1/4" = 1'-0"



2 Upper Level Plan
A202 SCALE: 1/4" = 1'-0"

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buffy@dodd-studio.com

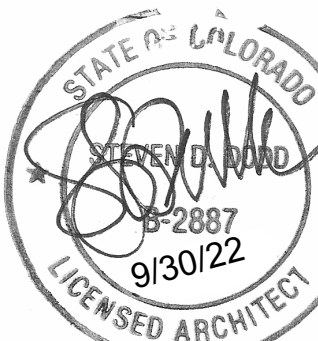
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Building Permit

ISSUED:

Main & Upper Level Plan

A202

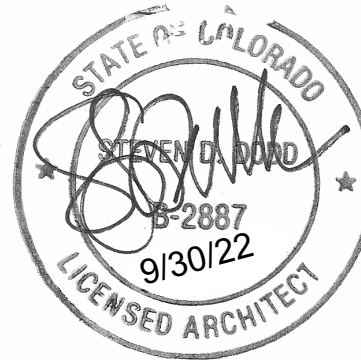
Printed: 9/30/22

Daniel - Waddell
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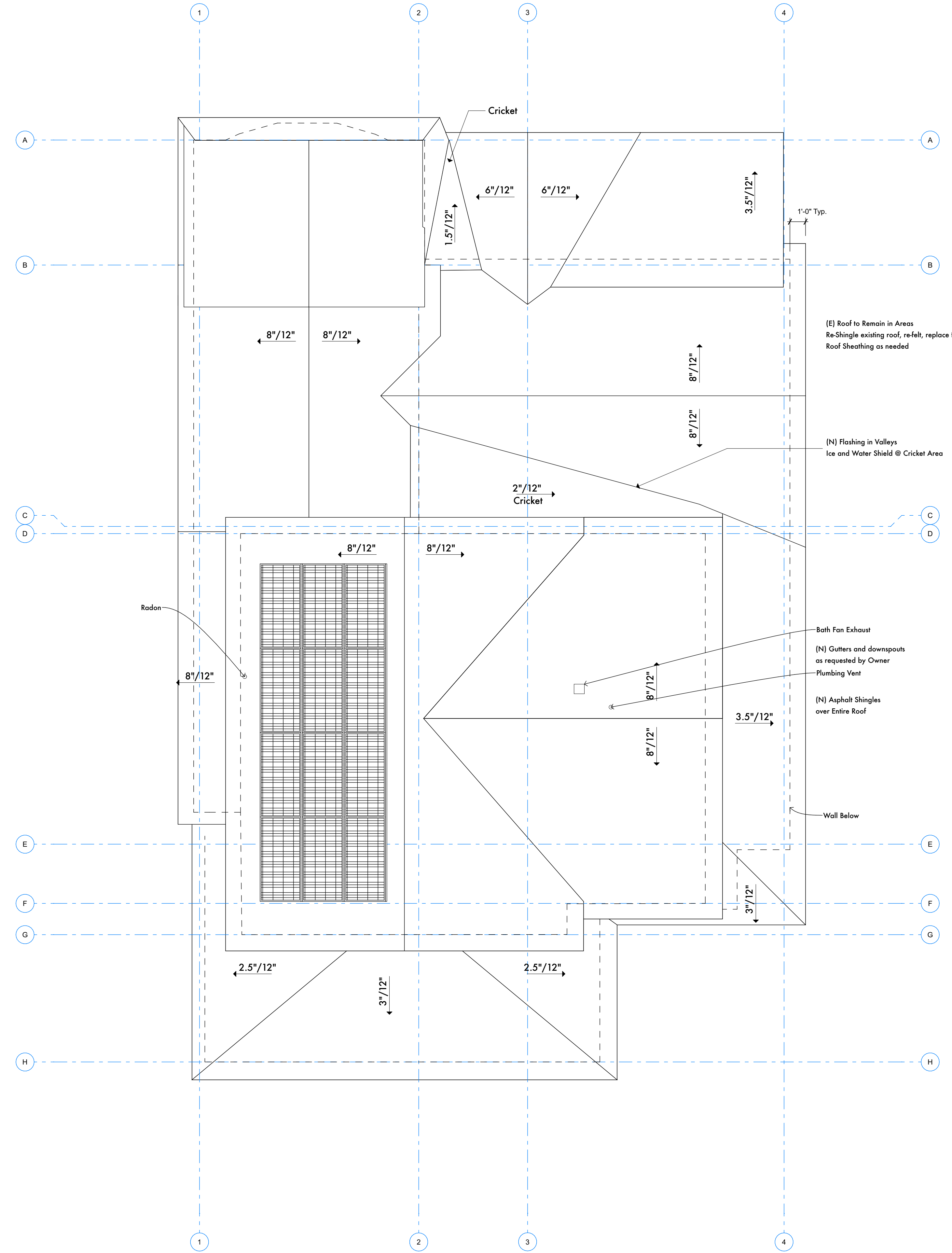
Building Permit

ISSUED:

Roof Level Plan

A203

Printed: 9/30/22



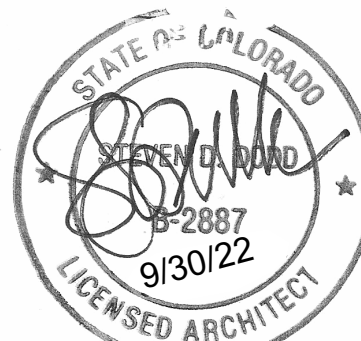
1 T.O. Roof
A203 SCALE: 1/4" = 1'-0"

Daniel - Waddell
Residence

2124 Pine Street
Boulder, CO 80302

Project Number: 1907

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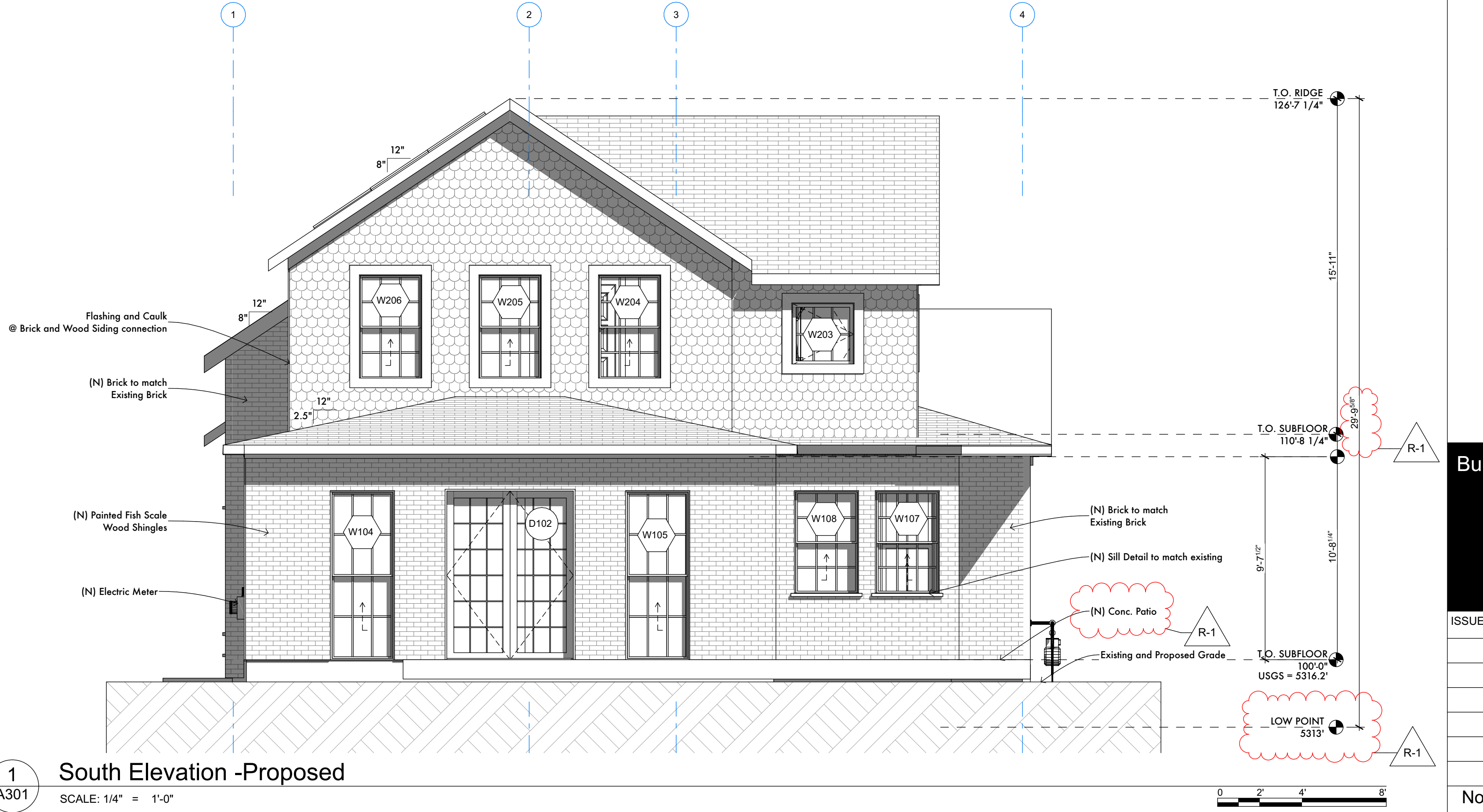
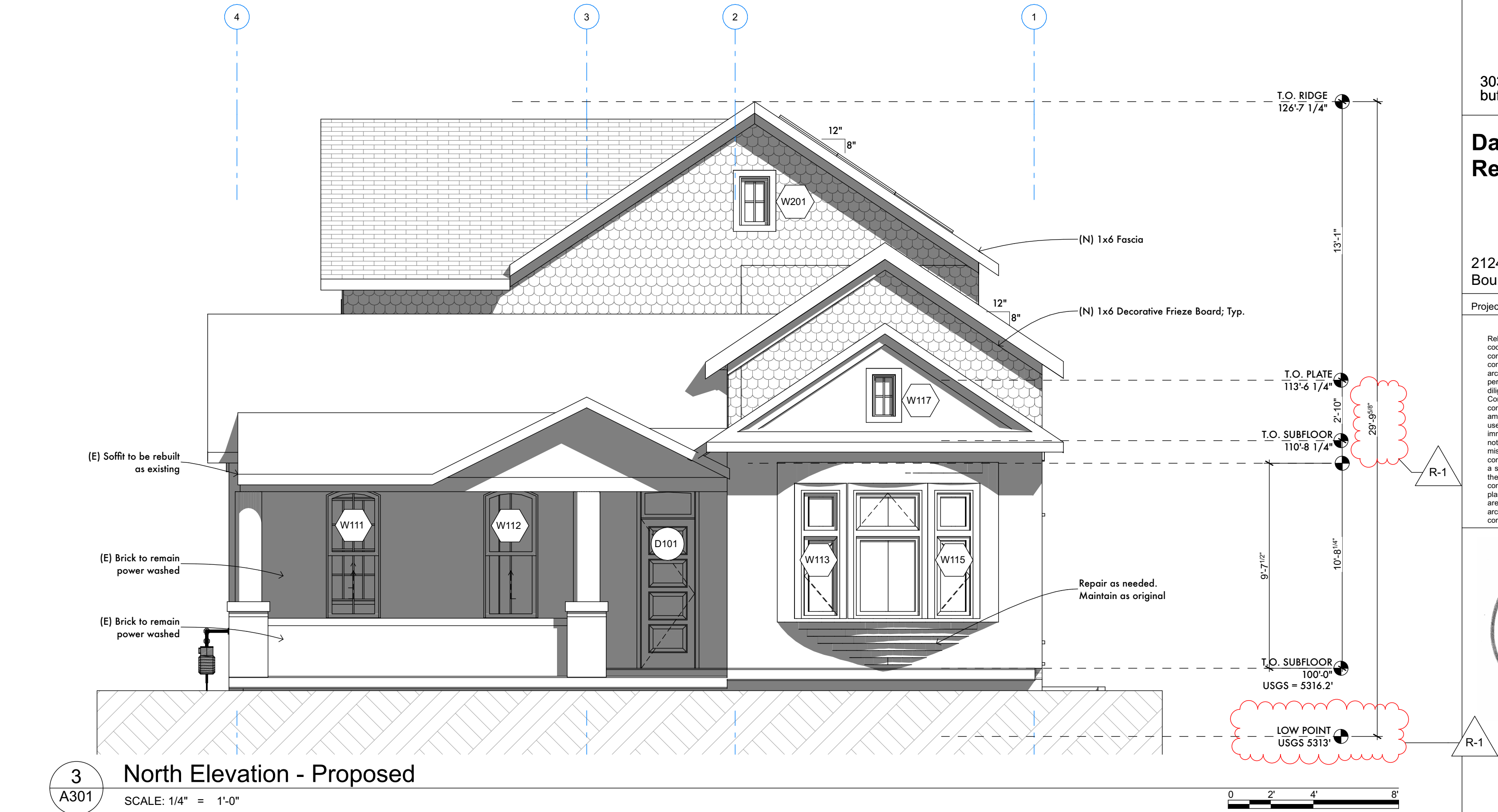


Building Permit

ISSUED:

North-South Elevations

A301



Daniel - Waddell
Residence

2124 Pine Street
Boulder, CO 80302

Project Number: 1907

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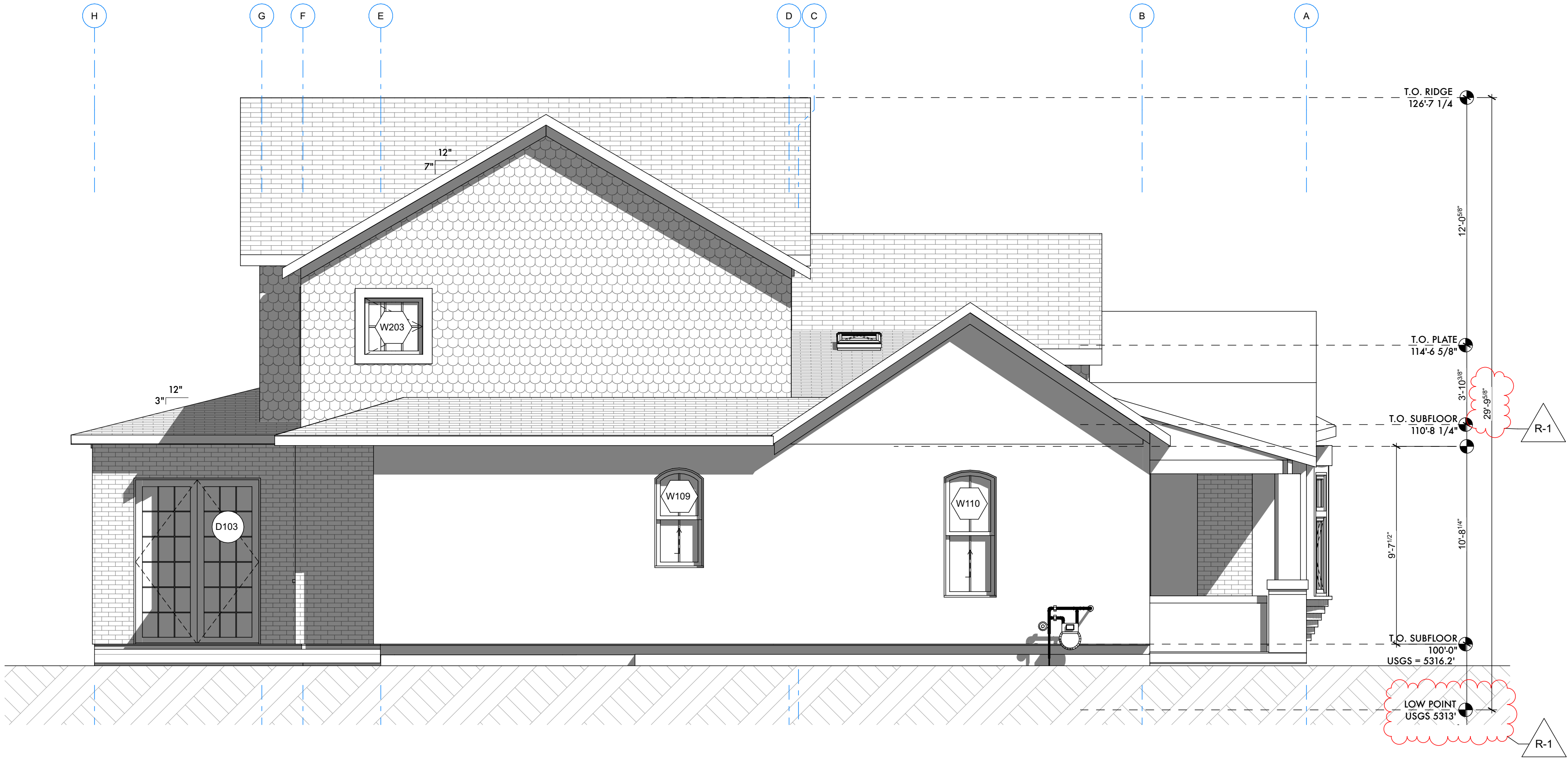
Building Permit

ISSUED:

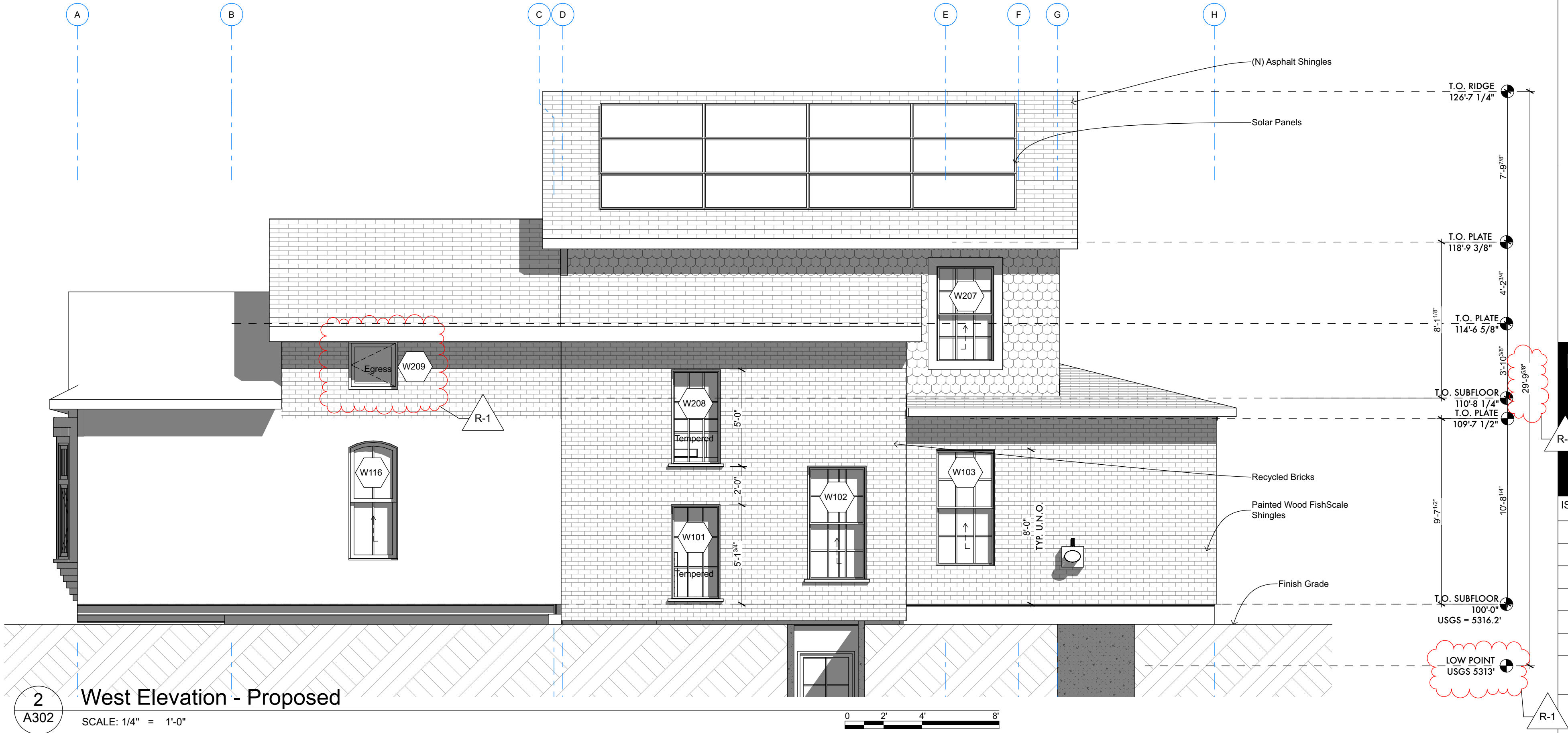
West-East Elevation

A302

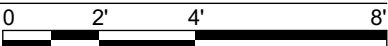
Printed: 9/30/22



1 East Elevation - Proposed
SCALE: 1/4" = 1'-0"



2 West Elevation - Proposed
SCALE: 1/4" = 1'-0"



Written Approval letter for 2124 Pine Street Boulder, CO 80302

September 13, 2022

To: Board of Zoning Adjustment

Re: Written Approval Letter

Job Site Address: 2124 Pine Street Boulder, CO 80302

This is a Letter of Approval for the Setback variance from the affected property owner(s) on the west side of 2124 Pine Street.

The variance is to maintain the 5.7' setback along the west setback of the proposed addition to 2124 Pine Street.

Name of affected Owner: MARK & BETH HILL

Address: 2118 Pine Street Boulder, CO 80302

Phone: (303) 473-9972

Email: HILL@COMIC.COM

Signature: 

Written Approval letter for 2124 Pine Street Boulder, CO 80302

September 13, 2022

To: Board of Zoning Adjustment

Re: Written Approval Letter

Job Site Address: 2124 Pine Street Boulder, CO 80302

This is a Letter of Approval for the Setback variance from the affected property owner(s) on the west side of 2124 Pine Street.

The variance is to maintain the 5.7' setback along the west setback of the proposed addition to 2124 Pine Street.

Name of affected Owner: Timothy Paymaster

Address: 2120 Pine Street Boulder, CO 80302

Phone: 3033599341

Email: Timpaymaster@gmail.com

Signature: 



City of Boulder Planning and Development Services

PO Box 791 • Boulder, CO 80306

Phone: 303-441-1880 • Web: boulderplandevlop.net

BOARD OF ZONING ADJUSTMENT (BOZA) VARIANCE APPLICATION

APPLICATION DEADLINE IS THE SECOND MONDAY OF EACH MONTH.
MEETING DATE IS 4:00 P.M. ON THE SECOND TUESDAY OF THE FOLLOWING MONTH.

Submittal of inaccurate or incomplete information and materials may result in rejection of the application.

GENERAL DATA

(To be completed in full by the applicant.)

- Street Address or General Location of Property: 907 11th St. (Parcel # 146331313013)
- Legal Description: Lot _____ Block _____ Subdivision _____ (Or attach description.)
- Lot Size: _____
- Existing Use of Property: Residential
- Detailed Description of Proposal (Specific Variance[s] Requested Including All Pertinent Numerical Values (e.g.: Existing, Required and Proposed Setbacks for the Subject Setback Variance):
Fence and wall variance under BRC 3-9-1576(2), concerning location of a fence adjacent to a public sidewalk.

*Total floor area existing:	*Total floor area proposed:
*Total building coverage existing:	*Total building coverage proposed:
*Building height existing:	*Building height proposed:

*See definitions in Section 9-16-1, B.R.C. 1981.

- Name of Owner: Scott and Jonathan Skinner-Thompson
- Address: 907 11th St. Telephone: 303-501-9287
- City: Boulder State: CO Zip Code: 80302 Email: jonathan.skinnerthompson@gmail.com
- Name of Contact (if other than owner): _____
- Address: _____ Telephone: _____
- City: _____ State: _____ Zip Code: _____ Email: _____

STAFF USE ONLY

Doc. No. _____ Date Filed _____ Zone _____ Hearing Date _____
Application received by: _____ Date Fee Paid _____ Sign(s) Provided _____

APPLICATION TYPES (Check All That Apply For This Application)

- ☐ Setback (BRC 9-7-1)
- ☐ Porch Setback & Size (BRC 9-7-4)
- ☐ Building Separation (BRC 9-7-1)
- ☐ Bulk Plane (BRC 9-7-9)
- ☐ Side Yard Wall Articulation (BRC 9-7-10)
- ☐ Building Coverage (BRC 9-7-11 or BRC 9-10)
- ☐ Floor Area Ratio (BRC 9-8-2)
- ☐ Parking in Front Yard Landscape Setback (BRC 9-7-1 & 9-9-6)
- ☐ Size and Parking Setback Requirements for Accessory Units (BRC 9-6-4)
- ☐ Cumulative Accessory Building Coverage (BRC 9-7-8)
- ☐ Mobile Home Spacing Variance (BRC 9-7-13)
- ☐ Use of Mobile Homes for Non-Residential Purposes (BRC 10-12-6)
- ☐ Solar Exception (BRC 9-9-17)
- ☐ Sign Variance (BRC 9-9-21)
- ☒ Fence and Wall Variance (BRC 9-9-15)

APPLICATION REQUIREMENTS

All variance applications are electronic submittal and review. Visit the Planning & Development Services Online Center for additional information & guidance on the application process and how to apply. As a minimum, the following items **MUST** ultimately be provided for an application to be considered complete:

- A completed and signed BOZA Application Form;
- If applicant is other than owner(s), a written consent of the owner(s) of the property for which the variance is requested;
- A detailed written statement thoroughly describing the variance request(s) and addressing all pertinent review criteria for approval - see following pages;
- A signed and stamped Improvement Location Certificate or Site Improvement Survey and legal description by a registered surveyor;
- A site development plan including setbacks, building elevations, interior layout/floor plans and any other pertinent exhibits;
- A demolition plan clearly differentiating between existing/remaining and proposed portions of the structure(s);
- Any other information pertinent to the variance request (e.g. neighbor letters, photos, historic records/approvals, renderings, etc.);
- Sign Posting Acknowledgement Form - *see following page*.

NOTE: The applicant is responsible for posting the property in compliance with city requirements. Obtaining sign(s) will be messaged to an applicant once it has been placed on an agenda. The applicant will be responsible for posting the required sign(s) within 10 days of the hearing date. Failure to post the required sign(s) may result in the postponement of the hearing date.

- A Board of Zoning Adjustment application fee (as prescribed in the current 'Schedule of Fees' which can be found at bouldercolorado.gov/plan-developop);

NOTE: SEE SECTION 9-2-3(I), B.R.C. 1981 FOR VARIANCE EXPIRATION INFORMATION

Applicant Signature  Date 10.7.22

Owner (if other than Applicant) Signature _____ Date _____

SIGN POSTING REQUIREMENTS APPLICANT'S ACKNOWLEDGMENT FORM

Required for Certain Land Use Review, Administrative Review, Technical Document Review, and Board of
Zoning Adjustment Applications

CITY CODE REQUIREMENT FOR SIGN POSTING OF LAND USE REVIEW APPLICATIONS -

Excerpt of Section 9-4-3(c), B.R.C. 1981: Public Notice of Application: The city manager will provide the following public notice of a development review application:

(1) Posting: After receiving such application, the manager will cause the property for which the application is filed to be posted with a notice indicating that a development review application has been made, the type of review requested, and that interested persons may obtain more detailed information from the planning department. The notice shall meet the following standards:

(A) The notice shall be placed on weatherproof signs that have been provided by the City and placed on the property that is the subject of the application.

(B) All such notice shall be posted no later than ten days after the date the application is filed to ensure that notice is posted early in the development review process.

(C) The signs shall be placed along each abutting street, perpendicular to the direction of travel, in a manner that makes them clearly visible to neighboring residents and passers-by. At least one sign shall be posted on each street frontage.

(D) The signs shall remain in place during the period leading up to a decision by the approving authority, but not less than ten days.

(E) On or before the date that the approving authority is scheduled to make a decision on the application the city manager will require the applicant to certify in writing that required notice was posted according to the requirements of this section.

I, Jonathan Skinner-Thompson, am filing a Land Use Review, Administrative Review, Technical
(PRINT NAME OF APPLICANT OR CONTACT PERSON)

Document Review, or BOZA application [on behalf of] Scott and Jonathan Skinner-Thompson for the property
(PRINT NAME OF OWNER(S) IF OTHER THAN APPLICANT/CONTACT)

located at 907 11th St. I have read the city's sign posting requirements above and acknowledge
(PRINT PROPERTY ADDRESS OR LOCATION)

and agree to the following:

1. I understand that I must use the sign(s) that the city will provide to me at the time that I file my application. The sign(s) will include information about my application and property location to provide required public notice.
2. I am responsible for ensuring that the sign(s) is posted on the property described above in such a way that meets the requirements of Section 9-4-3(c), B.R.C. 1981 (listed above), including visibility of the sign(s) and time and duration of the sign(s) posting, and including reposting any signs that are removed, damaged, or otherwise displaced from the site. As necessary, I shall obtain a replacement sign(s) from the city for reposting.
3. I understand that certain future changes to my application, including but not limited to, changes to the project description or adding a review type, may require that I post a new sign(s). The city will notify me if such a reposting is required and provide me with a necessary replacement sign(s).
4. I understand that failing to provide the public notice by sign posting required by the city's land use regulation may result in a delay in the city's issuing a decision or a legal challenge of any issued decision.


NAME OF APPLICANT OR CONTACT PERSON

10.7.22
DATE

Please keep a copy of this signed form for your reference. If you have any questions about the sign posting requirements or to obtain a replacement sign, please call 303-441-1880.

Dear Members of the Board of Zoning Adjustment,

We are the owners of 907 11th Street in Boulder and are requesting an after-the-fact variance from the fence setback requirements in BRC Section 9-9-15(b)(2) (concerning the location of a fence adjacent to a public sidewalk). The request for a variance would span the length of the existing cedar fence in the backyard of the property up to 9 feet from the intersection of the alley and sidewalk, where we will create a sight triangle to comply with the City's interpretation of the sight triangle requirements in BRC 9-9-7(c)(2) (see Exhibit A site sketch). Our proposed sight triangle plan has been approved by the City.

The request for a variance satisfies the qualifying criteria for a variance under BRC Section 9-2-3(h)(1) and (5).

BRC Section 9-2-3(h)(1) Physical Conditions or Disability

Under BRC Section 9-2-3(h), the Board may grant a variance if it finds that the application satisfies all of the applicable requirements of paragraph (1). Paragraph (1), for physical conditions or disability, specifies that a variance may be granted if:

There are: (A) unusual physical circumstances or conditions, including, without limitation, irregularity, narrowness or shallowness of the lot, or exceptional topographical or other physical conditions peculiar to the affected property ... ; (B) the unusual circumstances or conditions do not exist throughout the neighborhood or zoning district in which the property is located; (C) because of such physical circumstances or conditions the property cannot reasonably be developed in conformity with the provisions of the code; and (D) any unnecessary hardship has not been created by the applicant.

The current fence (Exhibits B, C, D, and E) was built in 2019 in the same location as a previously permitted fence (Exhibit F) on top of a permitted retaining wall. Both the fence and retaining wall were permitted in 1998 (PMT1998-00506-FEN) (Exhibit G). The retaining wall varies between approximately 0.5 and 2.5 feet in height—putting the sidewalk at a higher level than the backyard of the property. The width of the area from the edge of the sidewalk to the edge of the retaining wall varies between a few inches to a foot (well short of the 18-inch setback requirement in BRC Section 9-9-15(b)(2)). These circumstances and conditions appear to be unique to the property, which was originally developed in 1907. We believe the wall and original fence were constructed in 1998, when they were permitted by the City, and were in place when we purchased the property in 2017. Satisfying the 18-inch setback requirement would either create a dangerous gap between the level of the sidewalk and the lower level of the property or be unreasonably costly due to the construction of a new retaining wall. As the new owners of the property, we did not alter the retaining wall nor change the depth of the backyard abutting the sidewalk. Accordingly, the physical conditions of the property are unusual, not found throughout the neighborhood, cannot be reasonably addressed, and were not created by the current owners of the property.

BRC Section 9-2-3(h)(5) Requirements for All Variance Approvals

Additionally, our variance application also satisfies the four requirements in paragraph (5).

(a) Would not alter the essential character of the neighborhood or district in which the lot is located

Granting the variance would not alter the character of the neighborhood. As noted, a fence was originally constructed at the location of the current fence over twenty years ago. Further, numerous properties in the University Hill neighborhood have fences that do not satisfy the setback requirements in BRC Section 9-9-15(b)(2).

(b) Would not substantially or permanently impair the reasonable use and enjoyment or development of adjacent property

Granting the variance would not substantially or permanently impair the reasonable use and enjoyment or development of any adjacent properties. The existence of a fence at the same location has not impaired the use and enjoyment or development of any adjacent properties, so granting a variance for the current fence should not be expected to do so either.

(c) Would be the minimum variance that would afford relief and would be the least modification of the applicable provisions

The variance is requested for the length of the fence up to 9 feet from the intersection of the alley and sidewalk. This would maintain adequate visibility for pedestrians on the sidewalk and drivers in the alley. Accordingly, the variance would be a minimal modification from BRC Section 9-9-15(b)(2).

(d) Would not conflict with the provisions of Section 9-9-17, "Solar Access," B.R.C. 1981.

Finally, granting the requested variance would have no impact to basic solar access protection requirements and related land use regulations.

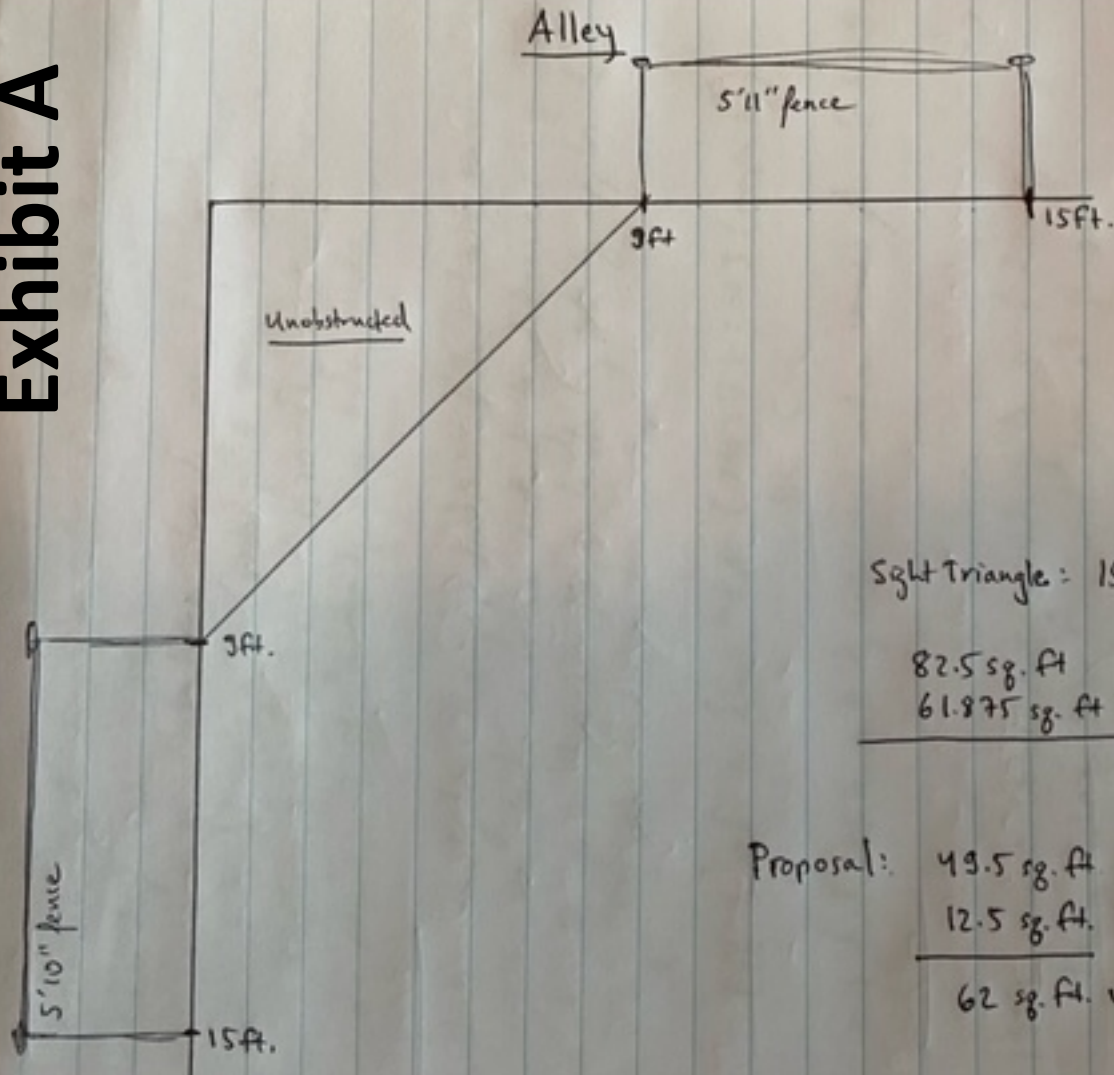
We have coordinated our request with City staff, who support the request for a variance.

Thank you,


Jonathan and Scott Skinner-Thompson

Exhibit A

Aurora



Sight Triangle: 15 feet, 75% visibility
between 2.5-8 ft.

82.5 sq. ft

61.875 sq. ft must be visible

Proposal: 49.5 sq. ft (unobstructed 9ft triangle)
12.5 sq. ft. (fence avg. height of 5'11")

62 sq. ft. visibility > 61.875 required visibility



Exhibit B



Exhibit C

Exhibit D





Exhibit E

Exhibit F



FENCE, WALL AND HEDGE PERMIT APPLICATION
CITY OF BOULDER
BUILDING INSPECTION DIVISION
 To Erect, Alter or Repair Fences and Walls

Permit No. 152127

Inspector: [Signature]

Building Address: 907 - 11th St
 Date of Application: 2-26-98

No. 10 Swain Nolder - Tinsl
 Mail Address: 907 11th St
 City: Boulder Phone: 440 9096

Name: Swain Nolder
 Mail Address: 1426 Dobbin's Run
 City: Boulder Colorado Phone: 440 9423
 City License No. 2222

I agree to perform the work described herein in accordance with the plans and/or specifications submitted, and with all provisions of the Zoning Ordinance, Building Code, and health regulations of the City of Boulder.

[Signature]
 Signature of Applicant

A PERMIT MUST BE ISSUED PRIOR TO COMMENCEMENT OF WORK.
 FORM NO. 34-04

☐ Erect ☐ Alter ☐ Remove ☐ Corner Lot
☒ Fence Replace ☐ Wall ☐ Hedge ☐ Interior Lot

Use Zone: Residential Material: Galvalume Height: 6'
 Cost of Construction: \$2600

SHOW LOCATION FENCE/WALL/HEDGE

Diagram showing property lines and building location. The diagram includes a rectangular lot with a "PRINCIPAL BUILDING" in the center. The "FRONT PROPERTY LINE" is indicated at the bottom. The "CURB" is shown at the bottom edge of the lot. The "11th STREET" is labeled at the bottom. The "Avenue St" is labeled on the left side. The "CURB" is also labeled on the right side. The "FRONT PROPERTY LINE" is also labeled on the right side. The "CURB" is also labeled on the right side. The "FRONT PROPERTY LINE" is also labeled on the right side. The "CURB" is also labeled on the right side.



CITY OF BOULDER Planning and Development Services

1739 Broadway, Third Floor • P.O. Box 791, Boulder, CO 80306-0791
phone 303-441-1880 • fax 303-441-4241 • web boulderplandevlop.net

Parcel Summary Report For Parcel #146331313013

This report provides information from the EnerGov Land Management and Permitting system and links to the City of Boulder GIS Property Map and Boulder County Assessor website.

Parcel Tags

Description	Additional Information
There are no parcel tags for this property.	

[City of Boulder GIS Map of Property](#)

The City of Boulder map contains Zoning, BVCP Plan Areas, Subcommunities, Improvement and Historic Districts, Annexation History, Creeks and Wetlands and additional information for each parcel within the city. The Flood Zone Map is on the More tab on the map.

[Boulder County Assessor Web Site](#)

The Boulder County Assessor's Office Property Search contains Year Built, Building Value, Legal Description, Section-Township-Range, Tax Area, Assessor Parcel and Account Numbers and additional information for each parcel.

Building Permit and Land Development Cases

List of cases (applications) from the EnerGov Land Management, Permitting and Licensing system. This list only includes cases wherein the above parcel is the main parcel on the case and does not include land use review applications prior to 2001, buildings permits prior to 1989, and code compliance cases. Case detail is available on the online Customer Self-Service portal.

[Customer Service Portal](#)

Construction Permits					
Date	Number	Address	Permit Type	Work Class	Description
02/04/2020	PLB2020-00088	907 11TH ST	Plumbing Permit	Plumbing Sub-Permit	Existing finished-basement remodel. Reconfiguring the layout/walls, installing a new slab/digging out the floor for additional head-height, relocating the bathroom and HVAC replacement.
02/04/2020	ELE2020-00154	907 11TH ST	Electrical Permit	Electrical Sub-Permit	Existing finished-basement remodel. Reconfiguring the layout/walls, installing a new slab/digging out the floor for additional head-height, relocating the bathroom and HVAC replacement.
02/04/2020	MEC2020-00208	907 11TH ST	Mechanical Permit	Mechanical Sub-Permit	Existing finished-basement remodel. Reconfiguring the layout/walls, installing a new slab/digging out the floor for additional head-height, relocating the bathroom and HVAC replacement.

02/04/2020	BLD-SFD2020-00050	907 11TH ST	Building Permit - Single Family Detached Dwelling	Remodel	Existing finished-basement remodel. Reconfiguring the layout/walls, installing a new slab/digging out the floor for additional head-height, relocating the bathroom and HVAC replacement.
10/03/2017	PMT2017-04266-RFG	907 11TH ST	Roofing Replacement Permit	Roofing Replacement Permit	Total tear off and reroof of existing single family dwelling. Tamko Heritage, 26 squares, 7/12 pitch. Class A roofing material required.
06/11/2015	PMT2015-02318-ROW	907 11TH ST	Right-of-Way Permit	Right-of-Way Permit	REPAIR GAS LEAK ON GAS SERVICE TAP. JOB #12208301
02/24/2005	PMT2005-00615-ELE	907 11TH ST	Electrical Permit	Electrical Permit	Kitchen remodel
03/05/2001	PMT2001-00759-FEN	907 11TH ST	Fence and Wall Permit	Fence and Wall Permit	Replace portion of existing fencel
01/26/1998	PMT1998-00506-FEN	907 11TH	Fence and Wall Permit	Fence and Wall Permit	Fence BUILD A 6 FT CEDAR FENCE & 30 INCH FENCE
07/18/1995	PMT1995-05370-RFG	907 11TH	Roofing Replacement Permit	Roofing Replacement Permit	Roofing REROOF WITH DIMENSIONAL SHINGLES

MEMORANDUM

TO: Board of Zoning Adjustment (BOZA)

FROM: Edward Stafford, P.E., PTOE, F.ASCE
Civil Engineering Senior Manager
Interim Building Services Manager/Chief Building Official

DATE: November 1, 2022

SUBJECT: 907 11th Street Fence Setback Variance Request

The purpose of this memorandum is to provide a letter of support from Planning & Development Services for the applicant's request for a variance to the Boulder Revised Code regulation regarding the setback distance between a property fence and the edge of sidewalk.

City Fence Regulation: Section 9-9-15(b)(1) of the Boulder Revised Code, 1981 states that no fence is to be placed nearer than eighteen inches to any public sidewalk.

Background: At some time, last year, the 907 11th Street property replaced its' existing property fence with a new fence. The new fence was constructed at the approximate same location of where the existing fence was located. The location of the existing fence was not in compliance with either the city's sight triangle standards or the city's fence standards. As such, the new fence wasn't in compliance with either the city's sight triangle standards or the city's fence standards. This resulted in a code violation complaint being received by Code Enforcement for the new property fence at 907 11th Street. In a series of conversations between the applicant and the City Attorney's Office it was agreed that the new fence would be reconstructed to meet the city's sight triangle regulations; however, the city would support a variance to the city's fence standards given that the location of the existing fence wasn't in compliance with the city's fence standards either.

finished living space by the previous owner. This was not disclosed at time of sale, nor identified as a concern upon property inspection or rental license inspection. This issue is preventing us from obtaining a permit for completion of necessary property improvements.



City of Boulder Planning and Development Services

PO Box 791 • Boulder, CO 80306

Phone: 303-441-1880 • Web: boulderplandevlop.net

Seeks a Porch Setback and Size Variance (BRC 9-7-4) to allow for construction of a compliant and protected proposed front entry.

BOARD OF ZONING ADJUSTMENT (BOZA) VARIANCE APPLICATION

**APPLICATION DEADLINE IS THE SECOND MONDAY OF EACH MONTH.
MEETING DATE IS 4:00 P.M. ON THE SECOND TUESDAY OF THE FOLLOWING MONTH.**

Submittal of inaccurate or incomplete information and materials may result in rejection of the application.

GENERAL DATA

(To be completed in full by the applicant.)

- Street Address or General Location of Property: 820 36th Street Boulder, CO
- Legal Description: Lot 7 Block 5 Subdivision BASELINE SECOND FILING (Or attach description.)
- Lot Size: +/-0.16 acres
- Existing Use of Property: Single Family Detached Dwelling
- Detailed Description of Proposal (Specific Variance[s] Requested Including All Pertinent Numerical Values (e.g.: Existing, Required and Proposed Setbacks for the Subject Setback Variance):

We are seeking a Parking in Front Yard Landscape Setback (BRC 9-7-1 & 9-9-6) as the original garage was converted into finished living space by the previous owner. This was not disclosed at time of sale, nor identified as a concern upon property inspection or rental license inspection. This issue is preventing us from obtaining a permit for completion of necessary property improvements.

We are simultaneously seeking a Setback Variance (BRC 9-7-1) for a front entryway addition to allow for construction of a compliant and protected front entry.

*Total floor area existing: +/- 1,275 S.F.	*Total floor area proposed: +/- 1,880 S.F.
*Total building coverage existing: +/- 1,275 S.F.	*Total building coverage proposed: +/- 1,880 S.F.
*Building height existing: +/- 14'-10" From Grade	*Building height proposed: +/- 14'-10" From Grade

*See definitions in Section 9-16-1, B.R.C. 1981.

- ◆ **Name of Owner:** Deshka Investments, LLC; Lisa Maurer, Registered Agent/Managing Member
- Address: PO Box 230261 Telephone: (907) 351-8138
- City: Anchorage State: AK Zip Code: 99523-0261 Email: lisamaurer@mac.com
- ◆ **Name of Contact (if other than owner):** Jesus Cordova
- Address: 1411 9th ave Telephone: (303) 946-0364
- City: Longmont State: CO Zip Code: 80501 Email: contact.jcarch@gmail.com

STAFF USE ONLY

Doc. No. _____ Date Filed _____ Zone _____ Hearing Date _____
Application received by: _____ Date Fee Paid _____ Sign(s) Provided _____

APPLICATION TYPES (Check All That Apply For This Application)

- ☒ Setback (BRC 9-7-1)
- ☐ Porch Setback & Size (BRC 9-7-4)
- ☐ Building Separation (BRC 9-7-1)
- ☐ Bulk Plane (BRC 9-7-9)
- ☐ Side Yard Wall Articulation (BRC 9-7-10)
- ☐ Building Coverage (BRC 9-7-11 or BRC 9-10)
- ☐ Floor Area Ratio (BRC 9-8-2)
- ☒ Parking in Front Yard Landscape Setback (BRC 9-7-1 & 9-9-6)
- ☐ Size and Parking Setback Requirements for Accessory Units (BRC 9-6-4)
- ☐ Cumulative Accessory Building Coverage (BRC 9-7-8)
- ☐ Mobile Home Spacing Variance (BRC 9-7-13)
- ☐ Use of Mobile Homes for Non-Residential Purposes (BRC 10-12-6)
- ☐ Solar Exception (BRC 9-9-17)
- ☐ Sign Variance (BRC 9-9-21)
- ☐ Fence and Wall Variance (BRC 9-9-15)

APPLICATION REQUIREMENTS

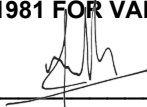
All variance applications are electronic submittal and review. Visit the Planning & Development Services Online Center for additional information & guidance on the application process and how to apply. As a minimum, the following items **MUST** ultimately be provided for an application to be considered complete:

- A completed and signed BOZA Application Form;
- If applicant is other than owner(s), a written consent of the owner(s) of the property for which the variance is requested;
- A detailed written statement thoroughly describing the variance request(s) and addressing all pertinent review criteria for approval - see following pages;
- A signed and stamped Improvement Location Certificate or Site Improvement Survey and legal description by a registered surveyor;
- A site development plan including setbacks, building elevations, interior layout/floor plans and any other pertinent exhibits;
- A demolition plan clearly differentiating between existing/remaining and proposed portions of the structure(s);
- Any other information pertinent to the variance request (e.g. neighbor letters, photos, historic records/approvals, renderings, etc.);
- Sign Posting Acknowledgement Form - *see following page*.

NOTE: The applicant is responsible for posting the property in compliance with city requirements. Obtaining sign(s) will be messaged to an applicant once it has been placed on an agenda. The applicant will be responsible for posting the required sign(s) within 10 days of the hearing date. Failure to post the required sign(s) may result in the postponement of the hearing date.

- A Board of Zoning Adjustment application fee (as prescribed in the current 'Schedule of Fees' which can be found at bouldercolorado.gov/plan-develop);

NOTE: SEE SECTION 9-2-3(I), B.R.C. 1981 FOR VARIANCE EXPIRATION INFORMATION

Applicant Signature  Date 10/10/2022

Owner (if other than Applicant) Signature  Date 10/7/22

SIGN POSTING REQUIREMENTS APPLICANT'S ACKNOWLEDGMENT FORM

Required for Certain Land Use Review, Administrative Review, Technical Document Review, and Board of
Zoning Adjustment Applications

CITY CODE REQUIREMENT FOR SIGN POSTING OF LAND USE REVIEW APPLICATIONS -

Excerpt of Section 9-4-3(c), B.R.C. 1981: Public Notice of Application: The city manager will provide the following public notice of a development review application:

(1) Posting: After receiving such application, the manager will cause the property for which the application is filed to be posted with a notice indicating that a development review application has been made, the type of review requested, and that interested persons may obtain more detailed information from the planning department. The notice shall meet the following standards:

- (A) The notice shall be placed on weatherproof signs that have been provided by the City and placed on the property that is the subject of the application.
- (B) All such notice shall be posted no later than ten days after the date the application is filed to ensure that notice is posted early in the development review process.
- (C) The signs shall be placed along each abutting street, perpendicular to the direction of travel, in a manner that makes them clearly visible to neighboring residents and passers-by. At least one sign shall be posted on each street frontage.
- (D) The signs shall remain in place during the period leading up to a decision by the approving authority, but not less than ten days.
- (E) On or before the date that the approving authority is scheduled to make a decision on the application the city manager will require the applicant to certify in writing that required notice was posted according to the requirements of this section.

I, Jesus Cordova, am filing a Land Use Review, Administrative Review, Technical
(PRINT NAME OF APPLICANT OR CONTACT PERSON)
Document Review, or BOZA application [on behalf of] Lisa E. Maurer, Deshka Investments, LLC for the property
(PRINT NAME OF OWNER(S) IF OTHER THAN APPLICANT/CONTACT)
located at 820 36th St., Boulder, CO 80303. I have read the city's sign posting requirements above and acknowledge
(PRINT PROPERTY ADDRESS OR LOCATION)

and agree to the following:

1. I understand that I must use the sign(s) that the city will provide to me at the time that I file my application. The sign(s) will include information about my application and property location to provide required public notice.
2. I am responsible for ensuring that the sign(s) is posted on the property described above in such a way that meets the requirements of Section 9-4-3(c), B.R.C. 1981 (listed above), including visibility of the sign(s) and time and duration of the sign(s) posting, and including reposting any signs that are removed, damaged, or otherwise displaced from the site. As necessary, I shall obtain a replacement sign(s) from the city for reposting.
3. I understand that certain future changes to my application, including but not limited to, changes to the project description or adding a review type, may require that I post a new sign(s). The city will notify me if such a reposting is required and provide me with a necessary replacement sign(s).
4. I understand that failing to provide the public notice by sign posting required by the city's land use regulation may result in a delay in the city's issuing a decision or a legal challenge of any issued decision.

Jesus Cordova

NAME OF APPLICANT OR CONTACT PERSON

10/10/2022

DATE

Please keep a copy of this signed form for your reference. If you have any questions about the sign posting requirements or to obtain a replacement sign, please call 303-441-1880.

10/8/22

Board of Zoning Adjustment
City of Boulder
Planning and Development Services
Boulder, CO 80306
via email submission with application

Re: Zoning Adjustment Variance Application for
820 36th St., Boulder, CO 80303

Zoning Application BOZ2022-00017
Pertaining to Permit BLD-SFD2022-00405

To Whom it May Concern:

As the owner of the above mentioned property, I would like to provide additional information regarding our application for a zoning variance for a) Parking in Front Yard Landscape Setback and b) Setback Variance for front entryway addition.

We purchased the property in October 2021, with the intention of providing housing for our son and two other University of Colorado students/teammates. The house was in need of substantial repairs, and we purchased it "as is," with a plan to address all concerns identified in the Real Estate Property Inspection (attached).

As the property was a rental property prior to our purchase, a Rental Inspection Compliance Verification had been completed. We ordered a Real Estate Property Inspection prior to our purchase, and subsequently, another Rental Inspection Compliance Verification, as we were to take on an existing tenant and lease according to the terms of the property transaction. In none of those inspections was the property identified as "lacking compliant parking" according to Boulder Revised Code. Nor was it disclosed that the attached single car garage was converted into living space without a permit, likely by the owner prior to the previous one.

The Real Estate Property Inspection completed in October 2021 did indicate settling and surface tripping hazards in the walkway and driveway, with poorly sloped concrete, and pulling away of the front and back porch. We planned to address these issues prior to occupancy of our own tenants.

As we "inherited" existing tenants with the purchase of the property, we were unable to take on completion of recommended repairs until the expiration of their lease in February 2022. Once the house was vacant, we began the complete repairs that could be done without a permit, and begin gathering information and proceeding with design plans necessary to apply for a building permit. Months of meetings and extensive design fees went into the planning for this project. It was our understanding that the professionals consulting on building design and application were familiar with all zoning requirements, and that the proposed addition would be designed to be in compliance. Due to COVID-19 limitations, there was reportedly limited capability of the Planning Department to do a preliminary review without submitting the permit application in entirety.

Our building permit application BLD-SFD2022-00405 was filed in August 2022, and received the following response:

- "The proposed plan has a couple of larger issues that need to be addressed and resolved prior to us considering it for permit review.
- The plan shows that the attached single car garage is going to be or already has been converted into living space. We have no permit history of this conversion. The Boulder Revised Code requires one off-street parking space that is located outside of the landscaped setback adjacent to a street, for a single family detached dwelling. In this case, with a 25' front yard landscaped

setback, the single car attached garage is/was considered the required off-street parking space. The plan will either need to be redesigned to re-establish compliant parking in the garage or another parking spot will need to be established according to code on the site.

- The new proposed enclosed entry addition encroaches into the the 25' front yard setback for the principal structure. This encroachment for 20% of the required setback will require a setback variance. It also appears that the rear addition will be pushing up against the required 25' rear yard setback, so the plans should be clear that the additions will be within the required setbacks, provided in a site plan for the proposed construction as part of the plan set."

Upon further clarification between our architect and the Planning Department, it was recommended that we apply for a zoning variance to address the concerns identified.

It is our hope to obtain a setback variance for both the parking and front entry issues, so that we can either 1) proceed with our plans to build an addition, or 2) complete repairs needed for safety and access, as well as verify the current legal standing of the home so as not to affect future resale value.

The home is a typical brick veneer home built in the late 50's, and similar or identical to the majority of homes in the neighborhood. The home is quite small, with 1 bathroom, 3 small bedrooms, and a living room occupying the previously converted garage. To date, we have cleaned up the property, completed interior repairs to make it more habitable, landscaped the yard, and repaired the existing driveway. Our goal for the addition is to provide an additional bathroom, as well as another bedroom. (The smallest of the current 3 bedrooms is too small to function as a bedroom.) Our goal for the new front entryway is to provide for a covered entry, which is properly secured to the foundation of the home, appropriately accessible without hazards, and provides a dry space prior to entering the existing living space. Both the garage conversion and front entry addition are improvements that are typical and commonplace throughout the subdivision.

It is our hope that, at a minimum, the Board will consider granting a **Variance to the requirements of BRC Section 9-9-6, "Parking Standards,"** to allow a required parking space to be located within the front yard setback. Adequate parking has been provided in the driveway in front of the prior garage space. This driveway has been recently improved by us, the present owners, replacing damaged and unlevel concrete, as well as correcting the slope required for drainage. This driveway provides adequate parking for two small vehicles, without encroaching on the sidewalk or public right of way. The work was completed by licensed and bonded contractors. It is similar to many driveways of neighboring homes in the area, who also have a similar parking in front of an enclosed garage space. It is noted that there is no other accessible location on the property for additional off-street parking, due to the proximity of the dwelling to side yard setbacks and property lines.

Our property satisfies the following requirements of BRC 9-2-3:

1. The dwelling unit was built in a RL-1 zoning district.
2. The home originally had an attached carport or garage that met the off-street parking requirements at the time of initial development, and an off-street parking space was not required.
3. The garage was converted to finished living space at an undetermined time prior to the past two owners' occupation.
4. We, the current property owners, were not responsible for the conversion of the parking space to living area.
5. A parking space in compliance with the parking regulations of Section 9-9-6 cannot reasonably be provided anywhere on the site due to the location of existing buildings;
6. Restoring the original garage to a parking space would result in a significant economic hardship when comparing the cost of restoration to the cost of other proposed improvements on the site; it would also negatively impact the lives of the current tenants.
7. The current parking located within the front yard setback space is paved, and complies with Section 9-9-5, "Site Access Control," in that it is not be less than 9 feet in width or more than 16 feet in width, and is not less than 19 feet in length. It does not encroach into a public right of way or obstruct a public sidewalk.

We are also asking the Board to consider granting a **Setback Variance** for the front entryway. As stated previously, it is our desire to construct a covered, protected, and safely accessible front entry. The front door is the main entrance to the home, with minimal roof overhang to protect the doorway, or the inhabitant, from the elements. This results in accumulation of water or melting snow, and associated slipping hazards, immediately upon entrance to the living room. The porch slab is cracked and separating from the foundation of the home, is improperly sloped, and is accessed via a cracked and uneven walkway, presenting tripping hazards upon approaching the home. The construction of a front entry addition would provide for safe access, as well as a dry space for removal and storage of shoes and outerwear, without creating a slipping hazard immediately upon entry.

We offer the following responses to referenced BRC criteria:

Section 9-2-3 (h) Section 1:

- A. There are unusual physical circumstances that affect safe access to the property, including cracked and uneven sidewalk and slab, which must be replaced. The shallowness of the lot seems to have prevented construction of the roofline to provide adequate protection of the entry to the home. The proposed addition would address both the sidewalk and slab issue, and the minimum size covered entry access would protrude 5 ft into the setback.
- B. These unusual physical circumstances do not exist throughout the neighborhood, or have been addressed by other means (such construction of a porch overhang prior to code establishment or revision, or perhaps without permitting or setback consideration). Most of the neighboring homes of similar or identical style have built a covered walkway, porch, or overhang, and have sidewalks or walkways without cracks and heaving.
- C. The established front yard setback makes construction of any type of covered front entry unfeasible. The cost of a conforming small roofline extension would be cost prohibitive and offer little benefit or protection.

Section 9-2-3 (h) Section 5:

- A. The construction of a front entry addition would not alter the character of the neighborhood. This house is identical in construction and layout to many others in the neighborhood, yet many other similar homes have constructed covered entryways or patios. The attached design is aesthetically appealing, and would not negatively impact the design and appearance of the recently landscaped front yard.
- B. Our proposed entry way addition would not impair or impact the enjoyment or development of adjacent properties.
- C. The requested variance is the minimal variance that would allow construction of a protected front entry, and would be the least modification of the applicable provisions. It would only extend 5 ft into the current setback.
- D. The requested variance would not conflict with the provisions of section 9-9-17 "Solar Access," in that it would not interfere with solar access of other lots, would be compatible with the existing roof, and would not detract materially from the character of the home. Construction of the addition would not reduce the solar potential of the property, or of neighboring properties.

In summary, approval of the Parking in Front Yard Landscape Setback and Setback Variance for front entry addition would not alter the essential character of the neighborhood, or affect adjacent properties. As stated previously, many of the homes in the neighborhood are of a similar floor plan, and have had similar garage conversions with parking in front of the previous garage space, as well as entries or porches that have been either enclosed or covered. Our proposed project in no way detracts from the aesthetics of the property or the neighborhood, and in fact, improves the aesthetic and property value. This is the minimum variance requested that would allow the home to either be compliant as currently constructed, or ideally, to allow for designated improvements to be completed.

It is our hope that the board will, at a minimum, grant the zoning variance to the current structure, so that it will not detract from the value of the home should we decide to sell. While the previous sellers did not disclose the issue, we would now be required to disclose the lack of compliance of the prior renovations.

Beyond that, we hope that the variance will be granted so that we can proceed with the plans for improvement, which was our intention since the property was initially purchased. At the time of closing, both the seller's and buyer's agents were aware of our plans for improvements to the property. The various inspections did not indicate any concerns with respect to violation of zoning requirements. Now, nearly a year later, we continue to be vested in the project, having spent significant funds on design fees.

Our ultimate goal is to provide affordable, accessible, and aesthetically pleasing housing for CU students and small families seeking an affordable rental within the city of Boulder. With minimal improvements, the home could have modern amenities that are lacking in many of the homes built around this era.

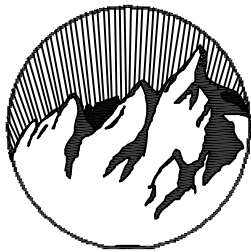
Thank you for your consideration of our request.
Sincerely,

Lisa Maurer

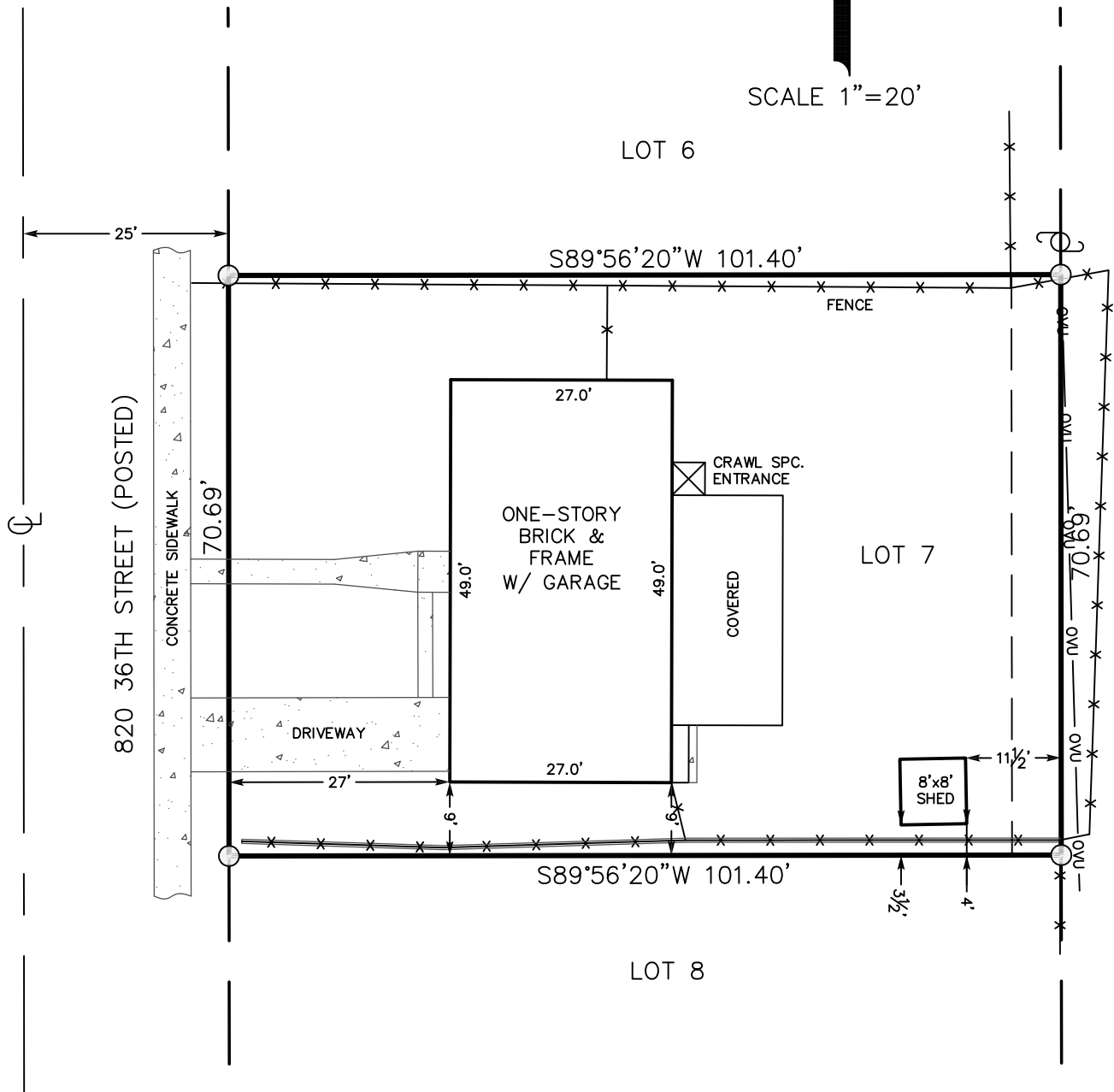
Managing Member, Registered Agent, Deshka Investments LLC
lisamaurer@mac.com
(907) 351-8138

LEGAL DESCRIPTION
(PROVIDED BY THE CLIENT)
DEED RECORDED ON 12/18/2020 AT
REC. NO. 3843145

LOT 7,
BLOCK 5,
BASELINE SUBDIVISION, (SECOND FILING),
COUNTY OF BOULDER,
STATE OF COLORADO.

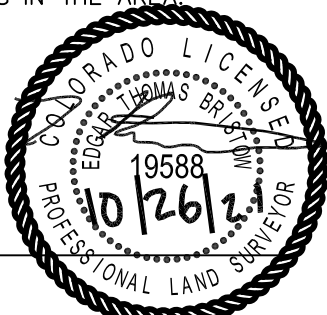


Flatirons, Inc.
Land Surveying Services
3825 IRIS AVE, Ste 395
BOULDER, CO 80301
PH: (303) 443-7001
FAX: (303) 443-9830
www.FlatironsInc.com



- Notes:
- 1-THESE CERTIFICATE DOES NOT CONSTITUTE A TITLE SEARCH BY FLATIRONS, INC. TO DETERMINE OWNERSHIP, RIGHTS OF WAY, EASEMENTS OR ENCUMBRANCES NOT SHOWN BY THE PLAT THAT MAY AFFECT THIS TRACT OF LAND. THERE MAY BE EASEMENTS OR RIGHTS OF WAY OF THE PUBLIC RECORD THAT MAY AFFECT THIS TRACT OF LAND THAT ARE NOT SHOWN ON THIS CERTIFICATE.
 - 2-AN IMPROVEMENT SURVEY PLAT IS RECOMMENDED TO DEPICT MORE PRECISELY THE LOCATION OF THE IMPROVEMENTS SHOWN HEREON.
 - 3-THESE CERTIFICATE IS BASED UPON PLATTED RIGHTS OF WAY AND OCCUPATION LINES IN THE AREA.
 - 4-FENCES ARE NOT COINCIDENT WITH THE LOT LINES AS SHOWN HEREON.

Edgar T. Bristow



Edgar T. Bristow, Colorado L.S. #19588

IMPROVEMENT LOCATION CERTIFICATE

I hereby certify that this improvement location certificate was prepared for DESHKA INVESTMENTS, LLC, that it is not a Land Survey Plat or Improvement Survey Plat, and that it is not to be relied upon for the establishment of fence, building or other future improvement lines. This certificate is valid only for use by DESHKA INVESTMENTS, LLC and describes the parcel's appearance on OCTOBER 22, 2021. I further certify that the improvements on the above described parcel on this date, OCTOBER 22, 2021, except utility connections, are entirely within the boundaries of the parcel, except as shown, that there are no encroachments upon the described premises by improvements on any adjoining premises, except as indicated, and that there is no apparent evidence or sign of any easement crossing or burdening any part of said parcel, except as noted.

NOTICE: This Improvement Location Certificate is prepared for the sole purpose of use by the parties stated hereon. the use of this Improvement Location Certificate by any person or entity other than the person or entity certified to without the express permission of Flatirons, Inc. is prohibited. This certificate is only valid for 90 days from the signature date. It is not a Land Survey Plat as defined by C.R.S 38-51-102(12) or an Improvement Survey Plat as defined by C.R.S 38-51-102(9). It does not establish property corners. A more precise relationship of the improvements to the boundary lines can be determined by a Land Survey or Improvement Survey. The improvements are generally situated as shown and only apparent (visible at the time of fieldwork) improvements and encroachments are noted. Flatirons, Inc. and EDGAR T. BRISTOW will not be liable for more than the cost of this Improvement Location Certificate, and then only to the parties specifically shown hereon. Acceptance and/or use of this Improvement Location Certificate for any purpose constitutes acknowledgment and agreement to all terms stated hereon.

Flatirons No. 21-77517
Drawn By: W. BECKETT

Title Co. No.

Borrower:
COPYRIGHT 2021 FLATIRONS, INC.

KEY:

NOTES:

OCTOBER 27 2022

SHEET/NO.

A0.2

SHEET/ TITLE
SITE PLAN

REVISIONS

NO.	DATE	DESCRIPTION

MAURER ADDITION
820 36th Street
Boulder, CO 80303

PROJECT STATUS:
PERMIT SET.

DATE:
10/27/2022 7:40:48 PM

DESIGNED BY:
JESUS

DRAWN BY:
SOFIA

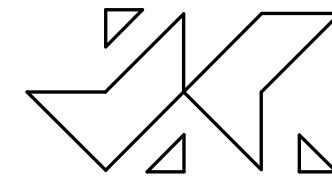
DIMENSION:
SQUARE FEET

LOCATION:
820 36th Street
Boulder, CO 80303

CLIENT:
LISA MAURER

VERIFY ALL DIMENSIONS PRIOR TO
START OF WORK. DO NOT SCALE
DRAWINGS. IMMEDIATELY NOTIFY
DESIGNER ON ANY
DISCREPANCIES OR DEVIATIONS
FROM THE DRAWINGS. LARGE
SCALE DRAWINGS TAKE
PRECEDENCE OVER SMALL SCALE
DRAWINGS. INSTALL ALL
MATERIALS AND EQUIP. PER
MANUFACTURERS DIRECTION. ALL
WORK TO COMPLY WITH ALL
APPLICABLE CODES.

@JCCHD



CREATIVE HOME DESIGN

LAND USE SUMMARY

LEGAL DESCRIPTION: LOT 7 BLK 5 BASELINE 2
PARCEL NUMBER: 146332420007
LOT SIZE: 0.17 ACRES = 7,168 S.F. +/-
ZONING: RL-1
USE: SINGLE FAMILY RESIDENCE

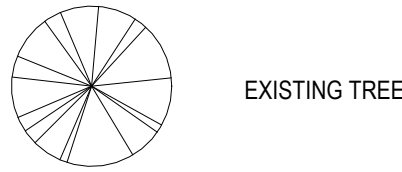
EXISTING SQUARE-FOOTAGE

(E) HOUSE FOOTPRINT: 1,275.00 SF

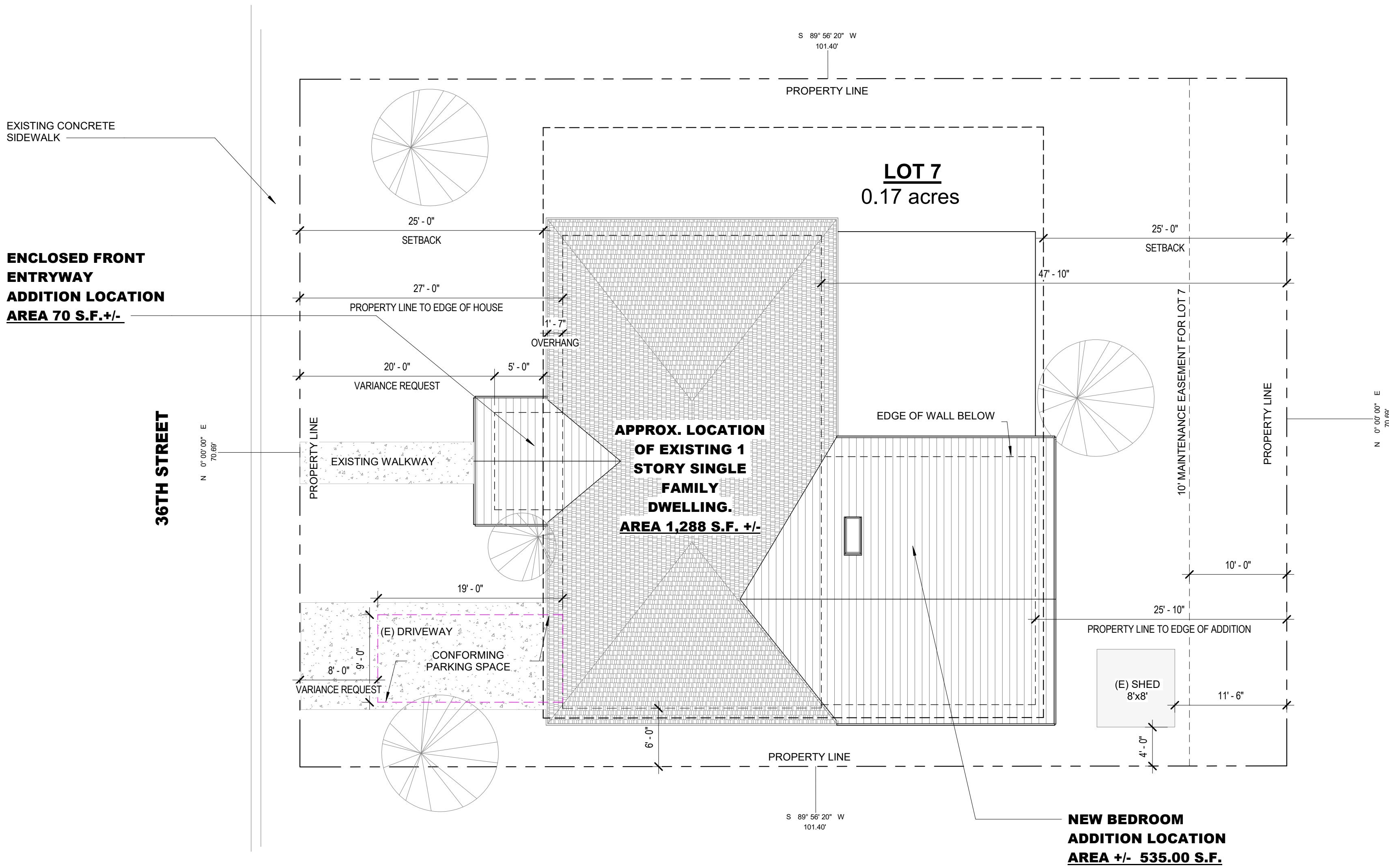
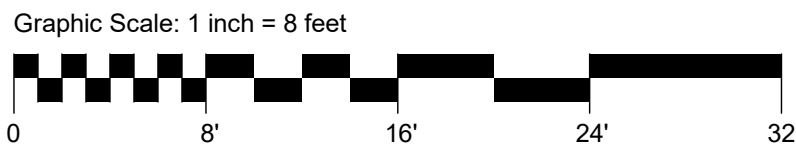
PROPOSED SQUARE-FOOTAGE

FOOTPRINT OF NEW PORCH: 70.00 SF
FOOTPRINT OF NEW BEDROOM: 535.00 SF
TOTAL: 605.00 SF

LANDSCAPE LEGEND



EXISTING TREE



1 SITE PLAN
1/8" = 1'-0"

MAURER ADDITION

820 36TH STREET
BOULDER, CO 80303



SHEET INDEX	
SHEET NO.	SHEET NAME
0.0	COVER SHEET
ARCHITECTURAL	
A0.1	DATA
A0.2	SITE PLAN
A1.0	AS-BUILT/DEMO PLANS
A1.1	FOUNDATION PLAN
A1.2	FLOOR PLANS
A1.3	ROOF PLAN
A2.0	ELEVATIONS
A2.1	ELEVATIONS
A3.0	BUILDING SECTIONS
A3.1	BUILDING SECTIONS
A4.0	THERMAL ENVELOPE
A5.0	DETAILS
A5.1	DETAILS 2
A5.2	DETAILS 3
E1.0	ELECTRICAL PLANS
STRUCTURAL	
S001	STRUCTURAL NOTES
S002	FOUNDATION PLAN
S003	1ST FLOOR FRAMING PLAN
S004	ROOF FRAMING PLAN
S005	TYPICAL DETAILS 1
S006	TYPICAL DETAILS 2

AREA SCHEDULE - BY LEVEL			
TYPE	LEVEL	AREA	
(E) HOUSE FOOTPRINT	T.O. SUBFLR 1	1275 SF	
MASTER BEDROOM ADDITION	T.O. SUBFLR 1	535 SF	
NEW COVERED PORCH	T.O. SUBFLR 1	70 SF	
3		1880 SF	
Grand total: 3		1880 SF	

LAND USE SUMMARY

LEGAL DESCRIPTION:	LOT 7 BLK 5 BASELINE 2
PARCEL NUMBER:	146332420007
LOT SIZE:	0.16 ACRES
ZONING:	RESIDENTIAL
USE:	SINGLE FAMILY RESIDENCE



VICINITY PLAN

SCALE: 1/16" = 1'-0"

DESIGNER:
JC CREATIVE HOME DESIGN

CONTACT: JESUS M.CORDOVA
(303) 946-0364
CONTACT: JCARCH@GMAIL.COM

STRUCTURAL ENGINEER:
SYNERGY ENGINEERING

524 WYOMING CIRCLE GOLDEN, CO 80403
CONTACT: ADAM J. SNIFF, P.E.
(720)-295-1174
AJSNIFF@SYNERGYSERVICES.COM

GENERAL CONTRACTOR:
DAVINCI CONSTRUCTION & DESIGN

1976 AMETHYST DR
LONGMONT CO 80504
(303) 947-6028
CONTACT: SHAWN D. SNYDER
SHAWN.D.SNYDER@GMAIL.COM

HOME OWNER:

820 36TH STREET
BOULDER, CO 80303
CONTACT: LISA MAURER
LISAMAURER@MAC.COM

GENERAL NOTES

1. THE TERM "OWNER" SHALL DENOTE THE CLIENT, OR OWNER, AS DESIGNATED IN THE CONTRACT. THE TERM "GENERAL CONTRACTOR" OR "CONTRACTOR" SHALL DENOTE THE CORPORATION, COMPANY, PARTNERSHIP, FORM OR INDIVIDUAL WHO HAS ENTERED INTO THE CONTRACT FOR THE PERFORMANCE OF THE WORK AND HAS ENGAGED SUBCONTRACTORS TO PERFORM A PART OF THE WORK. THE TERM "DESIGNER" REFERS TO "JC CREATIVE HOME DESIGN".

2. THE USE OF THE WORDS "PROVIDE" AND "PROVIDED" IN CONNECTION WITH ANY ITEM SPECIFIED SHALL BE INTENDED TO MEAN THAT THE ITEM SHALL BE FURNISHED, INSTALLED AND CONNECTED WHERE SO REQUIRED.

3. ALL DIMENSIONS ARE TAKEN TO FACE OF STUD, GRID CENTERLINES, OR FACE OF MASONRY UNLESS OTHERWISE NOTED.

4. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE.

5. THE DRAWINGS AND SPECIFICATIONS ARE SUPPLIED TO ILLUSTRATE THE DESIGN INTENT AND THE GENERAL TYPE OF CONSTRUCTION REQUIRED. THEY ARE INTENDED TO IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL AND WORKMANSHIP.

6. DRAWINGS AND GENERAL NOTES ARE COMPLEMENTARY, AND WHAT IS CALLED FOR BY ONE WILL BE BINDING AS IF CALLED FOR BY ALL. WORK SHOWN OR REFERRED TO ON ANY DRAWING SHALL BE COMPLETED AS THOUGH SHOWN ON ALL RELATED DRAWINGS.

7. ALL WORK PERFORMED AND MATERIAL INSTALLED SHALL BE, AS A MINIMUM STANDARD, IN STRICT CONFORMANCE WITH THE LATEST EDITIONS OF ALL GENERAL CODES, REGULATIONS AND ORDINANCES INCLUDING THE BUILDING CODE. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY HAVING JURISDICTION OVER THE PERFORMANCE OF THE WORK.

8. CONTRACTOR IS RESPONSIBLE FOR ALL WORK SHOWN, NOTED, SPECIFIED, OR REASONABLY INFERRED FROM THE CONSTRUCTION DOCUMENTS.

9. THE GENERAL CONTRACTOR UPON ACCEPTANCE OF THE DRAWINGS AND SPECIFICATIONS ASSUMES FULL RESPONSIBILITY FOR THE CONSTRUCTION, MATERIALS AND WORKMANSHIP OF THE WORK, AND SHALL COMPLY WITH THE SPIRIT AS WELL AS THE LETTER OF THAT WHICH IS CONTAINED THEREIN.

10. THE SCOPE OF WORK DESCRIBED BY THE CONTRACT DOCUMENTS IMPLIES A COMPLETED PROJECT. MINOR OMISSIONS FROM AND DISCREPANCIES IN THE DRAWINGS AND SPECIFICATIONS SHALL NOT VOID SUCH INTENTION. THE CONTRACTOR SHALL INFORM THE DESIGNER IN WRITING OF ANY CONFLICTS, OMISSIONS AND DISCREPANCIES PRIOR TO CONSTRUCTION.

11. THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. HE SHALL COORDINATE ALL PORTIONS OF THE WORK UNDER THE CONTRACT.

12. THE GENERAL CONTRACTOR SHALL PERFORM HIGH-QUALITY PROFESSIONAL WORK. MATERIALS SHALL BE JOINED TO UNIFORM, ACCURATE FITS SO THAT THEY MEET IN NEAT, STRAIGHT LINES FREE OF SMEARS OR OVERLAPS. EXPOSED MATERIALS SHALL BE INSTALLED APPROPRIATELY LEVEL, PLUMB AND AT ACCURATE RIGHT ANGLES TO OR FLUSH WITH ADJACENT MATERIALS. THE WORK OF EACH TRADE SHALL MEET ALL NATIONAL STANDARDS PUBLISHED BY THE TRADE, EXCEPT WHERE THE REQUIREMENTS OF THE CONTACT DOCUMENT ARE MORE STRINGENT.

13. THE PRESENCE OF A DESIGNER REPRESENTATIVE ON THE JOBSITE DOES NOT IMPLY CONCURRENCE OF APPROVAL OF THE WORK. THE CONTRACTOR SHALL CALL TO THE ATTENTION OF THE DESIGNER SPECIFIC ITEMS FOR WHICH HE DESIRES TO OBTAIN APPROVAL.

14. THE GENERAL CONTRACTOR SHALL CORRECT DEFECTS IN MATERIAL AND WORKMANSHIP NOTED BY THE DESIGNER DURING PERIODIC SITE OBSERVATIONS AND AT PROJECT CLOSE-OUT.

15. THE GENERAL CONTRACTOR SHALL TURN THE PROJECT OVER TO THE OWNER FREE FROM ALL CONSTRUCTION DEBRIS, SCRAPS, MATERIALS AND EQUIPMENT; WITH ALL INTERIOR GLASS FREE FROM MANUFACTURER'S LABELS AND TAPE AND CLEAN ON BOTH SIDES; WITH ALL DOORS AND BUILT-IN MILLWORK WIPED DOWN AND FREE OF DIRT, GREASE AND OTHER FOREIGN MATERIAL.

INSULATION REQUIREMENTS

2020 CITY OF BOULDER ENERGY CONSERVATION CODE BASED ON 2018 INTERNATIONAL ENERGY CONSERVATION CODE CLIMATE ZONE 5

WINDOW U-VALUE	= 0.27
SKYLIGHT U-VALUE	= 0.5
CEILING R-VALUE	= 49
WALL R-FACTOR	= 20 or 13+5h
FLOOR R-FACTOR	= 30g
BASEMENT WALLS R-FACTOR	= 15/19
CONCRETE SLAB	= R-10 ft DEEP AT PERIMETER
CRAWL SPACE WALL R-FACTOR	= 15/19

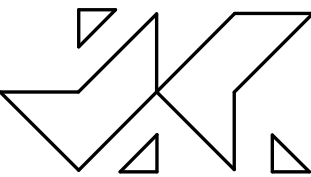
BUILDING CODES

CITY OF BOULDER, COLORADO
2018 INTERNATIONAL RESIDENTIAL BUILDING CODE IRC
2018 INTERNATIONAL ENERGY CONSERVATION CODE

BOULDER REVISED CODE
2020 NATIONAL ELECTRICAL CODE
2020 CITY OF BOULDER ENERGY CONSERVATION CODE

PROJECT NARRATIVE

LISA MAURER IS THE OWNER OF THE EXISTING SINGLE FAMILY RESIDENCE LOCATED AT 820 36TH STREET, BOULDER STATE OF COLORADO. THE OWNER IS PROPOSING TO BUILD A 70.00 SF FRONT PORCH ADDITION AND A 541.00 FT ADDITION WITH A NEW MASTER BEDROOM WITH BATHROOM AND A WALKING CLOSET. THE EXISTING AREAS IN THE HOUSE WILL NOT BE CHANGED.



CREATIVE HOME DESIGN

@JCARCHITECTS

VERIFY ALL DIMENSIONS PRIOR TO START OF WORK. DO NOT SCALE DRAWINGS. IMMEDIATELY NOTIFY DESIGNER ON ANY DISCREPANCIES OR DEVIATIONS FROM THE DRAWINGS. LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS. INSTALL ALL MATERIALS AND EQUIP. PER MANUFACTURERS DIRECTION. ALL WORK TO COMPLY WITH ALL APPLICABLE CODES.

CLIENT:

LISA MAURER

LOCATION:

820 36th Street
Boulder, CO 80303

PROJECT STATUS:

CONSTRUCTION DOC.

DATE:

8/21/2022 2:33:52 PM

DESIGNED BY:

JESUS

DRAWN BY:

SOFIA

DIMENSION:

SQUARE FEET

MAURER ADDITION
820 36th Street
Boulder, CO 80303

REVISIONS	DESCRIPTION	
	NO.	DATE

SHEET/ TITLE:
COVER SHEET

SHEET/NO.

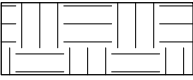

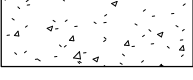
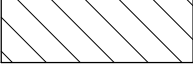


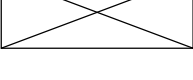
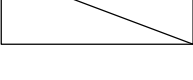
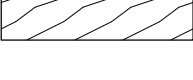
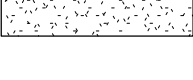
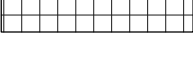

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JULY 30 2022

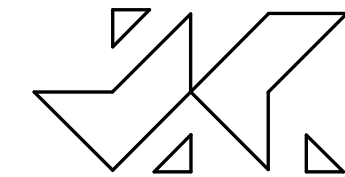
KEY:

NOTES:

2018 IRC - CODE SUMMARY
ALL CONSTRUCTION DETAILS TO COMPLY WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE AND ANY APPLICABLE LOCAL AMENDMENTS.
ROOF: -WHERE ICE MAY FORM ALONG THE EAVES CAUSING A BACKUP OF WATER, AN ICE BARRIER SHALL BE INSTALLED PER IRC 905.1.2
DOORWAYS: -PROVIDE A FLOOR LANDING ON EACH SIDE OF REQUIRED EXTERIOR EXIT DOORS, THE WIDTH NOT LESS THAN THE DOOR SERVED, LENGTH IS 36-INCHES MINIMUM, LANDING ON THE EXTERIOR SIDE MAY NOT EXCEED 7-3/4 INCHES BELOW TOP OF THRESHOLD (DOOR MAY NOT SWING OVER LANDING) (R311.3 & R311.3.1) -A TOP LANDING NOT EXCEEDING 7-3/4 INCHES BELOW TOP OF THRESHOLD IS NOT REQUIRED WHERE A STAIRWAY OF NOT MORE THAN TWO RISERS IS LOCATED ON THE EXTERIOR SIDE OF A DOOR OTHER THAN THE REQUIRED EXIT DOOR (DOOR MAY NOT SWING OVER LANDING). (R311.3.2) -EGRESS DOORS SHALL BE READILY OPERABLE (FROM EGRESS SIDE) WITHOUT USING A KEY OR SPECIAL KNOWLEDGE OR EFFORT. (R311.2)
GENERAL ACCESS: -PROVIDE A CONTINUOUS PATHWAY 36" FINISHED WIDTH TO ALL AREAS OF THE HOME. DOOR OPENINGS EXCLUDED.
WINDOWS: -PROVIDE TEMPERED GLASS WITHIN WINDOW AND DOOR OPENINGS WHERE REQUIRED BY CODE. (R308.4.5) -GLAZING IN A HAZARDOUS LOCATION (NEAR SPA, BATHTUB OR SIMILAR AREA WHERE THE BOTTOM EDGE OF GLAZING IS LESS THAN 60-INCHES ABOVE A STANDING SURFACE OR FROM WATER'S EDGE) IS REQUIRED TO BE GLAZED WITH SAFETY MATERIAL. (R308.4.5) -GLAZING ADJACENT TO DOORS WHERE BOTTOM EDGE OF GLAZING IS LESS THAN 60" ABOVE THE FLOOR, CLOSER THAN 2', ON A WALL LESS THAN 180 DEGREES FROM THE PLANE OF DOOR IN CLOSED POSITION & WITHIN 2'OF HINGE SIDE OF AN IN-SWING DOOR SHALL BE TEMPERED. (R308.4.2) -HABITABLE ROOMS SHALL HAVE AN AGGREGATE WINDOW AREA OF NOT LESS 8 PERCENT OF THE ROOMS FLOOR AREA. -4 PERCENT OF THE ROOMS FLOOR AREA SHALL BE PROVIDED AS OPERABLE WINDOWS TO PROVIDE NATURAL VENTILATION. -PROVIDE ARTIFICIAL LIGHT AND VENTILATION FOR AREAS WITHOUT NATURAL LIGHT AND VENTILATION REQUIRED BY R303.1, EXCEPTION 1 AND 2. -WINDOW SILLS TO BE 24" ABOVE THE FLOOR, TYP.
MECHANICAL / PLUMBING: -PROVIDE DUCTLESS MINI-SPLIT SYSTEM, THE ENERGY FEATURES TO MEET CODE COMPLIANCE -PROVIDE SUPPLY AND RETURN AIR TO ALL HABITABLE ROOMS. (R303.10) -HEATED WATER CIRCULATION SYSTEMS SHALL BE PROVIDED WITH A CIRCULATION PUMP. THE HOT WATER PIPING MUST BE INSULATED WITH R-3 INSULATION WHERE THE PIPING IS 3/4-INCH DIAMETER OR LARGER. (N1103.5) -AGGREGATE AREA OF EXPOSED CEILING JOISTS WITHIN THE MECHANICAL ROOM NOT TO EXCEED 80 S.F. PER R302.13. -DRYWALL PENETRATIONS FOR DUCTING, VENTING, ELECTRICAL ARE ACCEPTABLE.
ELECTRICAL: -A SMOKE ALARM IS REQUIRED ON EACH STORY INCLUDING ANY BASEMENT LEVEL, MUST BE INTERCONNECTED SUCH THAT ACTUATION OF ONE WILL ACTUATE ALL SMOKE ALARMS, THEY ARE REQUIRED TO BE WIRED TO THE PRIMARY POWER SOURCE AND HAVE BATTERY BACKUP. (R314.3 & R314.4) -CARBON MONOXIDE (CO) ALARMS ARE REQUIRED ON EACH STORY INCLUDING ANY BASEMENT LEVEL, MUST BE INTERCONNECTED SO THAT ACTUATION OF ONE WILL ACTUATE ALL CO ALARMS, THEY ARE REQUIRED TO BE WIRED TO THE PRIMARY POWER SOURCE AND HAVE BATTERY BACKUP. (R315.3 AND R315.5) -PROVIDE ELECTRICAL RECEPTACLES WITHIN HABITABLE ROOMS SO THAN NO POINT ALONG WALLS IS MORE THAN 6 FEET FROM AN OUTLET. (NEC 210.50 (A)(1)) -PROVIDE AT LEAST ONE GFCI PROTECTED ELECTRICAL WALL RECEPTACLE WITHIN 36 INCHES OF THE OUTSIDE EDGE OF EACH LAVATORY BASIN. (NEC 210.50 (D) AND 210.8 (A)(1)) -PROVIDE A GFCI PROTECTED ELECTRICAL RECEPTACLE AT THE FRONT AND BACK OF THE DWELLING. (NEC 210.50 (E)(1), NEC 210.50 (E)(3) AND 210.8 (A)(3))
INSULATION: -INSULATION SHALL BE INSTALLED IN ACCORDANCE WITH THE APPLICABLE ENERGY CONSERVATION CODE AND ANY LOCAL AMENDMENTS. -INSULATION NOT IN CONCEALED SPACES WITH FACING IN CONTACT WITH WALL OR CEILING SHALL HAVE A FLAME SPREAD OF 25 OR LESS AND A SMOKE DEVELOPED RATING OF 450 OR LESS. (R302.10.1) -INSULATION APPLIED TO THE EXTERIOR FOUNDATION WALLS SHALL HAVE A RIGID, OPAQUE AND WEATHER-RESISTANT PROTECTIVE COVERING TO PREVENT DEGRADATION OF THE INSULATION THERMAL PERFORMANCE EXTENDING A MINIMUM OF 6" BELOW GRADE. (N 1101.11.1) -VENTILATE ABOVE FIBERGLASS ATTIC INSULATION OR APPLY R-20 MINIMUM SPRAY FOAM AT THE UNDERSIDE OF ROOF DECK ABOVE FIBERGLASS INSULATION. (R806.5 & TABLE R806.5)
CRAWLSPACE: CRAWLSPACE VENTING: -PROVIDE VENTED CRAWLSPACES WITH VAPOR BARRIER PER 2018 IRC SECTION R408.3 -PROVIDE MIN. 18" X 24" ACCESS TO ALL CRAWLSPACE AREAS PER 2018 IRC SECTION 408.4. RECOMMENDED TO PROVIDE 22" X 30" OR LARGER.
ATTIC ACCESS: -PROVIDE 22" X 30" ATTIC ACCESS WITHIN UPPER FLOOR WALK IN CLOSET OR OTHER ACCESSIBLE AREA PER IRC 807.1. VERIFY 30" OF VERTICAL CLEARANCE IS PROVIDED AT ACCESS HATCH LOCATION. -INSULATE ACCESS HATCHES WHEN PROVIDING ACCESS FROM CONDITIONED SPACE TO NON CONDITIONED SPACE.

CONSTRUCTION TYPES	
PLAN AND SECTION	
	EARTH, UNDISTURBED
	GRAVEL
	CONCRETE, CAST IN PLACE, PRECAST
	BRICK
	CONCRETE MASONRY UNIT (CMU)
	STONE
	WOOD (ROUGH)
	WOOD (ROUGH) BLOCKING OR SHIM
	WOOD (FINISH)
	SAND, PLASTER, MORTAR, GROUT
	RIGID INSULATION
	BATT, LOOSE-FILL INSULATION

ABBREVIATIONS		ABBREVIATIONS		ABBREVIATIONS	
# & ANGLE AT	POUND(S) or NUMBER	FRP FT. FTG FURR	FIBERGLASS REINFORCED PANEL(ING) FEET FOOTING FURRING	R.L. R.O. R.O.D. R.W.C. RAD. RE. REC REFR REINF REV RFG RFL RM.	RAIN LEADER ROUGH OPENING ROOF OVERFLOW DRAIN RAIN WATER CONDUCTOR RADIUS REFER TO or REFERENCE RECESS(ED) REFRIGERATOR or REFRIGERATED REINFORCED REQUIRED REVISE, REVISED or REVISION ROOFING REFLECTED ROOM
A/C AB ABV AC ACT ADD ADJ AFF AG AHU ALT APSH APX ARCH ASI AUTO	AIR CONDITIONING ANCHOR BOLT ABOVE ACCOUSTICAL ACCOUSTICAL CEILING TILE ADDENDUM ADJACENT or ADJUSTABLE ABOVE FINISHED FLOOR AGGREGATE AIR HANDLING UNIT ALTERNATE ASPHALT APPROXIMATE(LY) ARCHITECTURAL ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS AUTOMATIC	G.B. GA GALV GCMU GD. GL. GND GWB GYP. GYP. BD.	GRAB BAR GAUGE GLAVANIZED GLAZED CONCRETE MASONRY UNIT(S) GRADE GLASS or GLAZING GROUND GYPSUM WALLBOARD GYPSUM GYPSUM BOARD	S. S.C. S.C.D. S.D. S.N.C. S.N.D. S.N.R. S.R. SCHED SEC SF SH. SHR SHT SHTG SIM SPEC SQ. SKK SST STA STD STL STO STR SUSP SYM SYS	SOUTH SOLID CORE SEAT COVER DISPENSER SOAP DISPENSER SANITARY NAPKIN CABINET SANITARY NAPKIN DISPENSER SANITARY NAPKIN RECEPTACLE SINK RECEPTACLE SCHEDULE SECTION SQUARE FEET SHELF SHOWER SHEET SHEATHING SIMILAR SPECIFICATION(S) SQUARE SERVICE SINK STAINLESS STEEL STATION STANDARD STEEL STORAGE STRUCTURE or STRUCTURAL SUSPEND(ED) SYMMETRICAL SYSTEM
B.O. B.O.F. BD BEL BET BIT BKT BLDG BLKG BLT BM BOT. BRG BSMT	BY OWNER BY OWNER, FUTURE BOARD BELOW BETWEEN BRACKET BITUMINOUS BRACKET BUILDING BLOCKING BORROWED LIGHT BEAM BOTTOM BEARNING BASEMENT	I.B.C. I.D. IN. INFO INS. INT INTX	INTERNATIONAL BUILDING CODE or INSTALLED BY CONTRACTOR INSIDE DIAMETER INCH INFORMATION INSULATION or INSULATED INTERIOR INTERSECTION	T&G T. T.B. T.O. T.P.D. TEL TEMP. THK THR TPTN TV TYP TZ	TONGUE AND GROOVE TREAD or TELEPHONE TOWEL BAR TOP OF TOILET PAPER DISPENSER TELEPHONE TEMPERED THICK or THICKNESS THRESHOLD TOILET PARTITION TELEVISION TYPICAL TERRAZZO
C.C.D. C.G. C.J. C.O. C.T. CAB. CEM CFL CK CL CLG CLR CLT CMU CNTR COL CONC CONN. CONST CONT CONTR CTR CTSK	CONSTRUCTION CHANGE DIRECTIVE CORNER GUARD CONTROL JOINT CHANGE ORDER CERAMIC TILE CABINET CEMENT COUNTERFLASHING CAULK(ING) CENTERLINE CEILING CLEAR CLOSET CONCRETE MASONRY UNIT COUNTER COLUMN CONCRETE CONNECTION CONSTRUCTION CONTINUOUS CONTRACT(OR) CENTER COUNTERSINK	M.O. MAS MAT MAX MECH MEP MFR MIN MIR. MISC MMB MT. MTL MUL	MASONRY OPENING MASONRY MATERIAL MAXIMUM MECHANICAL MECHANICAL, ELECTRICAL and PLUMBING MANUFACTURER MINIMUM MIRROR MISCELLANEOUS MEMBRANE MOUNT(ED) METAL MULLION	U.L. U.N.O. U.O.S. UNF. UR.	UNDERWRITER'S LABORATORY UNLESS NOTED OTHERWISE UNLESS OTHERWISE SPECIFIED UNFINISHED URINAL
D. D.F. D.S. DBL DEPT DET DIA DIM DN DPR DR DWG DWR	DRAIN or DATA DRINKING FOUNTAIN DOWNSPOUT DOUBLE DEPARTMENT DETAIL DIAMETER DIMENSION DOWN DISPENSER DOOR DRAWING DRAWER	(N) NEW N N.I.C. N.T.S. NO. NOM.	NEW NORTH NOT IN CONTRACT NOT TO SCALE NUMBER NOMINAL	V V.B. VCT VERT VEST VIN VTR VWC	VACUUM VAPOR BARRIER VINYL COMPOSITION TILE VERTICAL VESTIBULE VINYL VENT TO ROOF VINYL WALL COVERING
(E) E. E.D. E.H. E.J. E.O.S. E.W.C. EA. EL. ELEC. ELEV. EM. EMER. ENGR. EQ. EOP EXP. EXT	EXISTING EAST EXHAUST DUCT EXHAUST FAN EXPANSION JOINT EDGE OF SLAB ELECTRIC WATER COOLER EACH ELEVATION ELECTRICAL ELEVATOR EMERGENCY OUTLET EMERGENCY ENGINEER EQUAL EQUIPMENT EXPANSION EXTERIOR	O2 O.A. O.C. O.D. O.H. O.T.O. OPG.	OXYGEN OVERALL ON CENTER OUTSIDE DIAMETER OPPOSITE HAND OUTSIDE-TO-OUTSIDE OPENING	P.A.C. P.L. P.R. P.T. P.T.D. P.T.D.R. P.T.R. PFB. PL. PLAM PLAS PNL PNTD PR. PROJ PSF PSI PT. PTN. PV. PWD	PREVIOUSLY AWARDED CONTRACT PROPERTY LINE PROPOSAL REQUEST POST TENSIONED SLAB PAPER TOWEL DISPENSER PAPER TOWEL DISPENSER AND RECEPTACLE PAPER TOWEL RECEPTACLE PREFABRICATED PLATE PLASTIC LAMINATE PLASTER PANEL PAINTED PAIR PROJECT POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PAINT or PAPER TOWEL PARTITION PAVEMENT PLYWOOD
F.D. F.E. F.R. F.R.T. FACP FAS. FDN FEC FFL FHC FIN. FIXT FL FLG FLUR	FLOOR DRAIN FIRE EXTINGUISHER FIRE RESISTIVE FIRE RETARDANT TREATED FIRE ALARM CONTROL PANEL FASTEN(ER) FOUNDATION FIRE EXTINGUISHER CABINET FINISHED FLOOR LINE FIRE HOSE CABINET FINISHED FIXTURE FLOOR(ING) FLASHING FLUORESCENT	Q.T. R & S R. R.D. R.F.	QUARRIED TILE RESILIENT RISER ROOF DRAIN RESILIENT FLOORING	W W.C. W.P.T. W.R. W.W.F. W/ W/O WB WD WF. WIN WP WSCT	WEST WATER CLOSET WORKING POINT WATER RESISTANT WELDED WIRE FABRIC WITH WITHOUT WASTE BASKET WOOD WIDE FLANGE WINDOW WATERPROOF(ING) WAINSCOT



CREATIVE HOME DESIGN

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CLIENT:

LISA MAURER

LOCATION:

820 36th Street
Boulder, CO 80303

PROJECT STATUS:

CONSTRUCTION DOC.

DATE:

8/21/2022 2:20:07 PM

DESIGNED BY:

JESUS

DRAWN BY:

SOFIA

DIMENSION:

SQUARE FEET

MAURER ADDITION
820 36th Street
Boulder, CO 80303

REVISONS	DESCRIPTION			
	NO.	DATE		

SHEET/ TITLE.

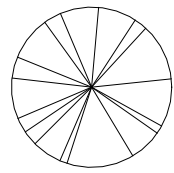
DATA

SHEET/NO.

A0.1

JULY 30 2022

LANDSCAPE LEGEND

EXISTING TREE

LAND USE SUMMARY

LEGAL DESCRIPTION: LOT 7 BLK 5 BASELINE 2

PARCEL NUMBER: 146332420007

LOT SIZE: 0.17 ACRES

ZONING: RESIDENTIAL

USE: SINGLE FAMILY RESIDENCE

EXISTING SQUARE-FOOTAGE

HOUSE FOOTPRINT: 1,288.00 SF

PROPOSED SQUARE-FOOTAGE

FOOTPRINT OF NEW PORCH: 70.00 SF

FOOTPRINT OF NEW BEDROOM: 535.00 SF

TOTAL: 605.00 SF

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SOFIA

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SQUARE FEET

MAURER ADDITION

820 36th Street

Boulder, CO 80303

REVISIONS

NO.	DATE	DESCRIPTION

SHEET / TITLE.

SITE PLAN

SHEET/NO.

A0.2

KEY:

NOTES:

JULY 30 2022

1 SITE PLAN

1" = 10'-0"

Graphic Scale: 1 inch = 10 feet

010'20'30'40'

EXISTING CONCRETE SIDEWALK

NEW PORCH ADDITION LOCATION
AREA 70 S.F. +/-

TRIM EXISTING TREE BRANCHES AS NEEDED

EXISTING WALKWAY

EXISTING DRIVEWAY

APPROX. LOCATION OF EXISTING 1 STORY SINGLE FAMILY DWELLING.
AREA 1,288 S.F. +/-

LOT 7
0.16 acres

NEW BEDROOM ADDITION LOCATION
AREA +/- 535.00 S.F.

(E) SHED 8x8

36TH STREET

PROPERTY LINE

PROPERTY LINE

PROPERTY LINE

PROPERTY LINE

10' MAINTENANCE EASEMENT FOR LOT 7

47'-10"

11'-6"

4'-0"

S 89° 56' 20" W 101.40'

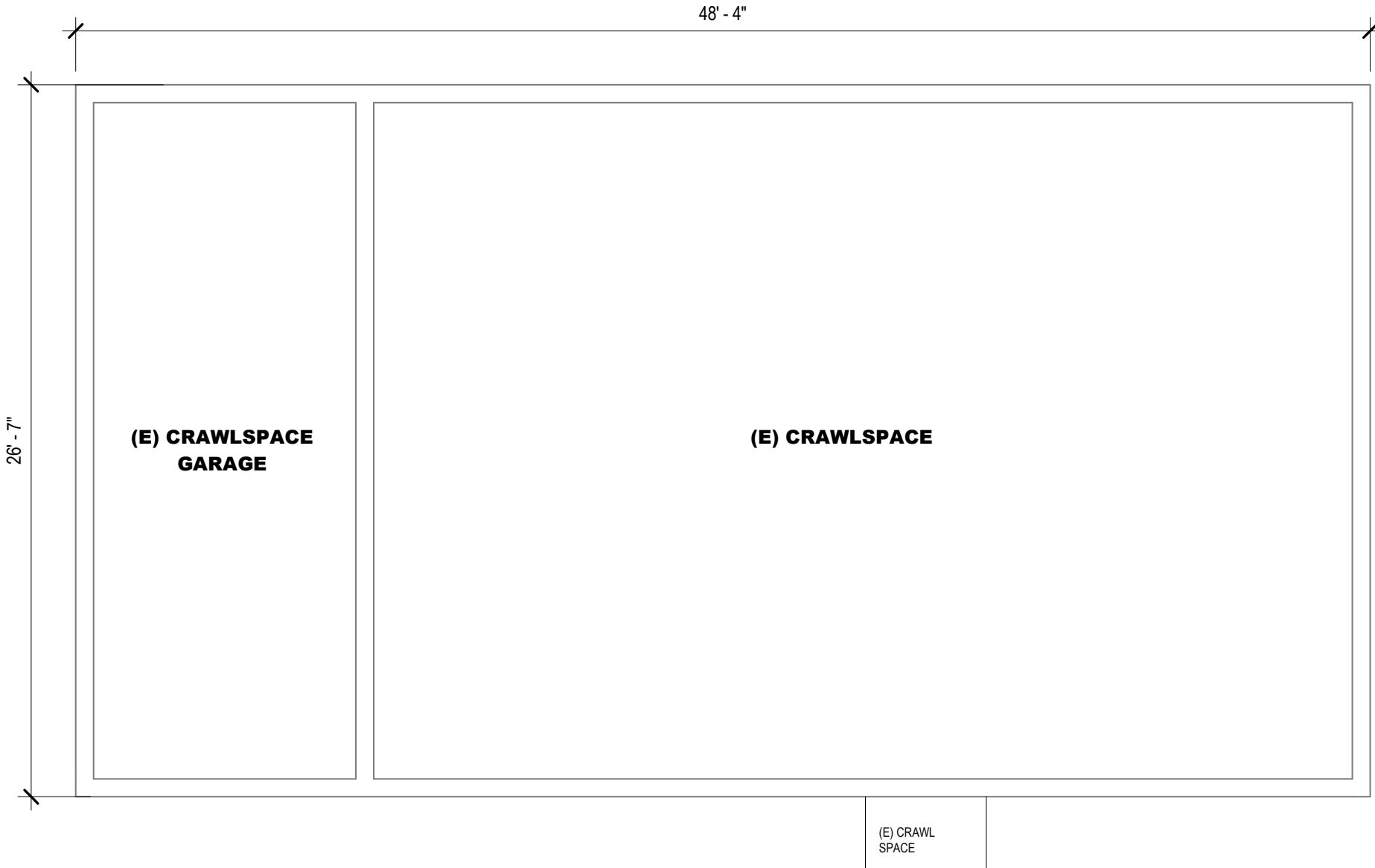
S 89° 56' 20" W 101.40'

N 0° 00' 00" E 70.00'

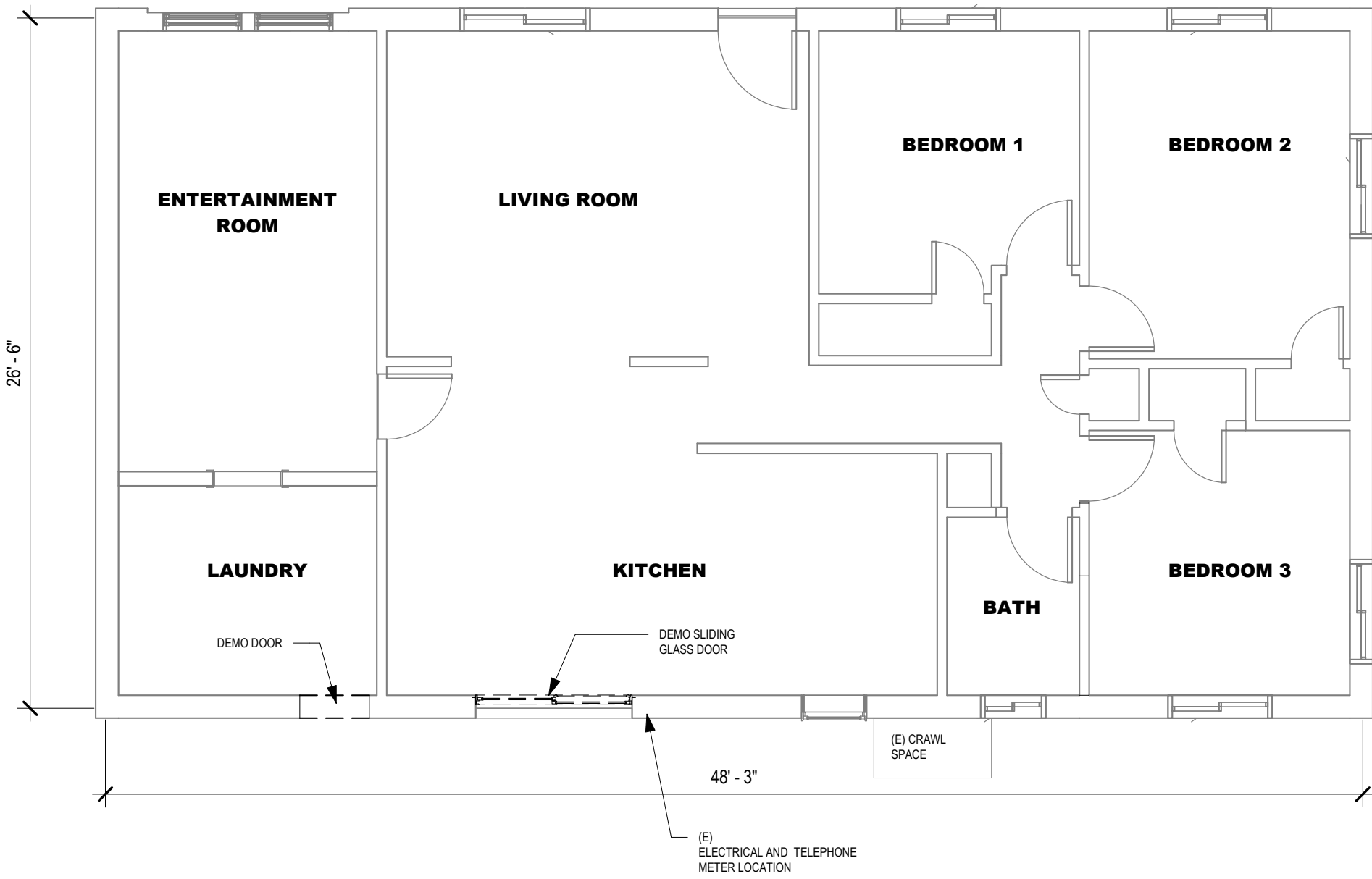
N 0° 00' 00" E 70.00'

N 0° 00' 00" E 70.00'

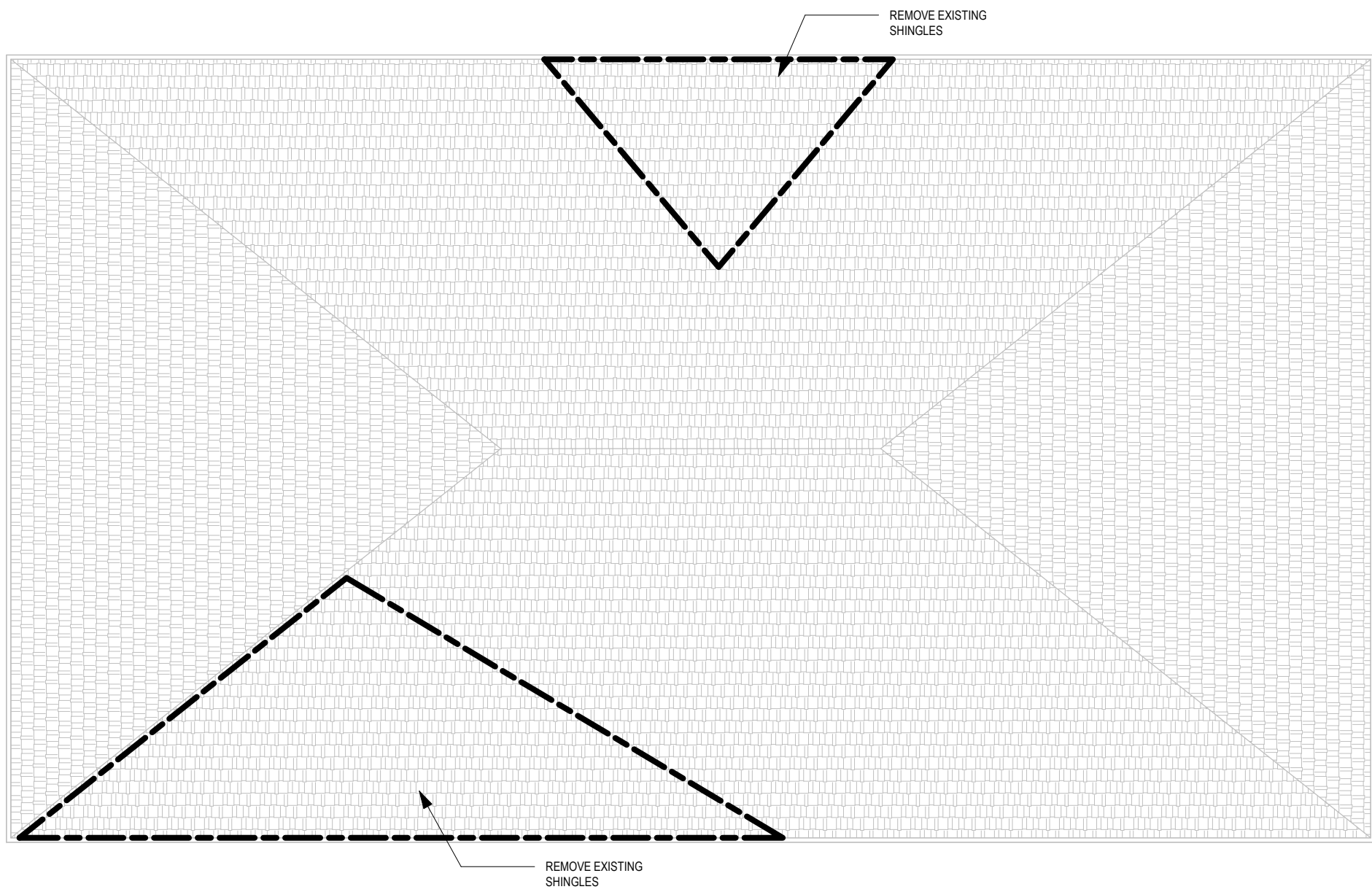
FRAMING PLAN LEGEND	
<div><div></div></div>	POST ABOVE BEAM: 3-2X6 U.N.O.
<div><div></div></div>	POST BELOW BEAM: 3-2X6 U.N.O.
<div><div></div></div>	TYP HEADER: (3) 2X8 U.N.O.
<div><div></div></div>	BEAM AS NOTED.
<div><div></div></div>	FRAMING ABOVE OR BELOW, AS NOTED.
<div><div></div></div>	INTERIOR BEARING WALL BELOW
<div><div></div></div>	EXISTING WALL
<div><div></div></div>	PROPOSED WALL
<div><div></div></div>	DEMO WALL LOCATION



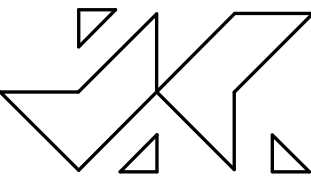
1 EXISTING FOUNDATION
3/16" = 1'-0"



3 GROUND FLOOR AS BUILT/DEMO
3/16" = 1'-0"



2 EXISTING ROOF
3/16" = 1'-0"



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820 36th Street
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8/21/2022 2:20:10 PM

DESIGNED BY:
JESUS

DRAWN BY:
SOFIA

DIMENSION:
SQUARE FEET

MAURER ADDITION
820 36th Street
Boulder, CO 80303

REVISIONS	DESCRIPTION	
	NO.	DATE

SHEET / TITLE:
AS-BUILT/DEMO
PLANS

SHEET/NO.

A1.0

JULY 30 2022

KEY:

NOTES:

GENERAL FOUNDATION NOTES

- ARCHITECTS FOUNDATION PLAN IS TO SHOW INTENT OF FOUNDATION SIZE AND LAYOUT. STRUCTURAL ENGINEERS DRAWINGS SUPERCEDE. VERIFY WALL AND FOOTING SIZES AND LOCATIONS WITH STRUCTURAL SHEETS. NOTIFY ARCHITECT IF ANY DISCREPANCIES ARE DISCOVERED.

- ALL DIMENSIONS ARE TO CENTERLINE OF BEAM /COLUMN OR FACE OF CONCRETE WALL.

- FOUNDATION SILLS SHALL BE AT LEAST 6" ABOVE GRADE AND SHALL BE PRESSURE TREATED WOOD (PER IRC SEC. 2317.4)

- SLOPE FINISH GRADE AWAY FROM STRUCTURE AT ALL SIDES. LANDSCAPE AREAS TO SLOPE AWAY FROM HOME AT 10% MIN. FOR FIRST 10' AND THEN @ 2%. CONCRETE PATIOS AND FLATWORK TO SLOPE AWAY FROM HOME @ 2%. VERIFY DRAINAGE ON SITE PRIOR TO SETTING TOP OF FOUNDATION HEIGHT. IF DRAINAGE APPEARS TO BE A CONCERN NOTIFY DESIGNER.

- BACKFILL SHALL BE COMPACTED AND GRADED TO PROVIDE ADEQUATE DRAINAGE AWAY FROM THE FOUNDATION. BACKFILL SHOULD NOT BE WATER SETTLED. BACKFILL ADJACENT TO THE FOUNDATION SHOULD BE EXPECTED TO SETTLE OVER TIME AND SHOULD BE MONITORED AND MAINTAINED TO PROVIDE ADEQUATE DRAINAGE AWAY FROM THE FOUNDATION.

- TYPICAL SLABS: 4" CONCRETE SLAB OVER 4" GRAVEL BASE WITH 1/2" EXPANSION JOINT AT PERIMETER AND TOOLED CONTROL JOINTS AT BEAM LINES AND EVERY 15' +/- OR PER ENGINEER.

- TIE ALL EXTERIOR FLATWORK TO FOUNDATION WITH #4 TIE BARS AT 2'-0" O.C. OR PER ENGINEER.

- POINT LOAD IF SHOWN INDICATES A CONCENTRATED LOAD FROM ROOF OR FLOORS ABOVE.

- PROVIDE VAPOR BARRIER BELOW CONCRETE SLABS. CAULK VAPOR BARRIER TO CONCRETE FOUNDATION WALL.

FOUNDATION LEGEND/NOTES

1. TW


TOP OF CONCRETE WALL ELEVATION

2. TF


TOP OF CONCRETE FOOTING ELEVATION

3. ▽


STEP IN FOOTING ELEVATION

4. 


STEP IN TOP OF WALL ELEVATION

5. 

STEP IN CONCRETE OR PLYWOOD SURFACE

6. 

PAD FOOTING MARK, SEE SCHEDULE ON PLAN

7. 

COLUMN ABOVE


8.

PROVIDE FOUNDATION DRAIN PER ARCH'L DETAILS


9.

DO NOT SCALE DRAWINGS. NOTIFY ARCHITECT OF DISCREPANCIES.


FRAMING PLAN LEGEND




POST ABOVE BEAM: 3-2X6 U.N.O.



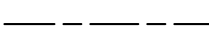
POST BELOW BEAM: 3-2X6 U.N.O.



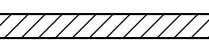
TYP HEADER: (3) 2X8 U.N.O.




BEAM AS NOTED.




FRAMING ABOVE OR BELOW, AS NOTED.




INTERIOR BEARING WALL BELOW



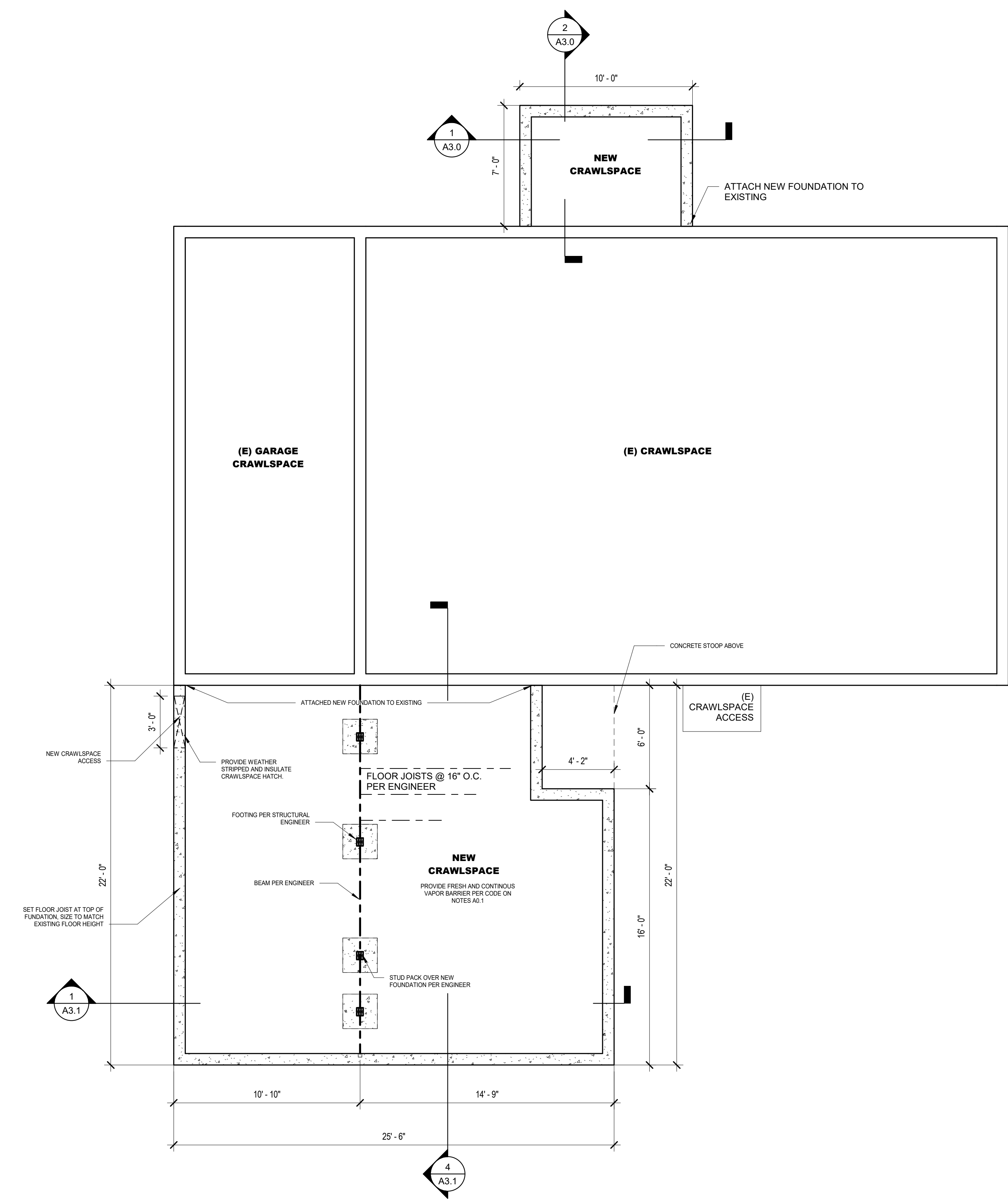
EXISTING WALL



PROPOSED WALL



DEMO WALL LOCATION



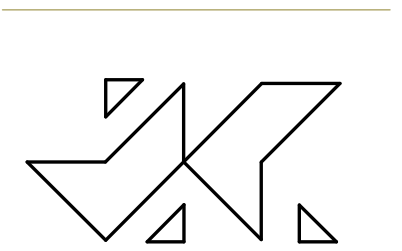
1 FOUNDATION PLAN

1/4" = 1'-0"



KEY:

NOTES:

JULY 30 2022



CREATIVE HOME DESIGN

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CLIENT:

LISA MAURER

LOCATION:

820 36th Street
Boulder, CO 80303

PROJECT STATUS:

CONSTRUCTION DOC.

DATE:

8/21/2022 2:42:35 PM

DESIGNED BY:

JESUS

DRAWN BY:

SOFIA

DIMENSION:

SQUARE FEET

MAURER ADDITION

820 36th Street
Boulder, CO 80303

REVISIONS		DESCRIPTION
NO.	DATE	

SHEET/ TITLE:
FOUNDATION
PLAN

SHEET/NO.

A1.1

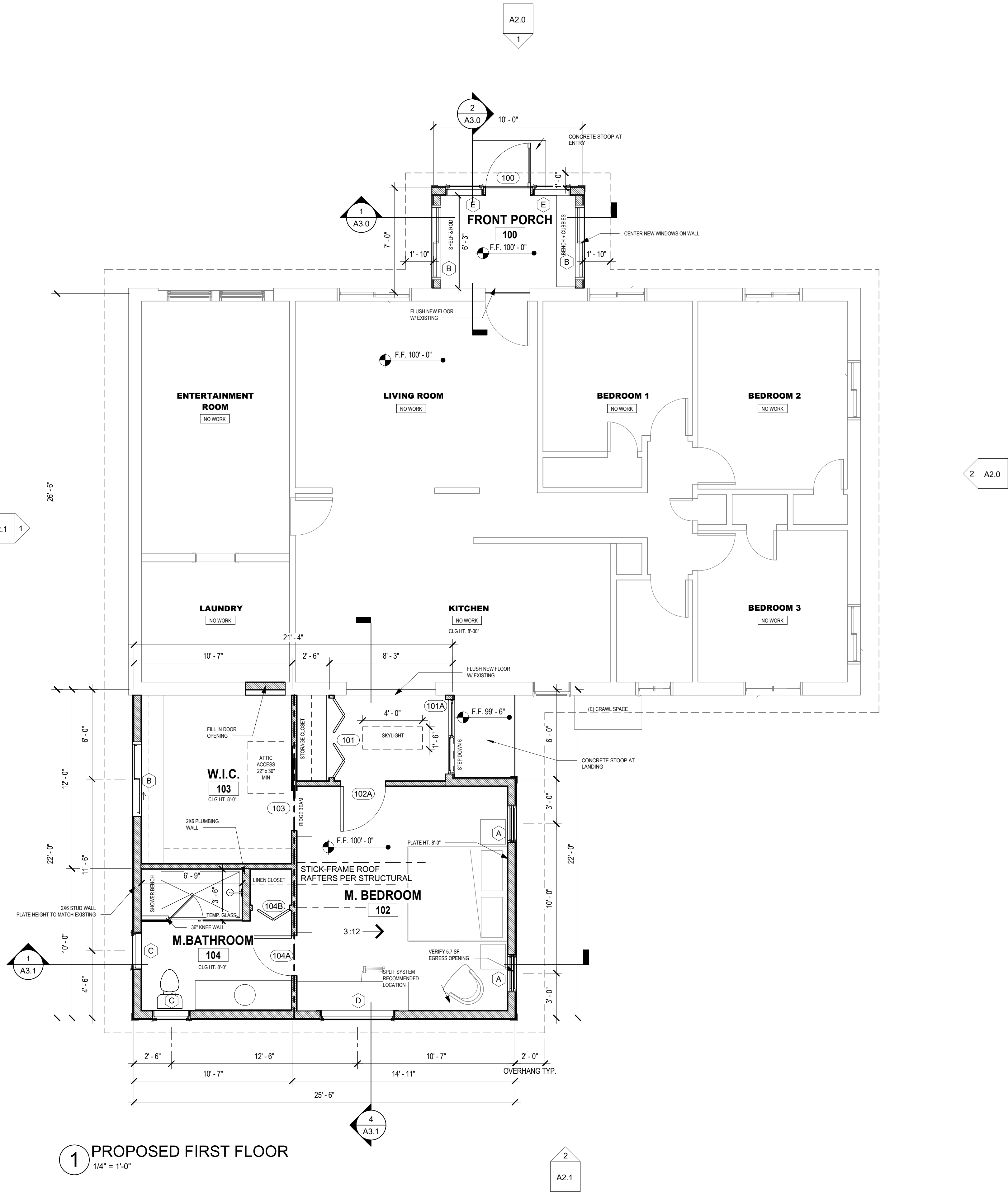
GENERAL FLOOR PLAN NOTES	
<p>GENERAL:</p> <ul style="list-style-type: none">-ALL FINISHES TO BE COORDINATED AND VERIFIED WITH HOME OWNER-ALL DIMENSIONS ARE TO ROUGH FRAME.-FILL HEADER VOID WITH RIGID INSULATION WHERE POSSIBLE <p>WALLS:</p> <ul style="list-style-type: none">-ALL EXTERIOR WALLS ARE 2X6 SPF #2 WOOD STUDS WITH R-20 MIN. INSULATION.-PROVIDE ALTERNATE BID FOR 2" CLOSED CELL SPRAY FOAM AGAINST EXTERIOR SHEATHING AND R-13 BATT INSULATION.-EXTERIOR SHEATHING TO BE 7/16" OSB SHEATHING OR PER ENGINEER WITH TYVEK HOME WRAP WRB.-PROVIDE ALTERNATE BID FOR 7/16" ZIP SHEATHING-INTERIOR BEARING WALLS ARE 2X4 SPF #2 WOOD STUDS OR PER ENGINEER-INTERIOR NON BEARING WALLS ARE 2X4 WOOD OR METAL STUDS OF SUITABLE QUALITY AND GRADE TO PROVIDE FINISHED WALLS WITH 1/4" OR LESS DISTORTION OVER THE WALL HEIGHT <p>ROOF:</p> <ul style="list-style-type: none">-ROOF SHEATHING TO BE 15/32" OSB SHEATHING OR PER ENGINEER.-PROVIDE ALTERNATE BID FOR 15/32" ZIP SHEATHING.-PROVIDE R-49 MIN BLOWN IN INSULATION-RAFTERS AND ATTACHMENT PER STRUCTURAL ENGINEER-SEE ROOF NOTES FOR ADDITIONAL REQUIREMENTS <p>PAINT:</p> <ul style="list-style-type: none">-DRYWALL FINISH LEVEL AND TEXTURE TO MATCH EXISTING HOME OR PER OWNER.-ALL DRYWALL FINISHED AREAS TO RECEIVE ONE COAT PVA PRIMER AND TWO COATS OF LATEX PAINT, COLOR PER OWNER. <p>FLOOR COVERING:</p> <ul style="list-style-type: none">-ALL FLOOR FINISHES PER OWNER TO BE COORDINATED WITH G.C.	<p>ELECTRICAL SYSTEM:</p> <ul style="list-style-type: none">-LICENSED ELECTRICIAN TO SET NEW BREAKERS WITHIN EXISTING PANEL OR SET SUB PANEL WITHIN NEW FLOOR AREA.-VERIFY ANY SPECIAL REQUIREMENTS WITH OWNER AND OFFER TO WALK THE HOUSE FOR BOX PLACEMENT WITH THE OWNER ONCE FRAMING IS NEARING COMPLETION. <p>MECHANICAL SYSTEM:</p> <ul style="list-style-type: none">-SEE FLOOR PLAN FOR MINI SPLIT SPECIFICATIONS .-NOTIFY DESIGNER OF ANY, OR LOW CEILING HEIGHTS ENCOUNTERED DURING CONSTRUCTION. <p>WINDOWS:</p> <ul style="list-style-type: none">-CENTER ALL WINDOWS IN WALLS EXCEPT WHERE INDICATED OTHERWISE.-WINDOW SIZES SHOWN ON THE PLANS ARE TYPICAL WINDOW SIZES. ADJUSTMENTS MAY BE REQUIRED DUE TO MANUFACTURER SPECIFIC SIZES AND AVAILABILITY.-NO SPECIFIC MANUFACTURER IS SPECIFIED-PROVIDE DUEL GLAZED WINDOWS WITH LOW E GAS AT ALL WINDOW OPENINGS-PROVIDE TEMPERED GLASS WITHIN AND ADJACENT TO DOOR OPENINGS AND ABOVE HAZARDOUS LOCATIONS PER CODE-VERIFY ALL WINDOW DETAILS WITH OWNER PRIOR TO ORDERING.-NOTIFY DESIGNER IF ANY SIGNIFICANT CHANGES TO WINDOW SIZES ARE PROPOSED.-OWNER TO REVIEW WINDOW PACK PRIOR TO ORDERING <p>DOORS:</p> <ul style="list-style-type: none">-VERIFY DOOR PANEL STYLE, AND FINISHES WITH OWNER.-ALL DOORS, JAMBS, AND CASINGS ARE ANTICIPATED TO BE STAIN GRADE TO MATCH EXISTING.-ALL DOORS TO HAVE MINIMUM 4" JAMB EXCEPT WHERE INDICATED OTHERWISE.-DOORS AND WINDOWS TO BE PROTECTED AS REQUIRED DURING CONSTRUCTION.-VERIFY ALL HARDWARE WITH OWNER, PROVIDE ALLOWANCES.

WINDOW TYPE LEGEND	
FXD	= FIXED GLASS PANEL WINDOW
SH	= SINGLE HUNG WINDOW
DH	= DOUBLE HUNG WINDOW
CS	= CASEMENT OUTSWING WINDOW
AW	= AWNING WINDOW
SLD	= SLIDER WINDOW

FRAMING PLAN LEGEND	
<input type="checkbox"/>	POST ABOVE BEAM: 3-2X6 U.N.O.
<input checked="" type="checkbox"/>	POST BELOW BEAM: 3-2X6 U.N.O.
---	TYP HEADER: (3) 2X8 U.N.O.
---	BEAM AS NOTED.
---	FRAMING ABOVE OR BELOW, AS NOTED.
	INTERIOR BEARING WALL BELOW
---	EXISTING WALL
---	PROPOSED WALL
---	DEMO WALL LOCATION

DOOR SCHEDULE					
MARK	TYPE COMMENTS	WIDTH	HEIGHT	COMMENTS	
Exterior					
100	Single Glass Entry Porch	3' - 0"	7' - 0"		
101A	Sliding Glass Door	5' - 0"	7' - 0"		
Exterior: 2					
Interior					
101	Bi-Fold Closet Door	2' - 8"	7' - 0"		
101B	Bi-Fold Closet Door	2' - 8"	7' - 0"		
102A	Single Door	3' - 0"	7' - 0"		
103	Pocket Door	2' - 8"	7' - 0"		
104A	Single Door	2' - 8"	7' - 0"		
104B	Bi-Fold Closet Door	2' - 6"	7' - 0"		
Interior: 6					
Grand total: 8					

WINDOW SCHEDULE						
TAG	TYPE	COUNT	-		HEAD HEIGHT	COMMENTS
			WIDTH	HEIGHT		
A	SH 30" x 60"	2	2' - 6"	5' - 0"	7' - 0"	OPT. CASEMENT
B	SLD 2'-0" x 5'-0"	3	5' - 0"	2' - 0"	7' - 0"	
C	CS 30" X 36"	2	2' - 6"	3' - 0"	7' - 0"	Provide Privacy Glass
D	FXD 5'-0" X 2'-0" NO TRIM	1	5' - 0"	2' - 0"	7' - 0"	
E	FXD 2'-6" X 4'-0"	2	2' - 6"	4' - 0"	7' - 0"	
SK	Skylights	1	1' - 6"	4' - 0"		NEW SKYLIGHTS
Grand total: 11						

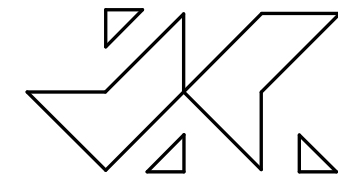


1 PROPOSED FIRST FLOOR
1/4" = 1'-0"

KEY:

NOTES:

JULY 30 2022



CREATIVE HOME DESIGN

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VERIFY ALL DIMENSIONS PRIOR TO START OF WORK. DO NOT SCALE DRAWINGS. IMMEDIATELY NOTIFY DESIGNER ON ANY DISCREPANCIES OR DEVIATIONS FROM THE DRAWINGS. LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS. INSTALL ALL MATERIALS AND EQUIP. PER MANUFACTURERS DIRECTION. ALL WORK TO COMPLY WITH ALL APPLICABLE CODES.

CLIENT:

LISA MAURER

LOCATION:

820 36th Street
Boulder, CO 80303

PROJECT STATUS:

CONSTRUCTION DOC.

DATE:

8/21/2022 2:42:05 PM

DESIGNED BY:

JESUS

DRAWN BY:

SOFIA

DIMENSION:

SQUARE FEET

MAURER ADDITION
820 36th Street
Boulder, CO 80303

REVISIONS		DESCRIPTION			
NO.	DATE				

SHEET/ TITLE:

FLOOR PLANS

SHEET/NO.

A1.2



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FROM THE DRAWINGS. LARGE
SCALE DRAWINGS TAKE
PRECEDENCE OVER SMALL SCALE
DRAWINGS. INSTALL ALL
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WORK TO COMPLY WITH ALL
APPLICABLE CODES.

— CLIENT

LISA MAUREF

LOCATION:

820 36th Street
Boulder, CO 80303

—PROJECT STATUS:

CONSTRUCTION DOC

— DATE: _____

8/21/2022 2:20:12 PM

—DESIGNED BY

JESUS

—DRAWN BY

— DIMENSION:

SQUARE FEET

MAURER ADDITION
820 36th Street
Boulder, CO 80303

REVISIONS	
NO.	DATE DESCRIPTION

SHEET/ TITLE.


ROOF PLAN

SHEET/NO.

A1.3


$$1/4" = 1'-0"$$

ROOF LEGEND


 UNDEREAVE VENTED SOFFIT
 FROM LP SMARTSIDE INC. 38
 SERIES OR EQUAL PROVIDES 10 SQ. IN.
 OF NET FREE AREA PER LIN. FT.

CONTINUOUS RIDGE VENT (HIGH)
NET FREE VENTILATION AREA = 20 SQ.
IN./LN. FT.

ROOF NOTES

- GENERAL NOTES:
- ROOF PLAN IS TO SHOW DESIGNER INTENT OF ROOF FRAMING. SIGNIFICANT DEVIATIONS FROM THE DESIGNER INTENT WILL REQUIRE NOTIFICATION AND RE-EXAMINATION OF THE BUILDING STRUCTURE.
- INSTALL ATILE ACCESS PER FLOOR PLANS. 22"x30" MIN.
- RE-STRUCT. DWGS. FOR ALL ROOF FRAMING PANS AND TRUSS SHOWING.
- BUILDER TO VERIFY IN FIELD ALL DOWNSPOUT AND GUTTER LOCATIONS. BUILDER IS TO ALSO COORD. SPLASH BLOCK AND GUTTER EXTENSIONS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM FOUNDATION WALL. RE. SOLS REPORT, PROVIDED BY OTHERS.
- TYPICAL ROOF PITCH = 3:12, 4:12, OR 6:12 UNLESS NOTED OTHERWISE.
- ALL ROOF PENETRATIONS SHALL BE FLANGED AND COUNTER FLASHED.
- FLASHING, DRAIN SPEC'S & DETAILS
- DRAIN EDGE REQUIRED AT ALL EAVES AND RAKES. INSTALL ALL ROOFING COMPONENTS PER MANUFACTURERS SPECIFICATIONS.

ROOF VENTING CALCULATIONS

THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF SPACE VENTILATED. THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC SPACE TO BE VENTILATED NOT MORE THAN 3'-0" BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.

REQUIRED ROOF VENT CALCULATION TABLE

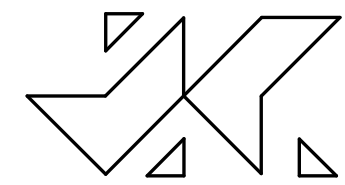
40% min. 50% max. of Vent to be provided per Sec. 806.2, 2018 IRC. Provide remaining vent in soffit.

ROOF AREA	AREA TO VENT	REQUIRED VENTING (LOW & HIGH)	(LOW) SOFFIT VENT PROVIDED L.N.	% OF REQ'D VENTILATION	(HIGH) RIDGE VENTS PROVIDED	% OF REQ'D VENTILATION	TOTAL INTAKE VENTILATION PROVIDED	TOTAL EXHAUST VENTILATION PROVIDED	COMMENTS
UPPER ROOF	290 SQ. FT.	140 SQ. IN.	@ 10 SQ. IN./LN. FT. = 14 LN. FT.	50%	@ 20 SQ. IN. = 7 LN. FT (2 PIECES)	50%	140 SQ. IN.	140 SQ. IN.	

KEY:

NOTES:

JULY 30 2022



CREATIVE HOME DESIGN

@jarchitects

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CLIENT:

LISA MAURER

LOCATION:

820 36th Street
Boulder, CO 80303

PROJECT STATUS:

CONSTRUCTION DOC.

DATE:

7/11/2022 11:03:19 PM

DESIGNED BY:

JESUS

DRAWN BY:

SOPIA

DIMENSION:

SQUARE FEET

MAURER ADDITION
820 36th Street
Boulder, CO 80303

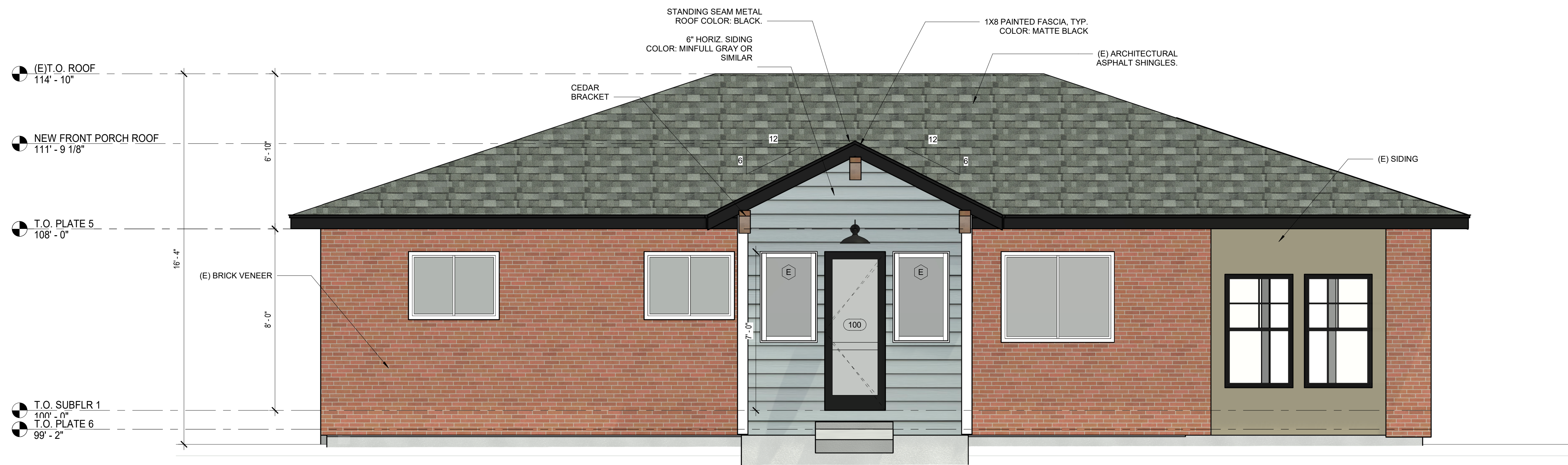
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SHEET/ TITLE.

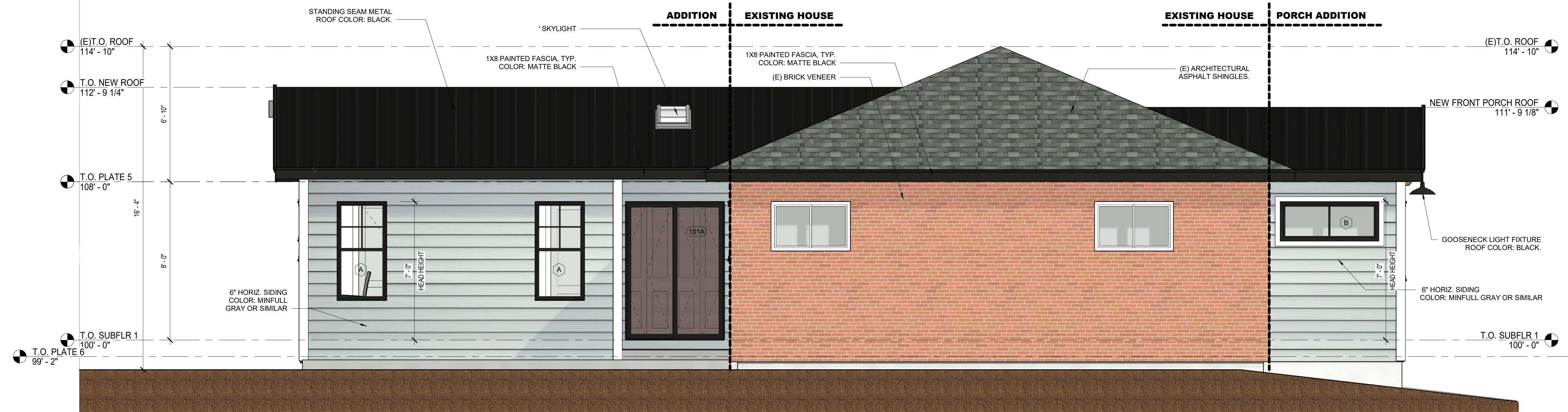
ELEVATIONS

SHEET/NO.

A2.0



1 FRONT ELEVATION (WEST)
3/8" = 1'-0"



2 NORTH ELEVATION
3/8" = 1'-0"

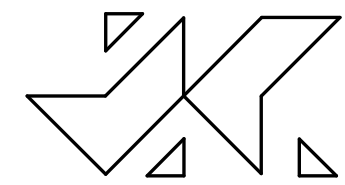
DOOR SCHEDULE				
MARK	TYPE COMMENTS	WIDTH	HEIGHT	COMMENTS
Interior				
100	Single Glass Entry Porch	2' - 8"	7' - 0"	
101	Bi-Fold Closet Door	2' - 8"	7' - 0"	
101A	Sliding Glass Door	5' - 0"	7' - 0"	
101B	Bi-Fold Closet Door	2' - 8"	7' - 0"	
102A	Single Door	3' - 0"	7' - 0"	
103	Pocket Door	2' - 8"	7' - 0"	
104A	Single Door	2' - 8"	7' - 0"	
104B	Bi-Fold Closet Door	2' - 6"	7' - 0"	
Interior: 8				
Grand total: 8				

WINDOW SCHEDULE						
TAG	TYPE	COUNT	-		HEAD HEIGHT	COMMENTS
			WIDTH	HEIGHT		
A	SH 30" x 60"	2	2' - 6"	5' - 0"	7' - 0"	
B	SLD 2'-0" x 5'-0"	3	5' - 0"	2' - 0"	7' - 0"	
C	CS 30" X 36"	2	2' - 6"	3' - 0"	7' - 0"	Provide Privacy Glass
D	FXD 5'-0" X 2'-0" NO TRIM	1	5' - 0"	2' - 0"	7' - 0"	
E	FXD 2'-6" X 4'-0"	2	2' - 6"	4' - 0"	7' - 0"	
SK	Skylights	1	1' - 6"	4' - 0"		NEW SKYLIGHTS
Grand total: 11						

KEY:

NOTES:

JULY 5 2022



CREATIVE HOME DESIGN

@jarchitects

VERIFY ALL DIMENSIONS PRIOR TO START OF WORK. DO NOT SCALE DRAWINGS. IMMEDIATELY NOTIFY DESIGNER ON ANY DISCREPANCIES OR DEVIATIONS FROM THE DRAWINGS. LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS. INSTALL ALL MATERIALS AND EQUIP. PER MANUFACTURERS DIRECTION. ALL WORK TO COMPLY WITH ALL APPLICABLE CODES.

CLIENT:

LISA MAURER

LOCATION:

820 36th Street
Boulder, CO 80303

PROJECT STATUS:

CONSTRUCTION DOC.

DATE:

7/11/2022 11:04:00 PM

DESIGNED BY:

JESUS

DRAWN BY:

SOFIA

DIMENSION:

SQUARE FEET

MAURER ADDITION
820 36th Street
Boulder, CO 80303

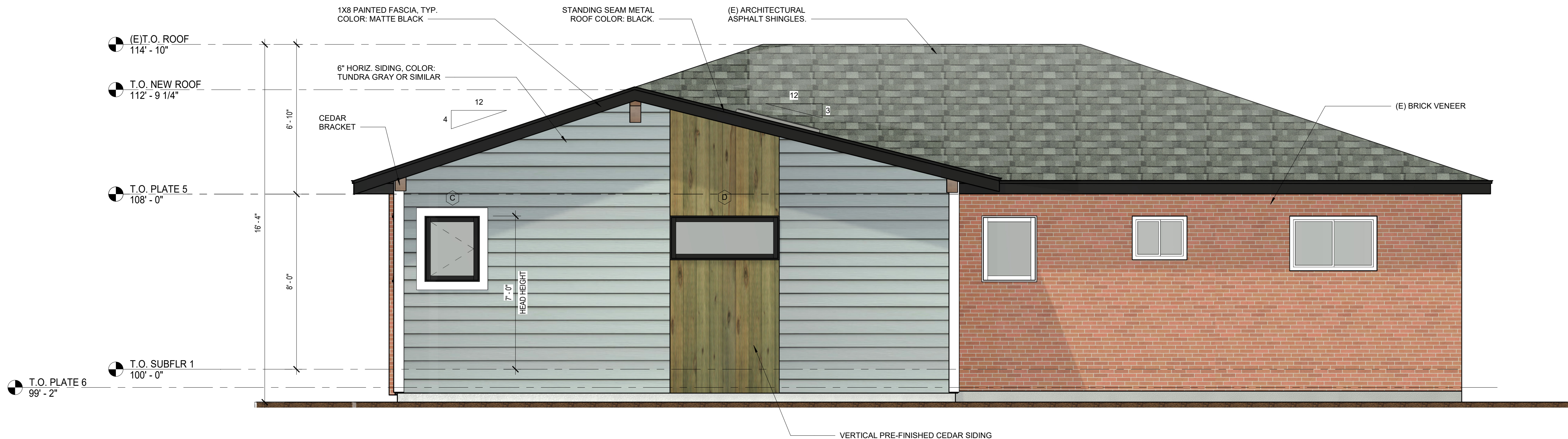
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SHEET/ TITLE.

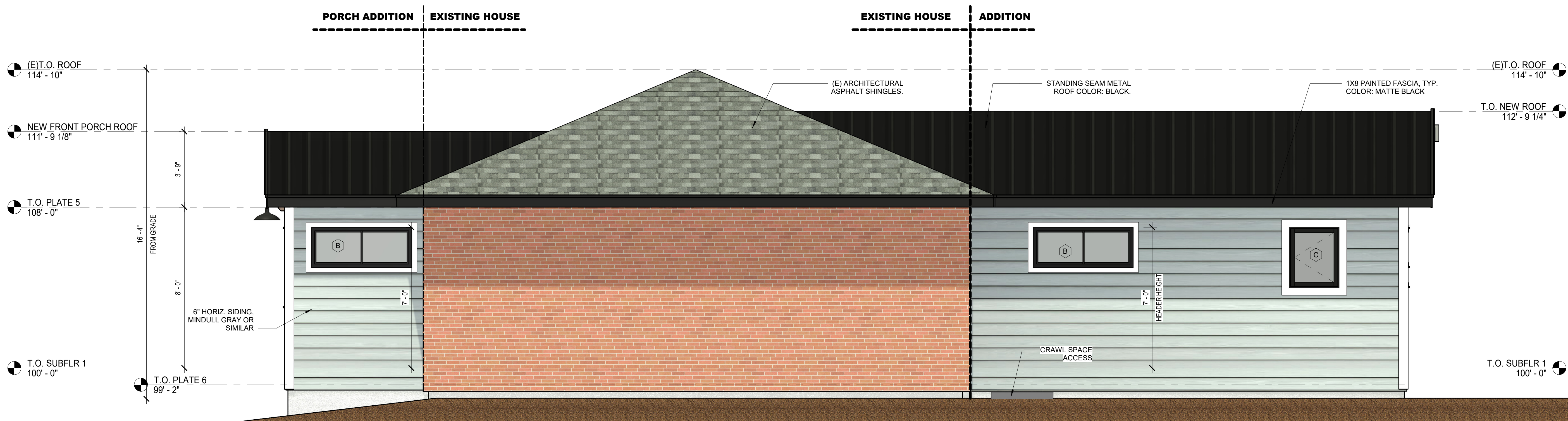
ELEVATIONS

SHEET/NO.

A2.1



2 EAST ELEVATION
3/8" = 1'-0"



1 SOUTH ELEVATION
3/8" = 1'-0"

DOOR SCHEDULE

MARK	TYPE	COMMENTS	WIDTH	HEIGHT	COMMENTS
Interior					
100	Single Glass Entry Porch		2' - 8"	7' - 0"	
101	Bi-Fold Closet Door		2' - 8"	7' - 0"	
101A	Sliding Glass Door		5' - 0"	7' - 0"	
101B	Bi-Fold Closet Door		2' - 8"	7' - 0"	
102A	Single Door		3' - 0"	7' - 0"	
103	Pocket Door		2' - 8"	7' - 0"	
104A	Single Door		2' - 8"	7' - 0"	
104B	Bi-Fold Closet Door		2' - 6"	7' - 0"	
Interior: 8					
Grand total: 8					

WINDOW SCHEDULE

TAG	TYPE	COUNT	-		HEAD HEIGHT	COMMENTS
			WIDTH	HEIGHT		
A	SH 30" x 60"	2	2' - 6"	5' - 0"	7' - 0"	
B	SLD 2'-0" x 5'-0"	3	5' - 0"	2' - 0"	7' - 0"	
C	CS 30" X 36"	2	2' - 6"	3' - 0"	7' - 0"	Provide Privacy Glass
D	FXD 5'-0" X 2'-0" NO TRIM	1	5' - 0"	2' - 0"	7' - 0"	
E	FXD 2'-6" X 4'-0"	2	2' - 6"	4' - 0"	7' - 0"	
SK	Skylights	1	1' - 6"	4' - 0"		NEW SKYLIGHTS
Grand total: 11						

KEY:

NOTES:

JULY 5 2022



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— CLIENT

LISA MAURER

LOCATION:

820 36th Street
Boulder, CO 80303

—PROJECT STATUS:

CONSTRUCTION DOC.

DATE _____

8/21/2022 2:47:16 PM

—DESIGNED BY:

JESUS

— DRAWN BY:

— DIMENSION

SQUARE FEET

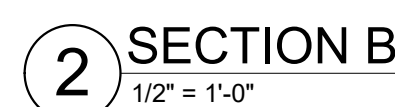
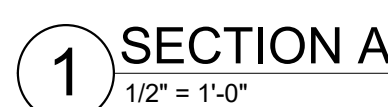
MAURER ADDITION
820 36th Street
Boulder, CO 80303

REVISIONS	
NO. DATE	DESCRIPTION

SHEET/ TITLE.
**BUILDING
SECTIONS**

SHEET/NO.

A3.0



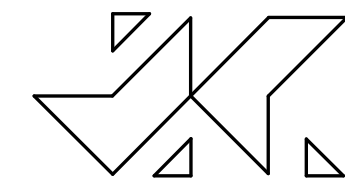
DOOR SCHEDULE				
MARK	TYPE COMMENTS	WIDTH	HEIGHT	COMMENTS
Exterior				
100	Single Glass Entry Porch	3' - 0"	7' - 0"	
101A	Sliding Glass Door	5' - 0"	7' - 0"	
Exterior: 2				
Interior				
101	Bi-Fold Closet Door	2' - 8"	7' - 0"	
101B	Bi-Fold Closet Door	2' - 8"	7' - 0"	
102A	Single Door	3' - 0"	7' - 0"	
103	Pocket Door	2' - 8"	7' - 0"	
104A	Single Door	2' - 8"	7' - 0"	
104B	Bi-Fold Closet Door	2' - 6"	7' - 0"	
Interior: 6				
Grand total: 8				

KEY:

NOTES:

JULY 30 2022

NOTES:



CREATIVE HOME DESIGN

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LOCATION:

820 36th Street
Boulder, CO 80303

PROJECT STATUS:

CONSTRUCTION DOC.

DATE:

8/21/2022 2:54:19 PM

DESIGNED BY:

JESUS

DRAWN BY:

SOFIA

DIMENSION:

SQUARE FEET

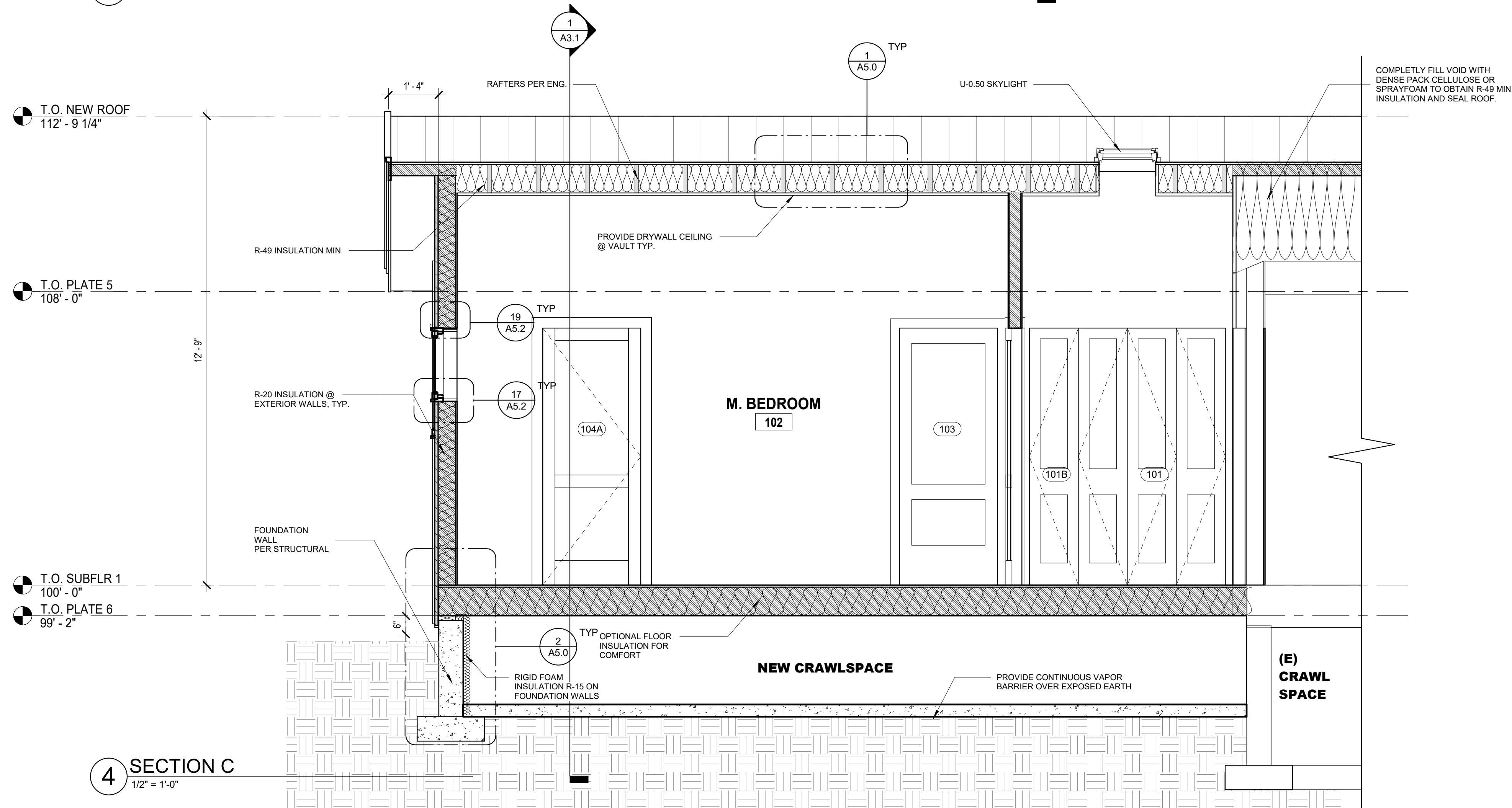
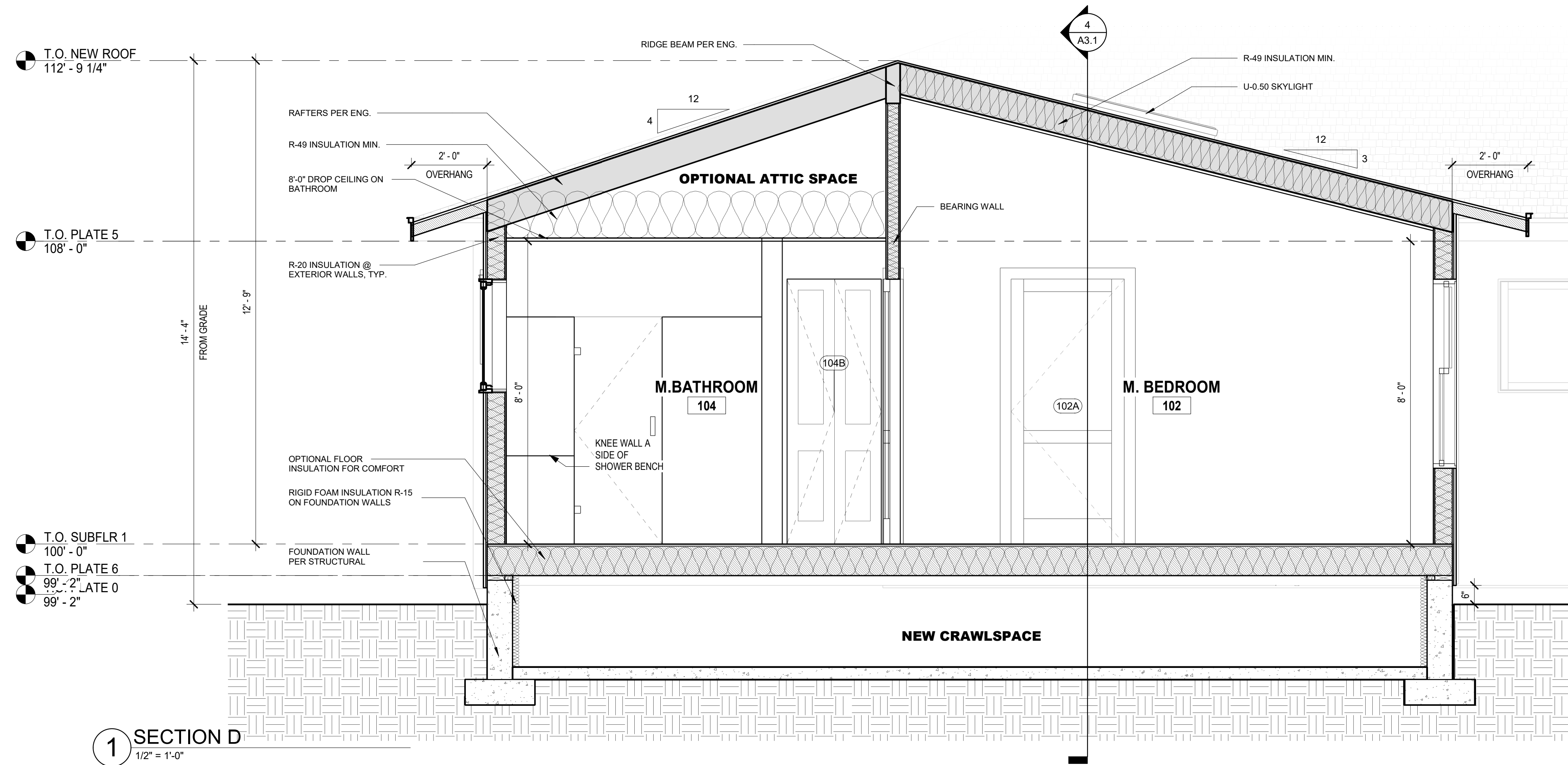
MAURER ADDITION
820 36th Street
Boulder, CO 80303

REVISIONS	DESCRIPTION	
	NO.	DATE

SHEET/ TITLE:
BUILDING
SECTIONS

SHEET/NO.

A3.1



WINDOW SCHEDULE						
TAG	TYPE	COUNT	WIDTH	HEIGHT	HEAD HEIGHT	COMMENTS
A	SH 30" x 60"	2	2' - 6"	5' - 0"	7' - 0"	OPT. CASEMENT
B	SLD 2'-0" x 5'-0"	3	5' - 0"	2' - 0"	7' - 0"	
C	CS 30" X 36"	2	2' - 6"	3' - 0"	7' - 0"	Provide Privacy Glass
D	FXD 5'-0" X 2'-0" NO TRIM	1	5' - 0"	2' - 0"	7' - 0"	
E	FXD 2'-6" X 4'-0"	2	2' - 6"	4' - 0"	7' - 0"	
SK	Skylights	1	1' - 6"	4' - 0"		NEW SKYLIGHTS
Grand total: 11						

DOOR SCHEDULE				
MARK	TYPE	COMMENTS	WIDTH	HEIGHT
Exterior:				
100	Single Glass Entry Porch		3' - 0"	7' - 0"
101A	Sliding Glass Door		5' - 0"	7' - 0"
Exterior: 2				
Interior:				
101	Bi-Fold Closet Door		2' - 8"	7' - 0"
101B	Bi-Fold Closet Door		2' - 8"	7' - 0"
102A	Single Door		3' - 0"	7' - 0"
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104A	Single Door		2' - 8"	7' - 0"
104B	Bi-Fold Closet Door		2' - 6"	7' - 0"
Interior: 6				
Grand total: 8				

KEY:

NOTES:

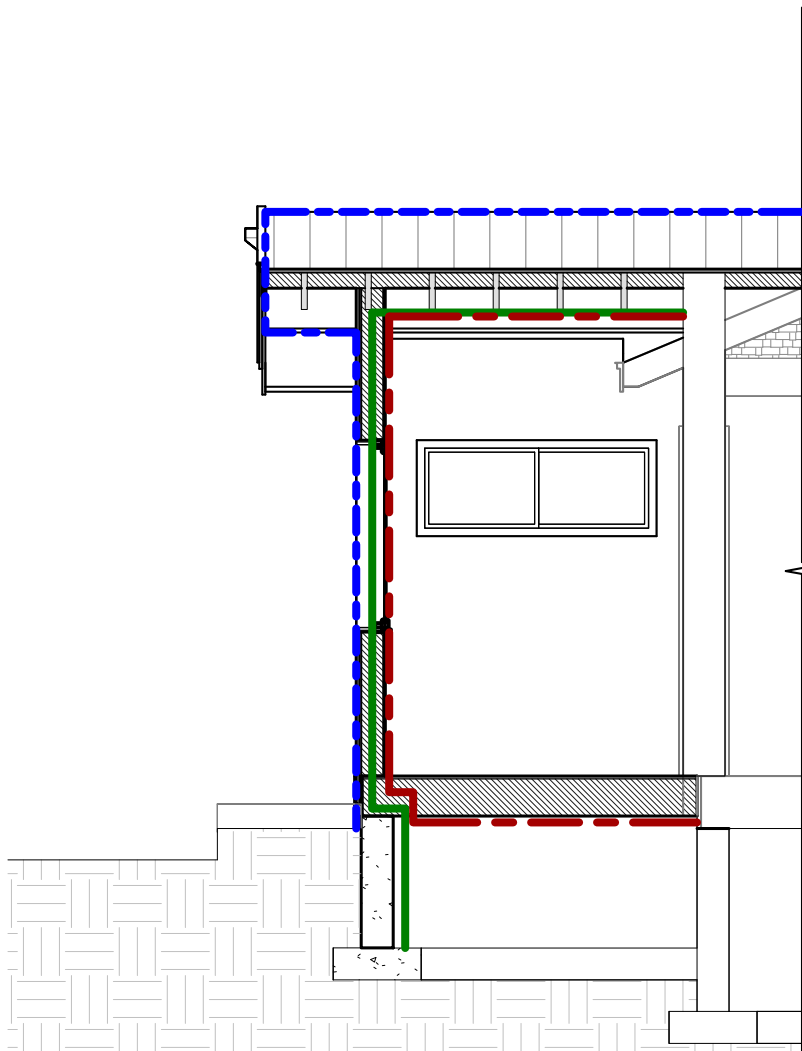
JULY 30 2022

PRESCRIPTIVE METHOD		
WEATHER RESISTANCE BARRIER AND INSULATION INSTALLATION		
SOURCES OF AIR LEAKAGE AT BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A DURABLE CAULKING MATERIAL; CLOSED CELL FOAM w/ GASKET SYSTEMS, TAPED, OR COVERED w/ MOISTURE VAPOR- PERMEABLE WRB. SEALING MATERIALS SPANNING JOINTS BETWEEN DISSIMILAR CONSTRUCTION MATERIALS SHALL ALLOW FOR DIFFERENT EXPANSION AND CONTRACTION OF THE CONSTRUCTION MATERIALS. AREAS TO SEAL AND SEALING REQUIREMENTS ARE AS FOLLOWS:		
COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALL CRITERIA
GENERAL REQUIREMENTS	-A CONTINUOUS AIR BARRIER SHALL BE INSTALLED AROUND THE BUILDING ENVELOPE. -THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER -BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED	-FILL ALL STUD WALLS WITH PRESCRIPTIVE R-VALUE -FURR OUT WALLS AROUND STEEL COLUMNS AS NEEDED TO PROVIDE CONTINUOUS INSULATION VALUE.
ROOF	-OSB SHEATHING WITH JOINTS TAPED OR DRYWALL WITH 2 COATS OF LATEX PAINT. PROVIDE CONTINUOUS AIR BARRIER.	-R-20 SPRAY FOAM WITH R-30 BATTS BELOW DECKING OR R-49 BATTSBLOWN IN INSULATION.
WALLS	-THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED -THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHALL BE SEALED -CAULK BOTTOM OF WALL TO VAPOR BARRIER. -CAULK TOP OF WALL TO SHEATHING -KNEE WALLS SHALL BE SEALED	-CAVITIES WITHIN CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE OF R-3 PER INCH -EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER
WINDOWS/ DOORS	-THE SPACE BETWEEN WINDOW/ DOOR JAMS AND FRAMING SHALL BE SEALED WITH CLOSED CELL SPRAY FOAM AND CAULKED	-PROVIDE PRESCRIPTIVE U-VALUE WINDOWS AND DOORS. DUAL GLAZED WITH LOW-E.
RIM JOISTS/ BEAMS	-RIM JOISTS SHALL INCLUDE THE AIR BARRIER-FURR OUT AROUND BEAMS TO MAINTAIN CONTINUOUS AIR BARRIER.	-RIM JOISTS SHALL BE INSULATED TO MATCH THE ADJACENT R-VALUE -SPRAY FOAM IS RECOMMENDED TO SEAL THE RIM BOARD TO THE MUD SILL AND TOP OF FOUNDATION WALL.
FLOORS (INCLUDING ABV. GARAGE AND CANTILEVERED FLOORS)	-THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION	-FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT w/ THE UNDERSIDE OF SUBFLOOR DECKING, OR -FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT w/ THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION TO BE INSTALLED ON THE OTHER SIDE OF FLOOR FRAMING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS
SLABS, FOUNDATION WALLS	- SHALL BE COVERED WITH A CLASS 1 VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED. EXTEND VAPOR BARRIER UP FOUNDATION WALL AND SEAL TO TOP OF WALL.	-INSULATION SHALL BE PERMANENTLY ATTACHED TO THE FOUNDATION WALLS. EXTEND RIGID INSULATION FROM TOP OF FOOTING UP FOUNDATION WALL AND OVER TOP OF FOUNDATION TO WALL SILL PLATE.
SHAFTS, PENETRATIONS	-DUCT SHAFTS, UTILITY PENETRATIONS, AND OPENINGS TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED	
NARROW CAVITIES	-CAULK ALL JOINTS OR FILL WITH CLOSED CELL FOAM	-BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED WITH INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
GARAGE SEPARATION	-AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND THE CONDITIONED SPACES	
RECESSED LIGHTING	-RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL	-RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED
PLUMBING AND ELECTRICAL		-BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS.
SHOWERS/ TUB ON EXTERIOR WALL	-THE AIR BARRIER INSTALLED ON EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWERS AND TUBS	-EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED
ELECTRICAL/ PHONE BOX ON EXTERIOR WALLS	-THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR SEALED BOXES SHALL BE INSTALLED	
HVAC REGISTER BOOTS	-HVAC REGISTER BOOTS THAT PENETRATE THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.	
APPROVED AIR BARRIER: -APPROVED AIR BARRIER MATERIAL TO BE GYPSUM BOARD WITH 2 LAYERS OF LATEX PAINT, ORIENTED STRAND THERMO-PLY BOARD WITH JOINTS TAPED,CLOSED CELL SPRAY FOAM, OR RIDGID FOAM BOARD. AIR BARRIER AND THERMAL BARRIER ALIGNMENT: -INSULATION SHALL BE INSTALLED IN FULL CONTACT WITH THE AIR BARRIER ON ALL SIX SIDES TO PROVIDE CONTINUOUS ALIGNMENT WITH THE AIR BARRIER. BATT INSULATION SHALL BE CUT TO FIT AROUND WIRING. PIPES OR BLOCKING SHALL BE CORRECTLY SIZED FOR WALL WIDTH AND HEIGHT. BACKER ROD: -INSTALL CLOSED CELL FOAM OR ROPE BEFORE CAULKING WHERE DEPTH TO WIDTH RATIO WOULD VIOLATE THE CAULKING MANUFACTURER'S INSTALLATION SPECIFICATIONS. CAULK TO FILL ALL GAPS AND CRACKS. FOAMS: -USE SPRAY, CLOSED CELL POLYURETHANE FOAMS FOR GAPS, CRACKS, AND SMALL HOLES FROM 1/2 INCH TO 3 INCHES. SELF ADHESIVE FLASHING SHALL ALSO BE USED WHERE APPROPRIATE. DO NOT USE IN OR AROUND FLAMMABLE OR POTENTIALLY FLAMMABLE LOCATIONS AND APPLICATIONS. WALLS ADJOINING UNCONDITIONED SPACE: -CONTINUOUS TOP AND BOTTOM PLATES SHALL BE INSULATED WITH AN AIR BARRIER ON THE UNCONDITIONED SIDE OF THE INSULATED WALLS, INCLUDING EXPOSED EDGES OF INSULATION AT JOISTS AND RAFTERS, WHERE TRUSS FRAMING IS USED. BLOCKING IS REQUIRED AT THE TOP AND BOTTOM OF EACH WALL/ ROOF SECTION. IN CLIMATE ZONES 1-5, AIR GAPS BETWEEN INSULATION AND OUTSIDE SHEATHING AT POP OUT OR DOUBLE WALL EXTERIOR WALL ASSEMBLIES SHALL HAVE AIR BARRIERS INSTALLED THAT ALIGN WITH THE EXPOSED EXTERIOR FACE OF THE INSULATION. NOTE: ALL MATERIALS SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.		

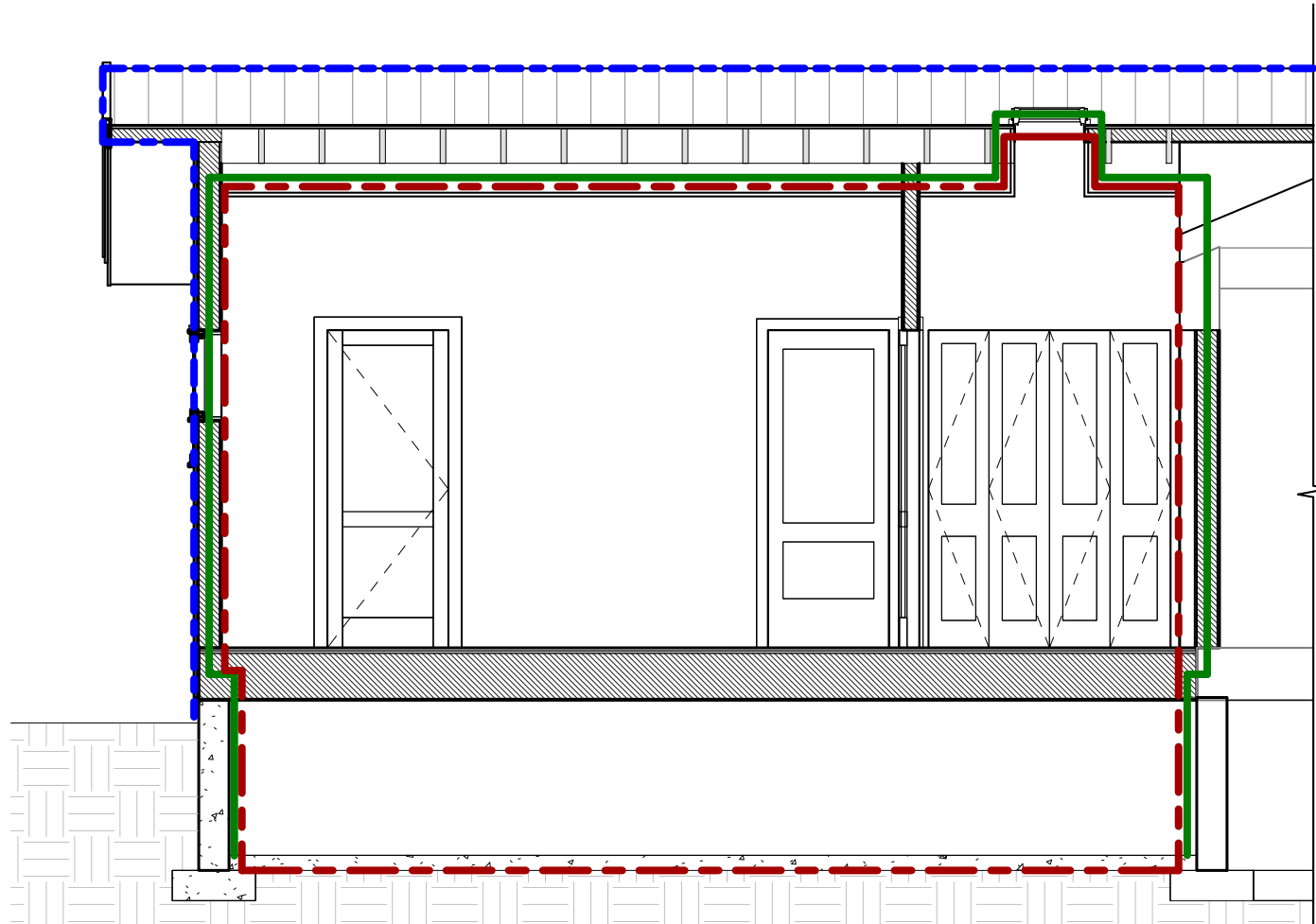
THERMAL / AIR BARRIER LEGEND	
1	INTERIOR AIR TIGHT ENVELOPE (4 MIL POLYETHYLENE VAPOR RETARDER MIN. 1/2" DRYWALL WITH 2 LAYERS OF LATEX PAINT. CAULK TO FLOOR SLAB AND ROOF SHEATHING OR DECKING)
2	INSULATING ENVELOPE (THERMAL) (INSULATE AROUND WOOD STRUCTURE AGAINST EXTERIOR WALL)
3	WEATHER RESISTANT BARRIER (WRB) (WRB LAYER IS TYVEK COMMERCIAL WRAP OR ZIP SHEATHING WITH JOINTS TAPED)



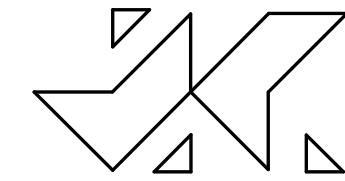
1 GROUND FLOOR PLAN
3/16" = 1'-0"



2 THERMAL/AIR BARRIER - BLDG SECTION FRONT PORCH
1/4" = 1'-0"



3 THERMAL/AIR BARRIER - BLDG SECTION MASTER BEDROOM
1/4" = 1'-0"



CREATIVE HOME DESIGN

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CLIENT:

LISA MAURER

LOCATION:

820 36th Street
Boulder, CO 80303

PROJECT STATUS:

CONSTRUCTION DOC.

DATE:

8/20/2022 4:59:18 PM

DESIGNED BY:

JESUS

DRAWN BY:

SOFIA

DIMENSION:

SQUARE FEET

MAURER ADDITION
820 36th Street
Boulder, CO 80303

REVIEWS	DESCRIPTION	
	NO.	DATE

SHEET / TITLE.

THERMAL/ AIR
BARRIER

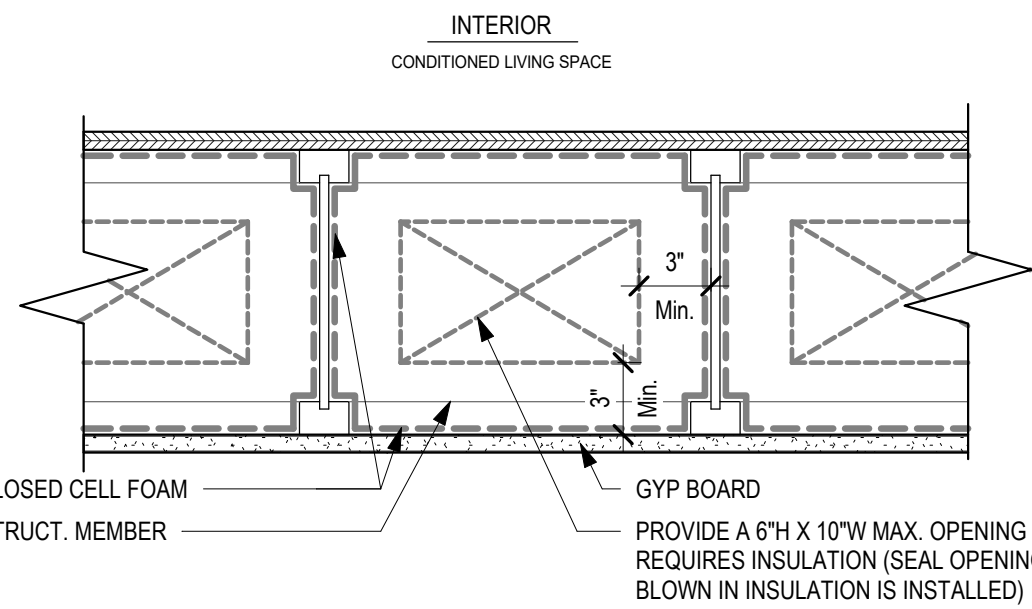
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A4.0

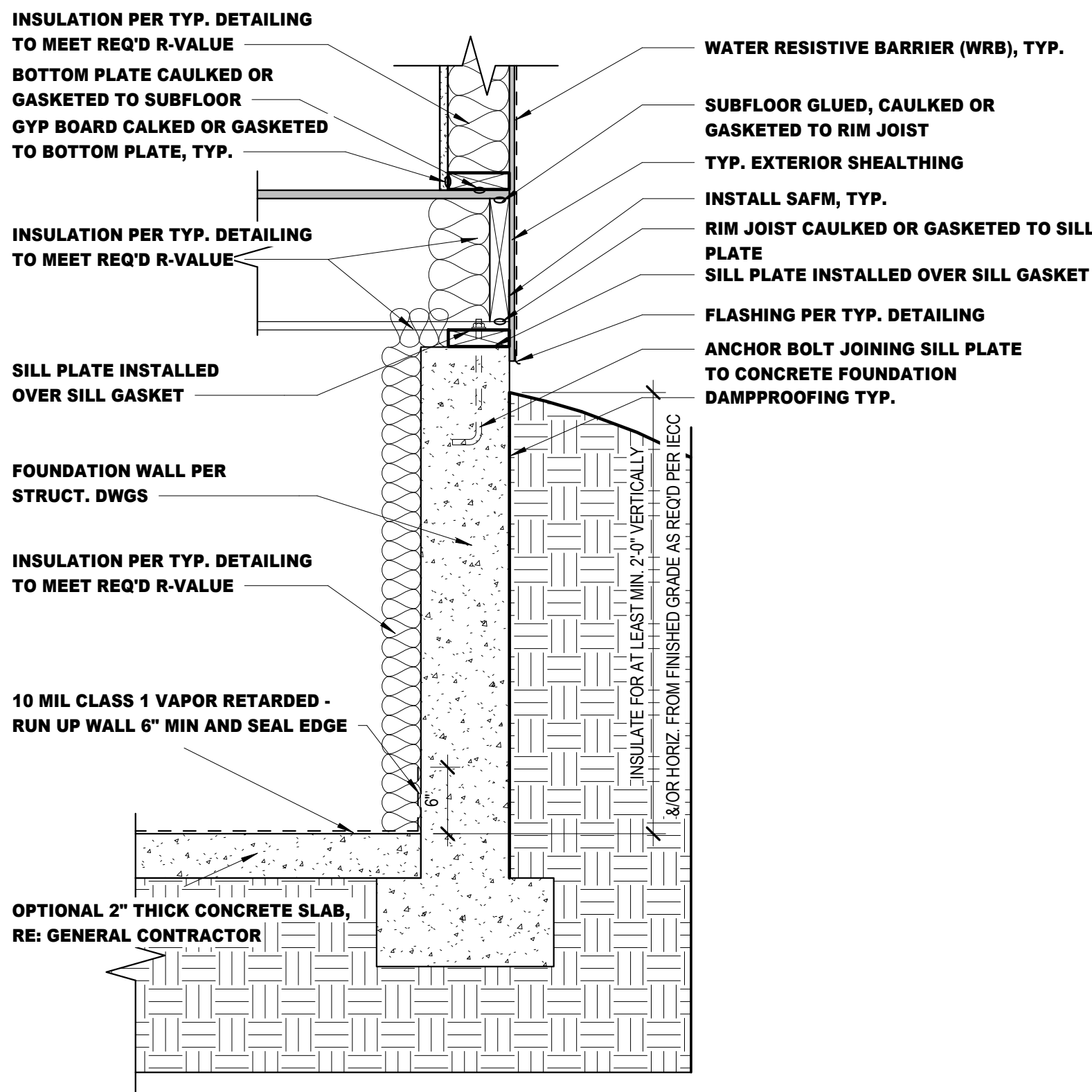
JULY 30, 2022

KEY:

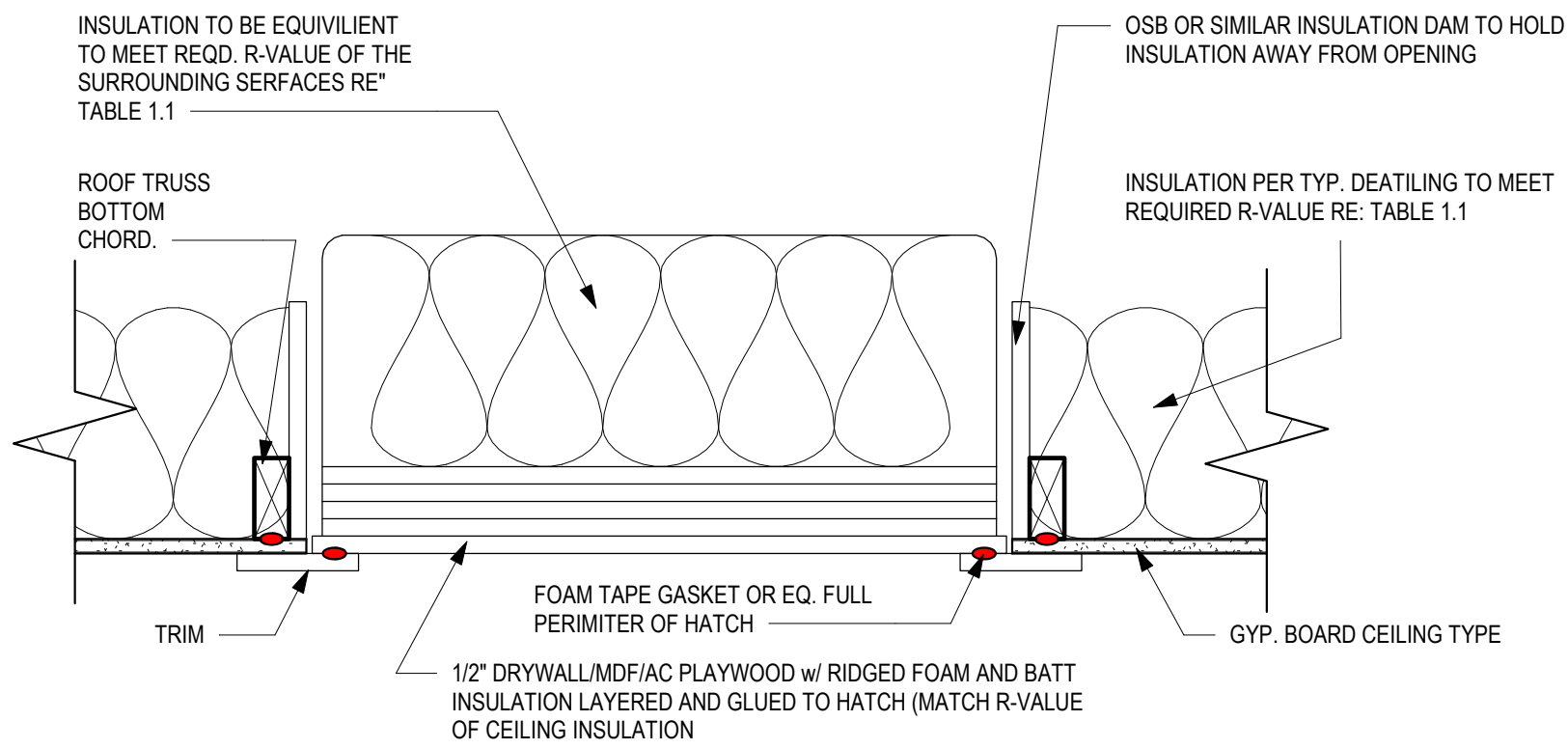
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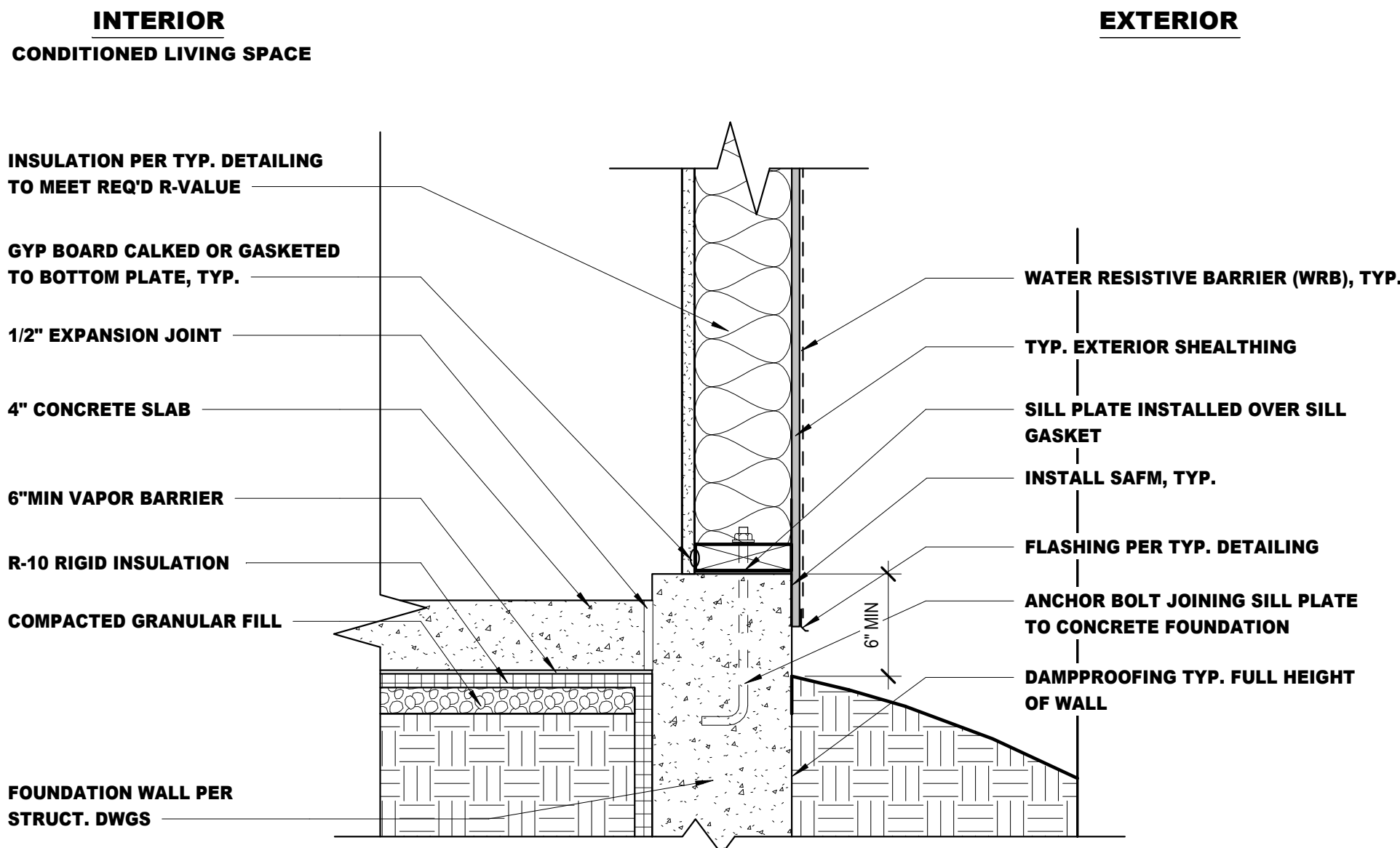
1 INSULATION ACCESS
1 1/2" = 1'-0"



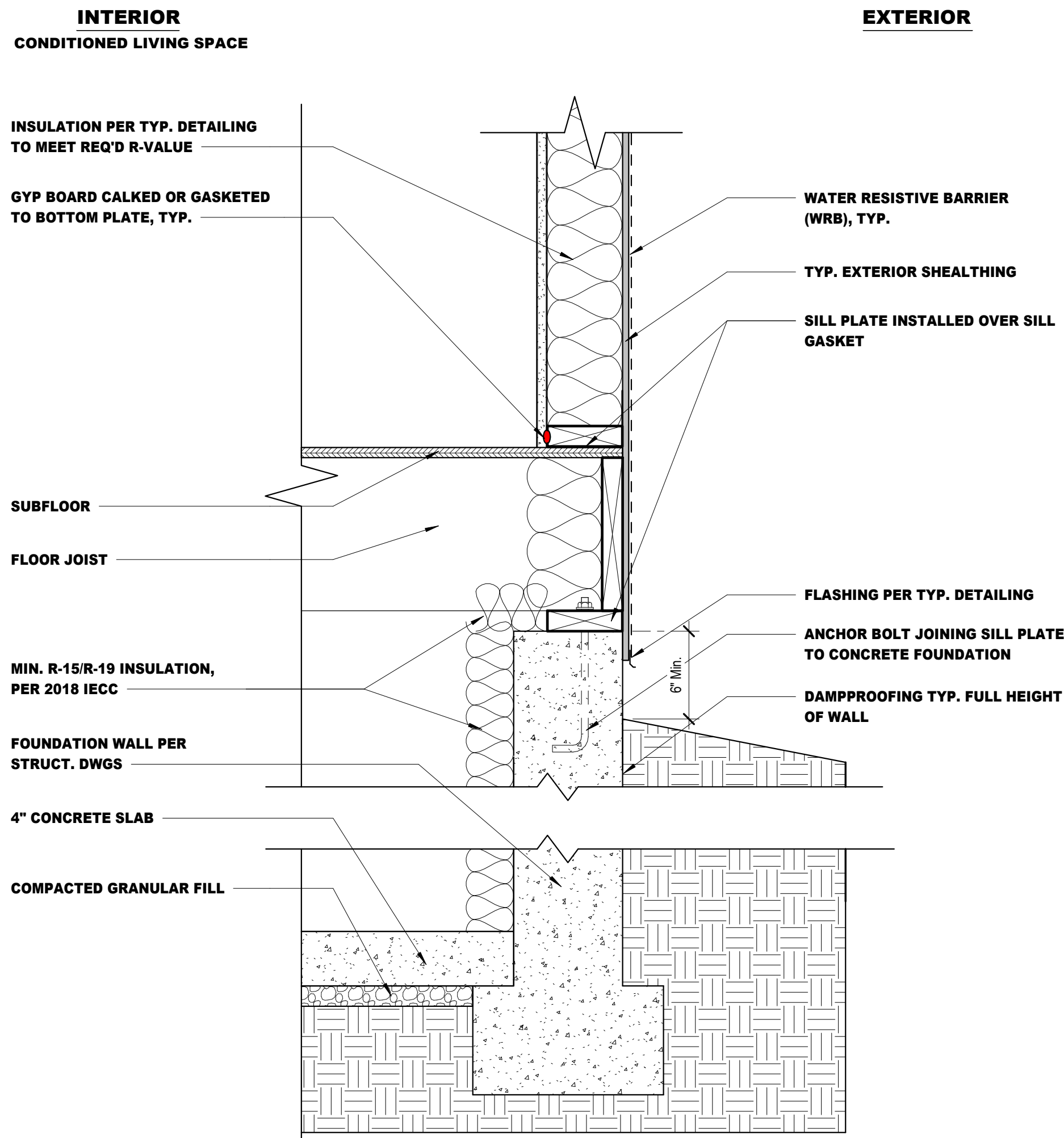
2 CRAWLSPACE DETAIL
1" = 1'-0"



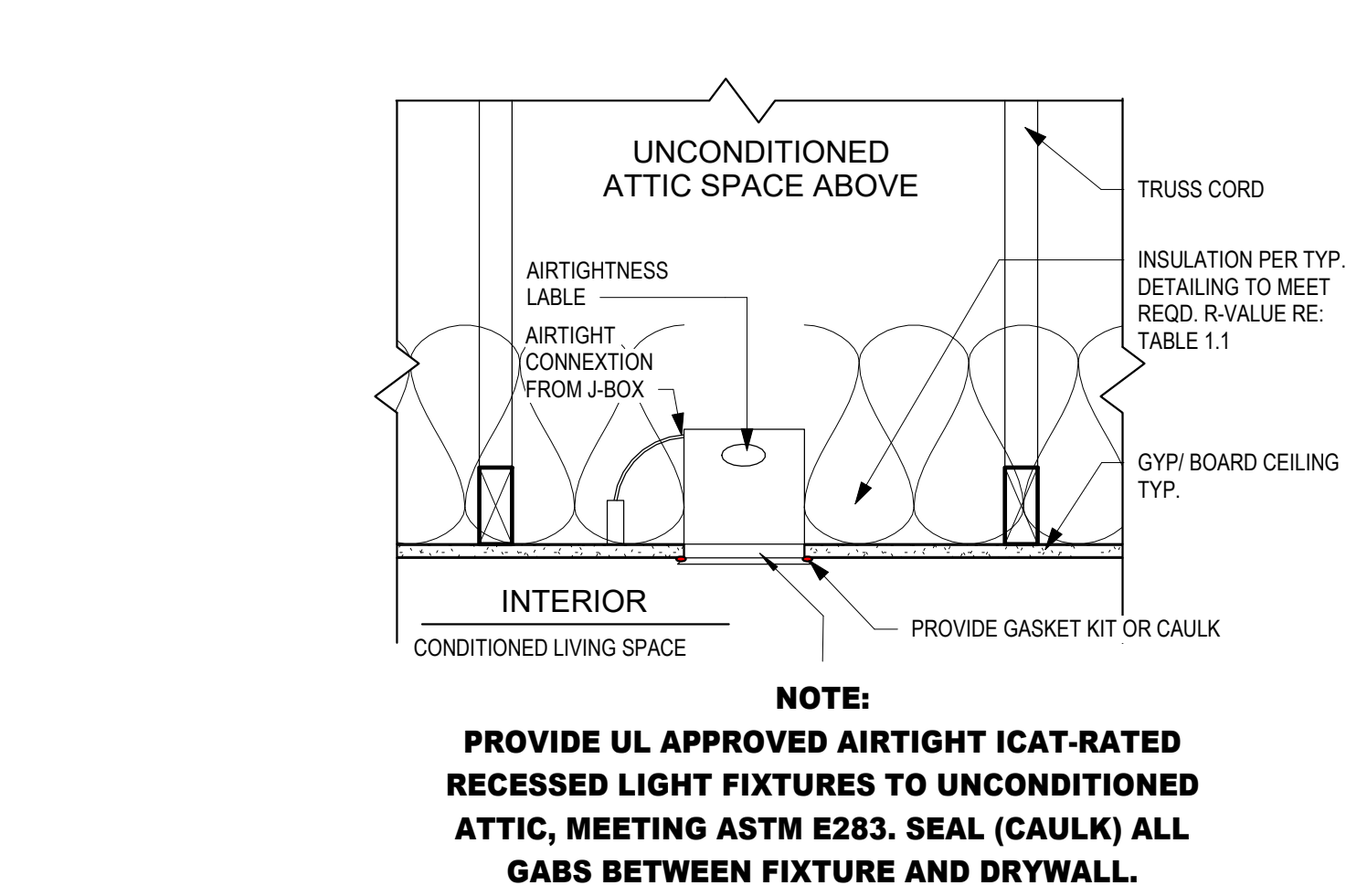
3 ATTIC ACCESS
1 1/2" = 1'-0"



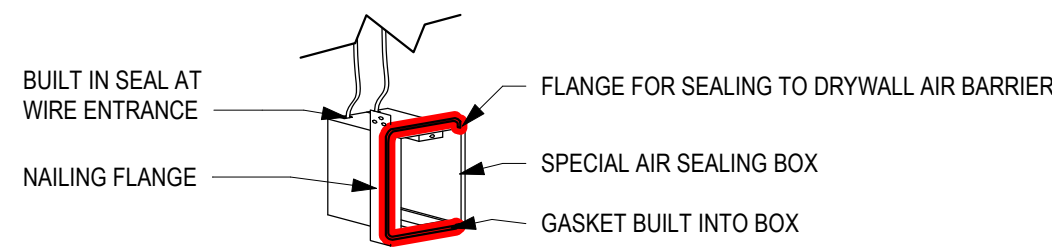
4 TYP. CONCRETE SLAB FLOOR TO WALL
1 1/2" = 1'-0"



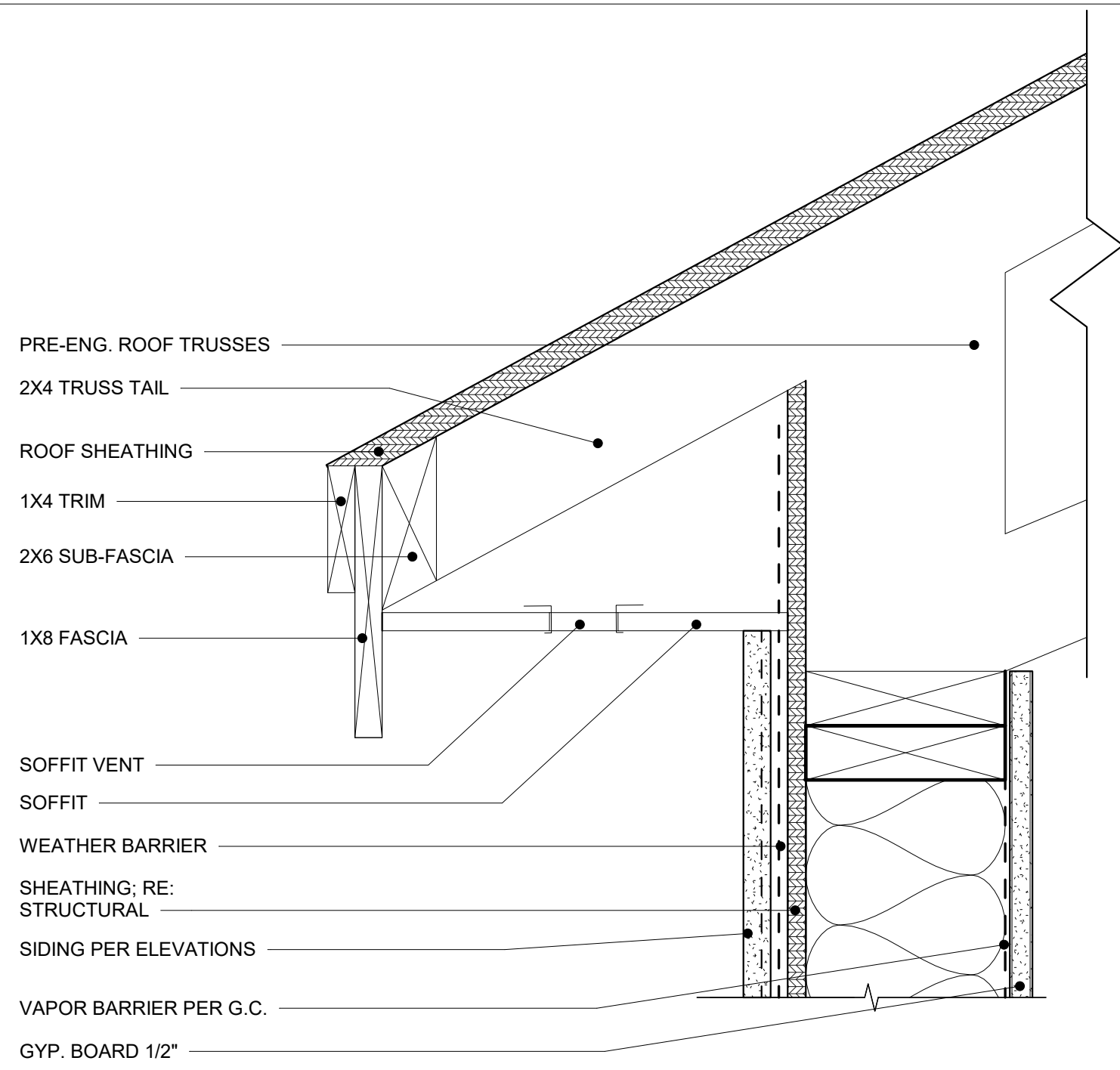
5 TYP. FLOOR
1 1/2" = 1'-0"



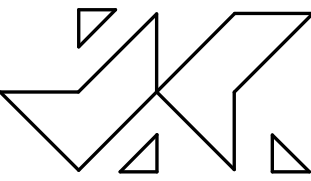
7 AIR SEALED CAN LIGHT
1 1/2" = 1'-0"



8 AIR SEALED ELEC. BOX AT EXT. WALLS
1 1/2" = 1'-0"



9 ROOF SOFFIT DETAIL SIDING
3" = 1'-0"



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CLIENT:

LISA MAURER

LOCATION:

820 36th Street
Boulder, CO 80303

PROJECT STATUS:

CONSTRUCTION DOC.

DATE:

8/21/2022 2:47:20 PM

DESIGNED BY:

JESUS

DRAWN BY:

SOFA

DIMENSION:

SQUARE FEET

MAURER ADDITION
820 36th Street
Boulder, CO 80303

REVIEWS	DESCRIPTION			
	NO.	DATE		

SHEET/ TITLE.

DETAILS

SHEET/NO.

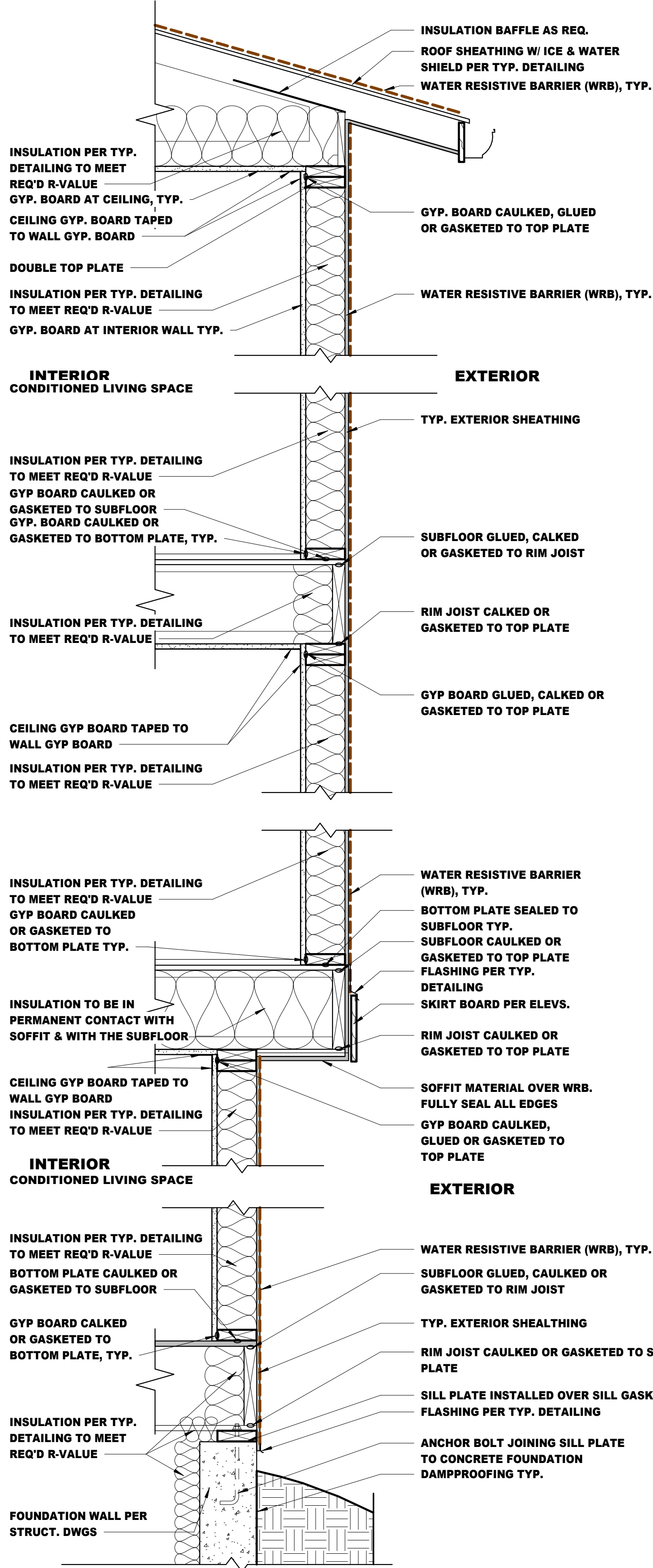
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JULY 30 2022

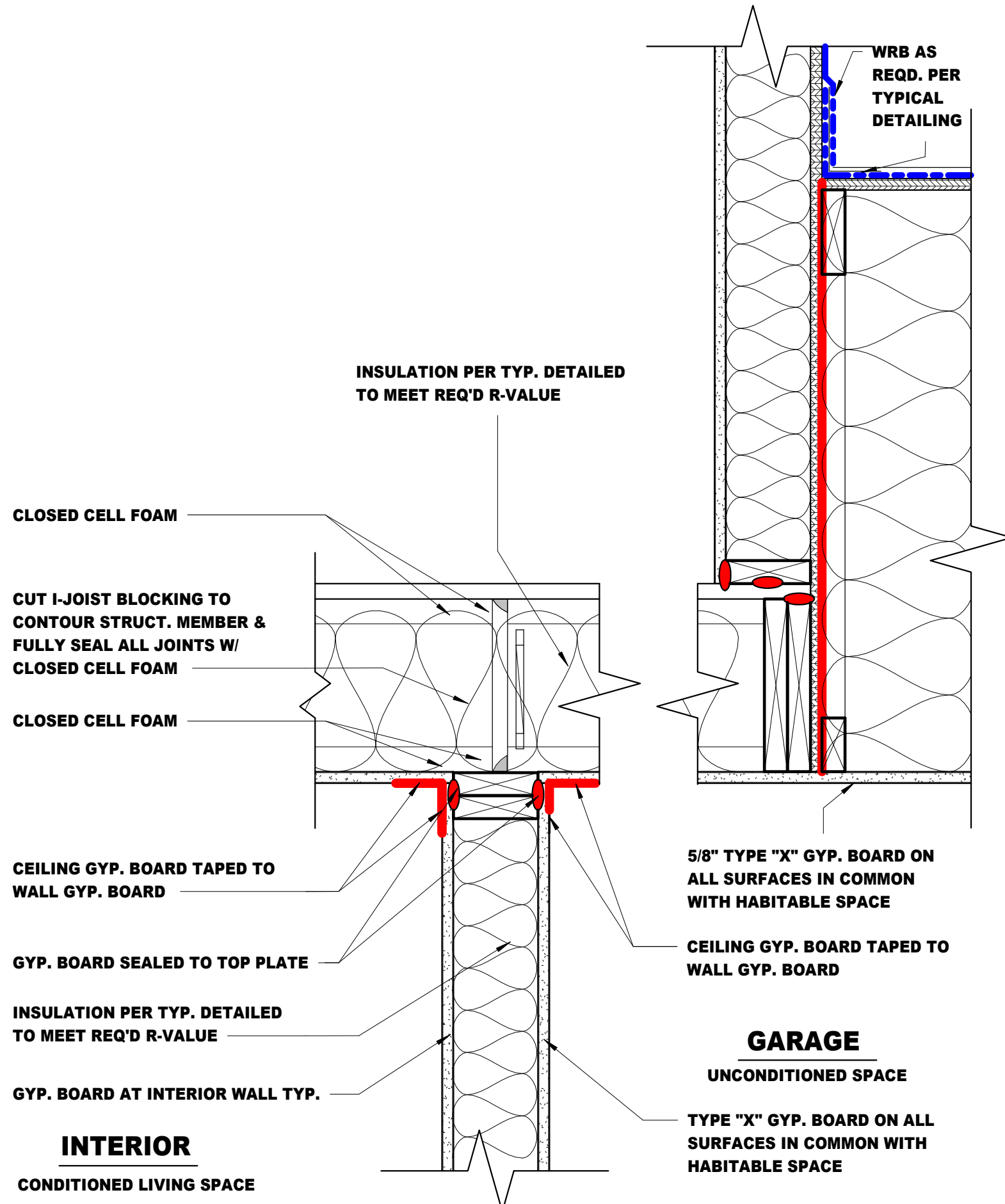
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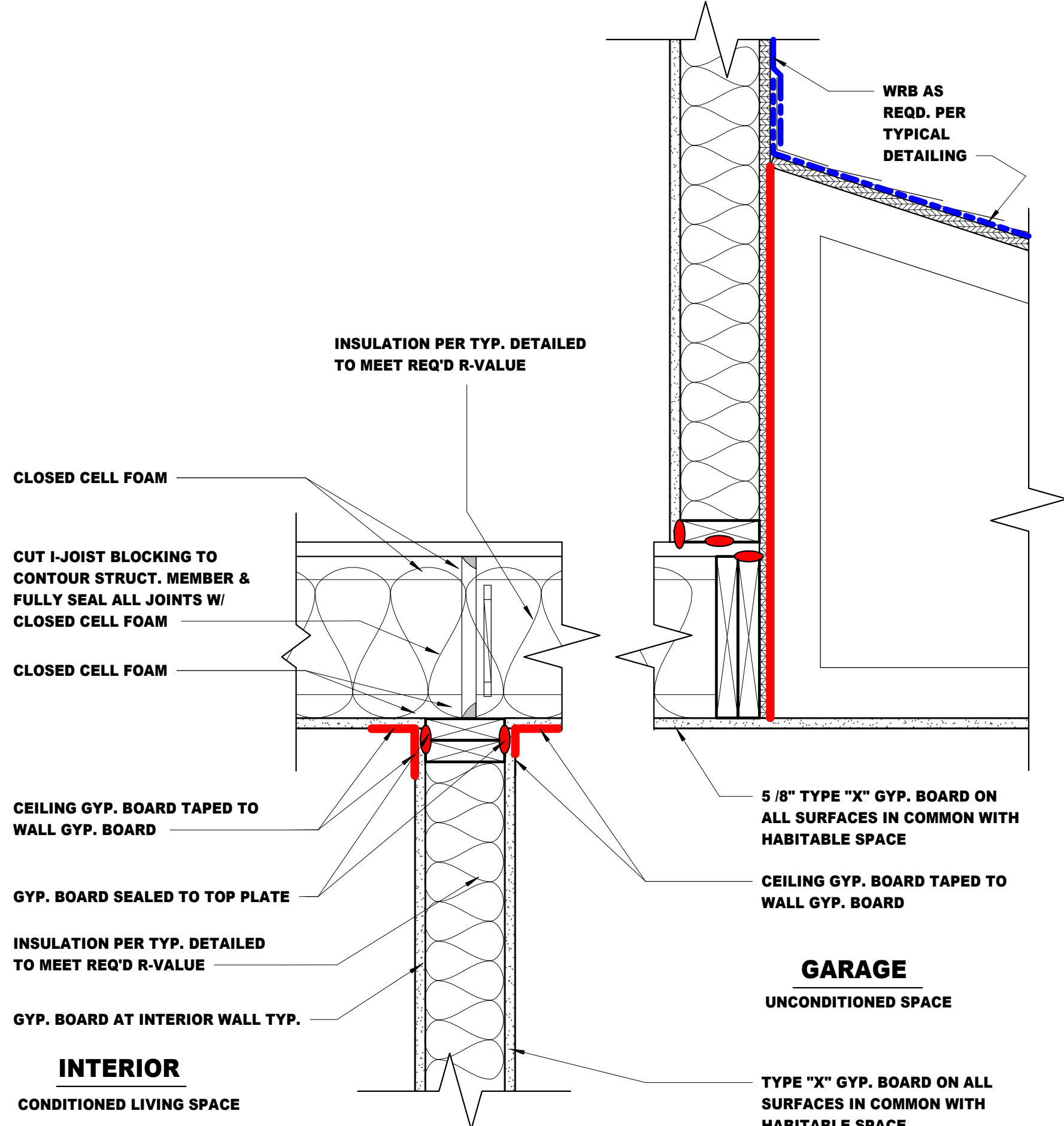
2 TYP. WALL- INTERIOR AIR BARRIER SEALING
1" = 1'-0"



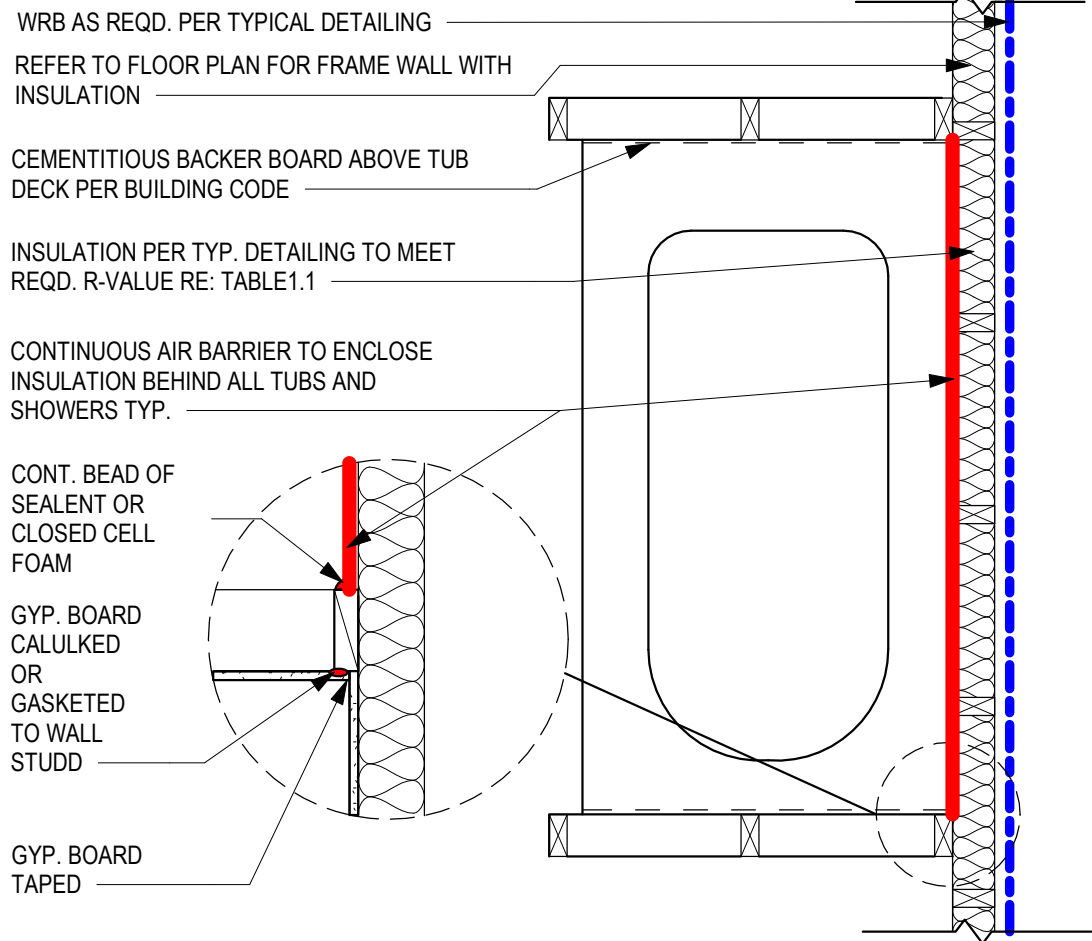
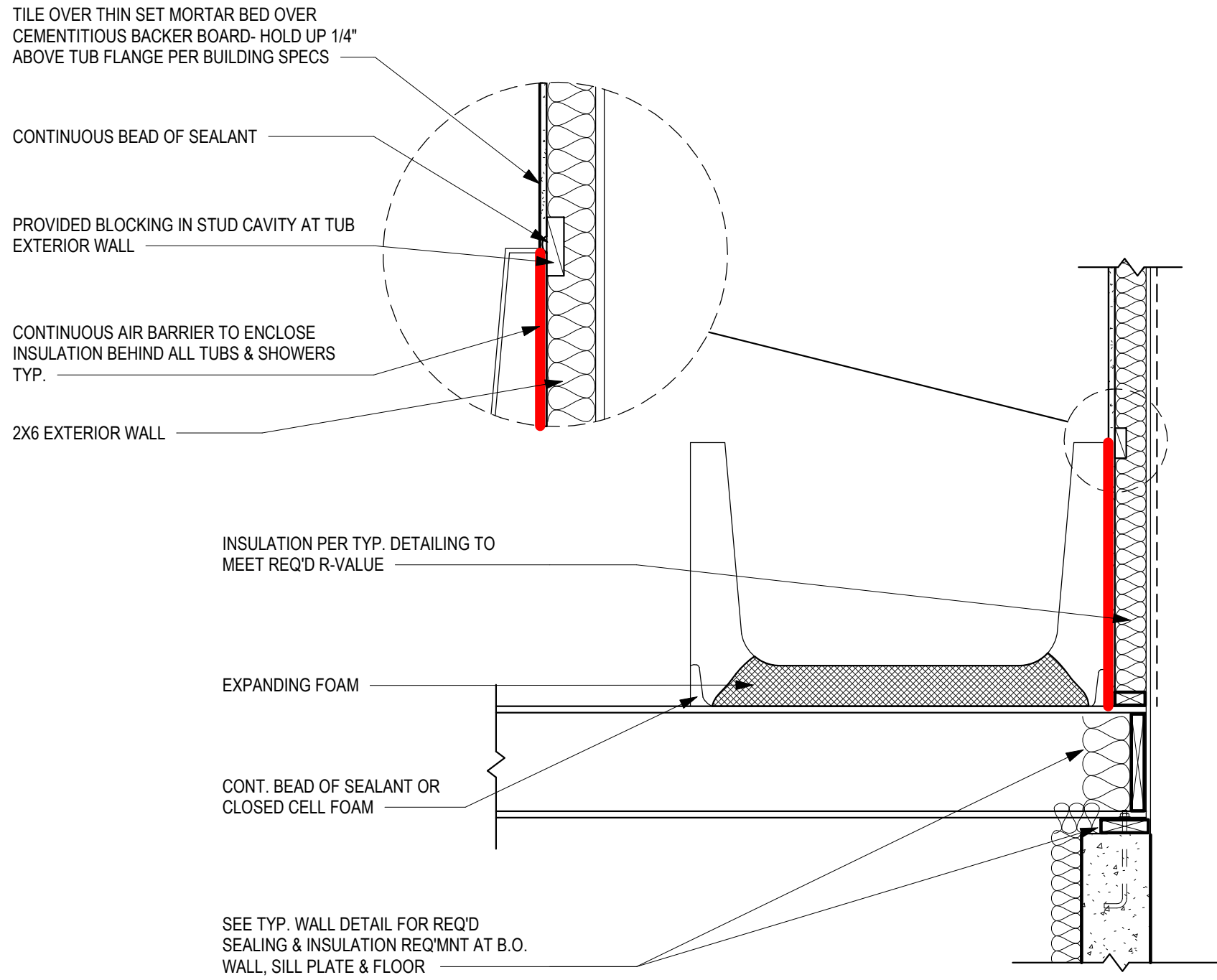
10 AIR BARRIER AT GARAGE TRUSSES PERPENDICULAR
1 1/2" = 1'-0"



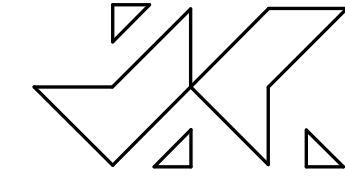
11 AIR BARRIER AT GARAGE TURSSES PARALLEL
1 1/2" = 1'-0"



13 TUB/SHOWER AT EXTERIOR WALL
3/4\"/>



NOTE:
CONSTRUCTION AND SUBSEQUENT INSPECTIONS ARE TO BE SEQUENCED SO THAT MANICIPALITIES AND/OR THIRD PARTY INSPECTORS ARE ABLE TO VERIFY PROPER INSULATION INSTALLATION



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LOCATION:
820 36th Street
Boulder, CO 80303

PROJECT STATUS:
CONSTRUCTION DOC.

DATE:
8/21/2022 2:47:21 PM

DESIGNED BY:
JESUS

DRAWN BY:
SOFIA

DIMENSION:
SQUARE FEET

MAURER ADDITION
820 36th Street
Boulder, CO 80303

REVISIONS	NO.	DATE	DESCRIPTION

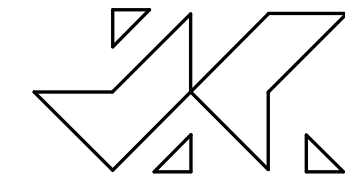
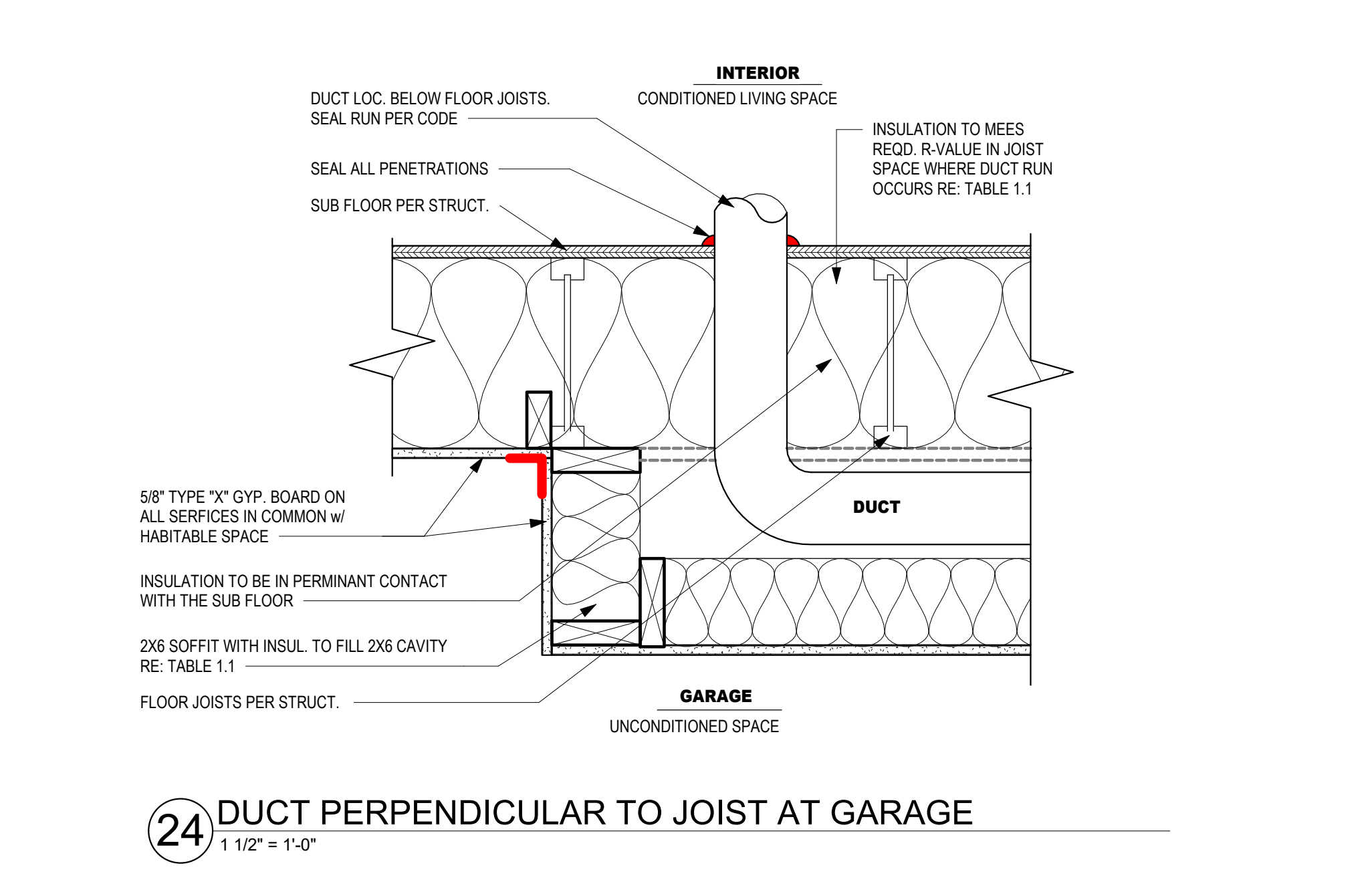
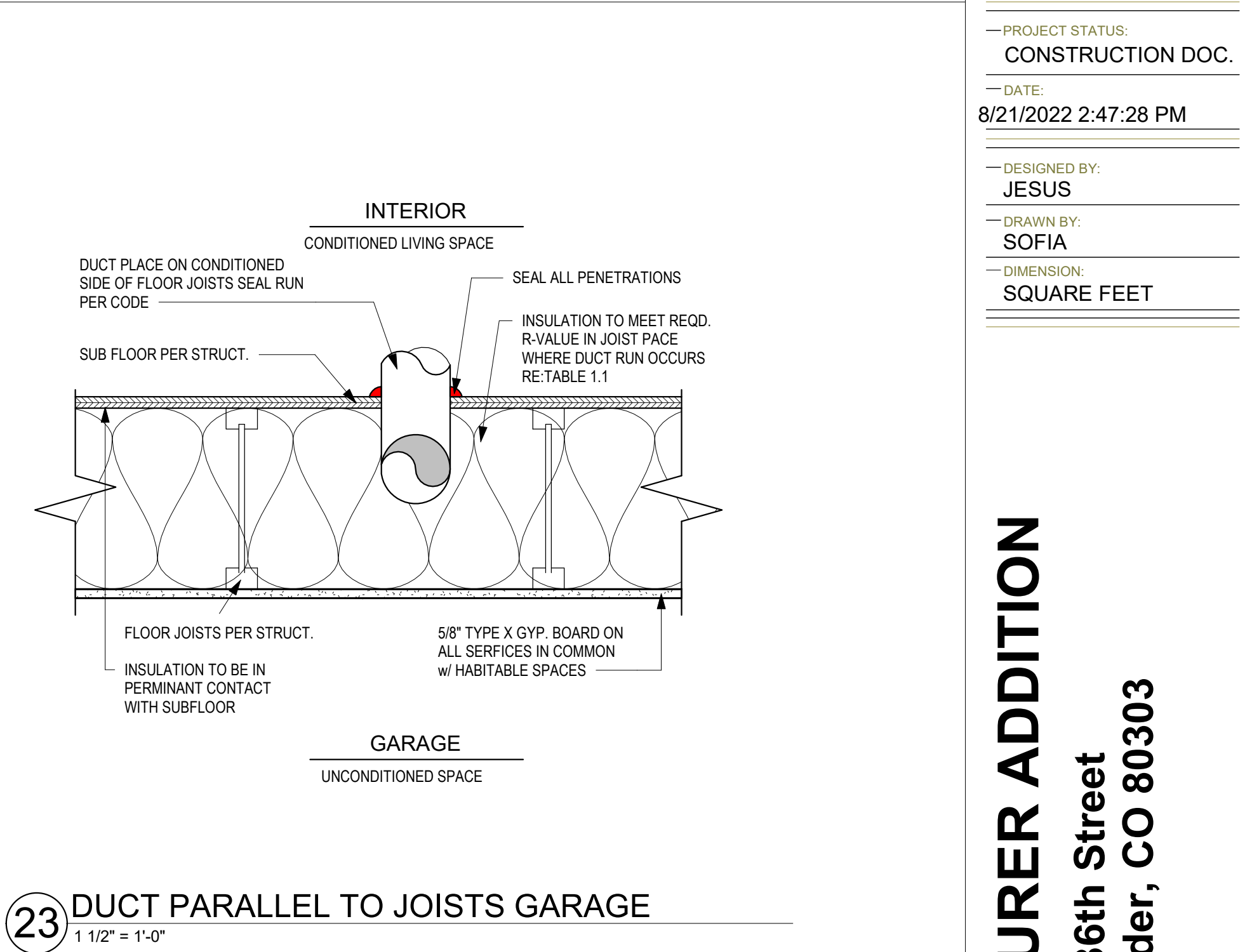
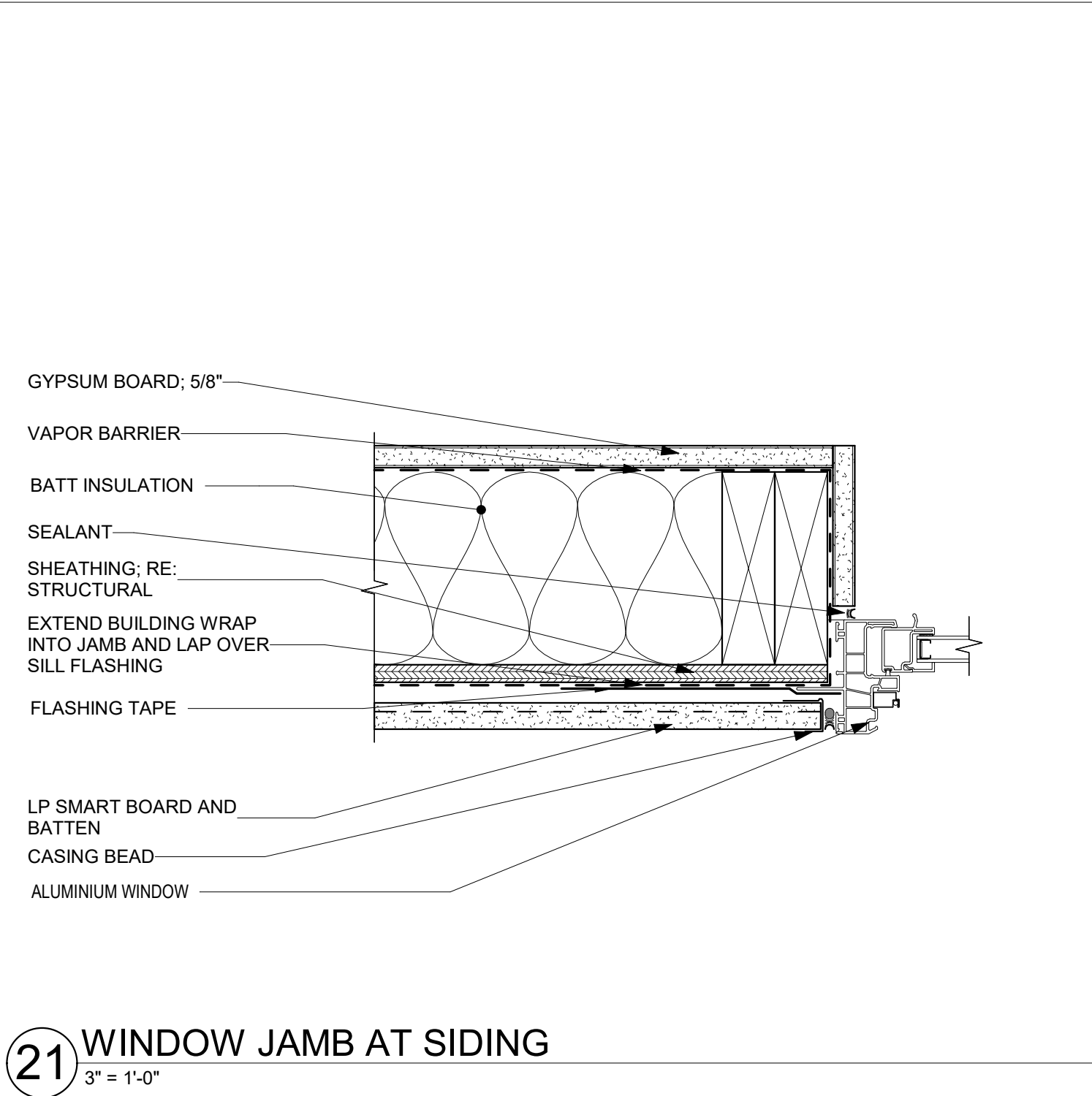
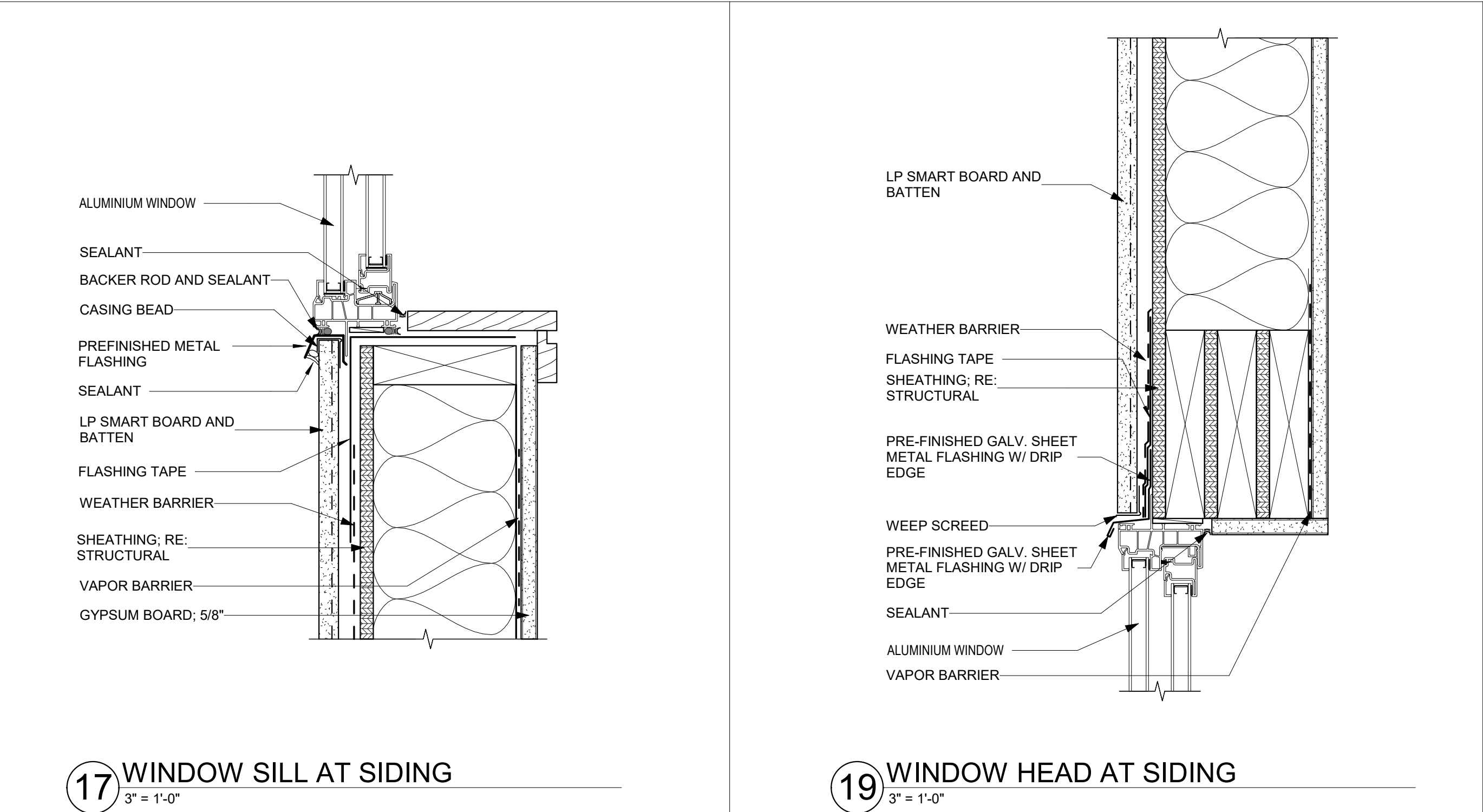
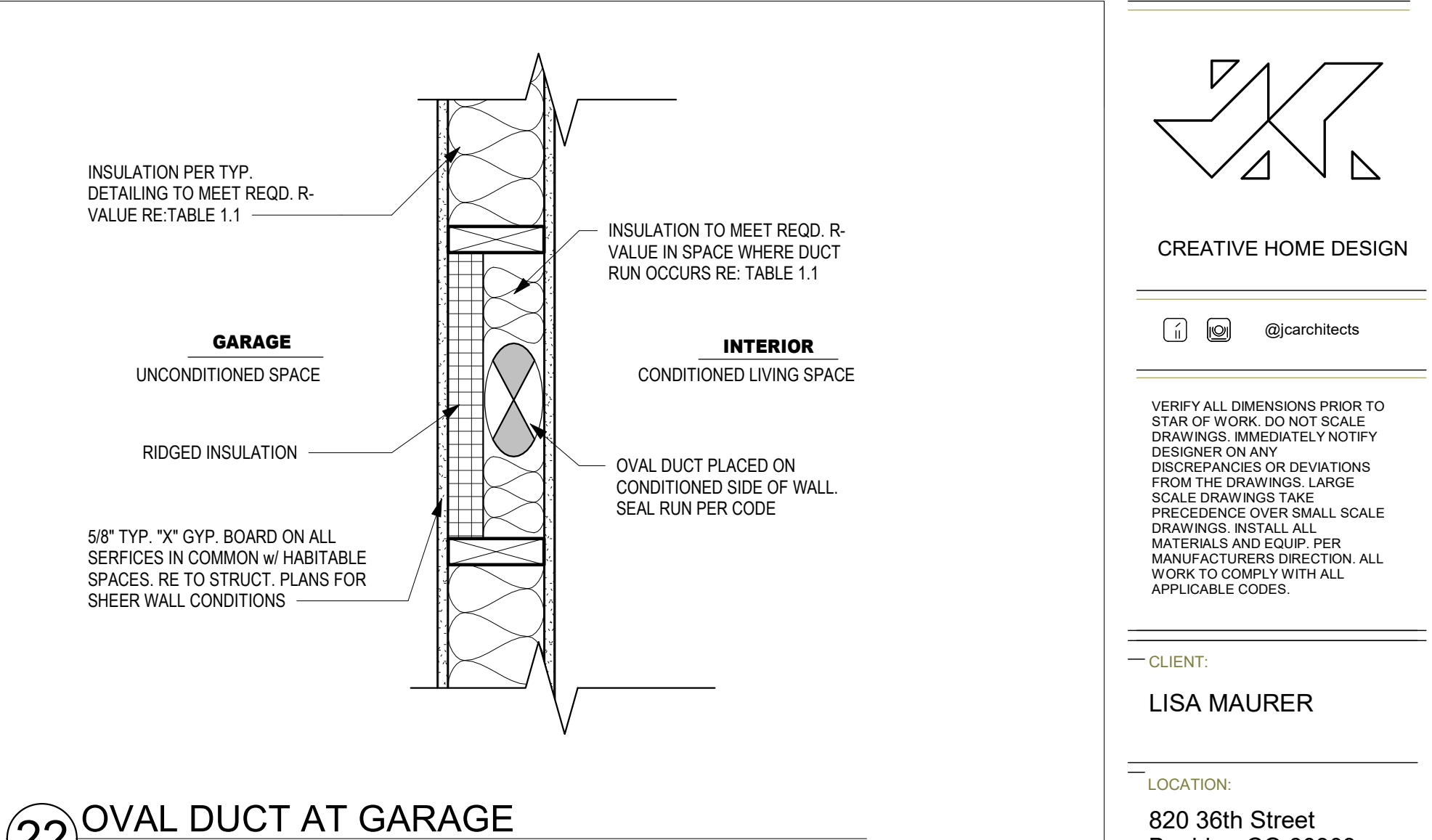
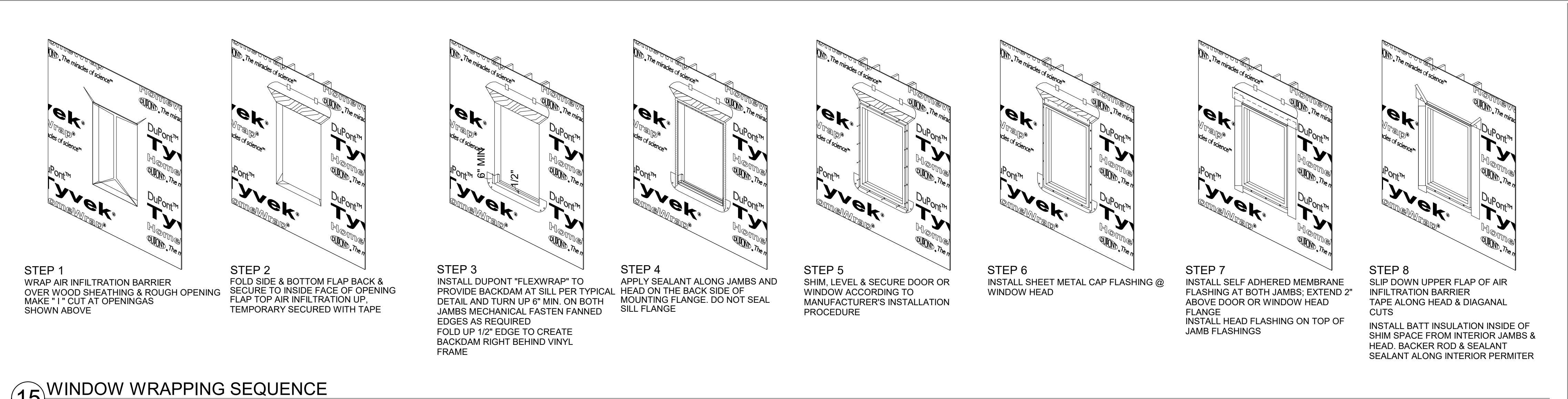
SHEET/ TITLE:
DETAILS 2

SHEET/NO.

A5.1

JULY 30 2022

NOTES:



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820 36th Street
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8/21/2022 2:47:28 PM

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DRAWN BY:
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DIMENSION:
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MAURER ADDITION
820 36th Street
Boulder, CO 80303

REVISIONS	DESCRIPTION	
	NO.	DATE

SHEET/ TITLE:
DETAILS 3

SHEET/NO.

A5.2

KEY:

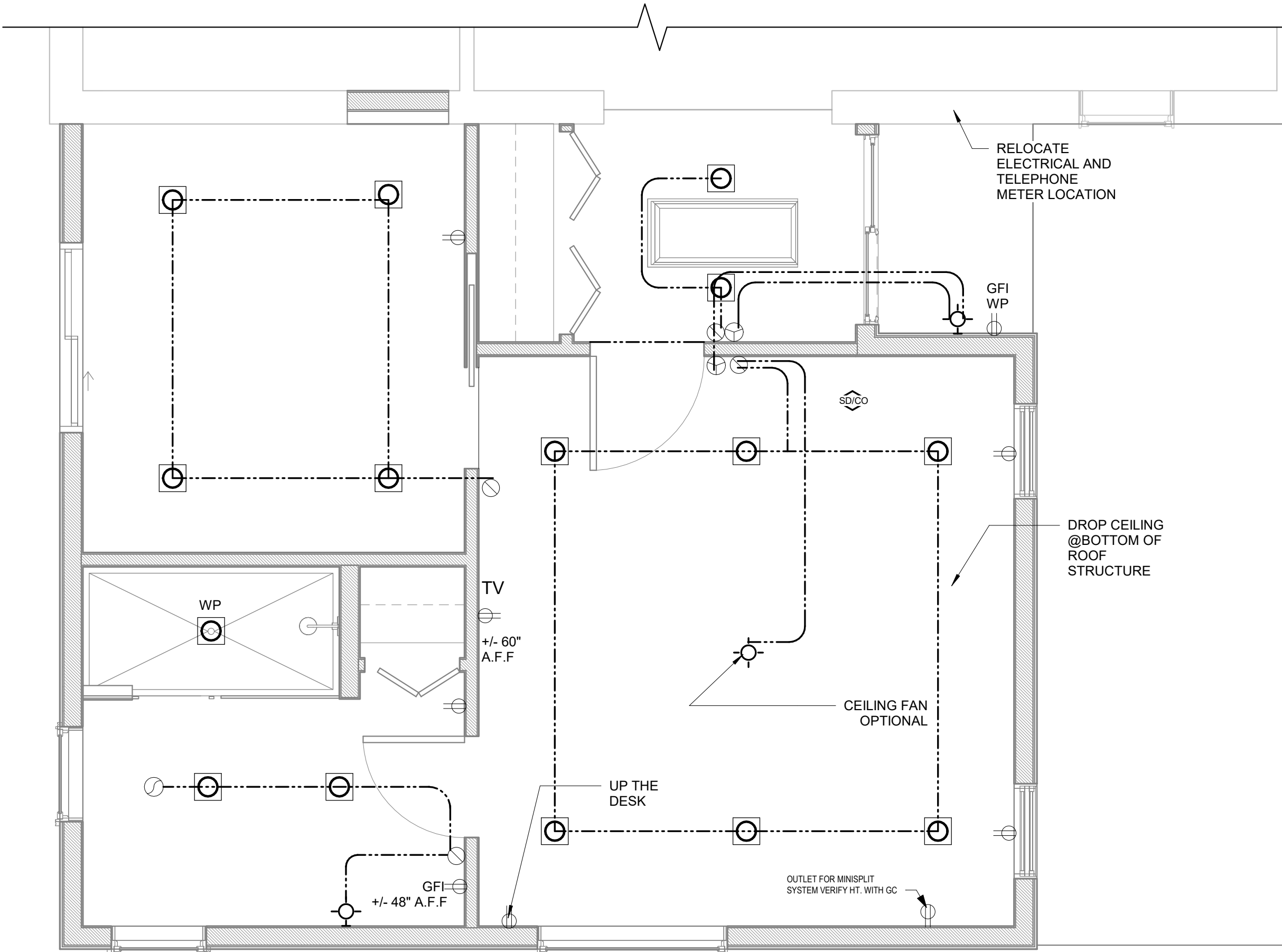
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JULY 30 2022

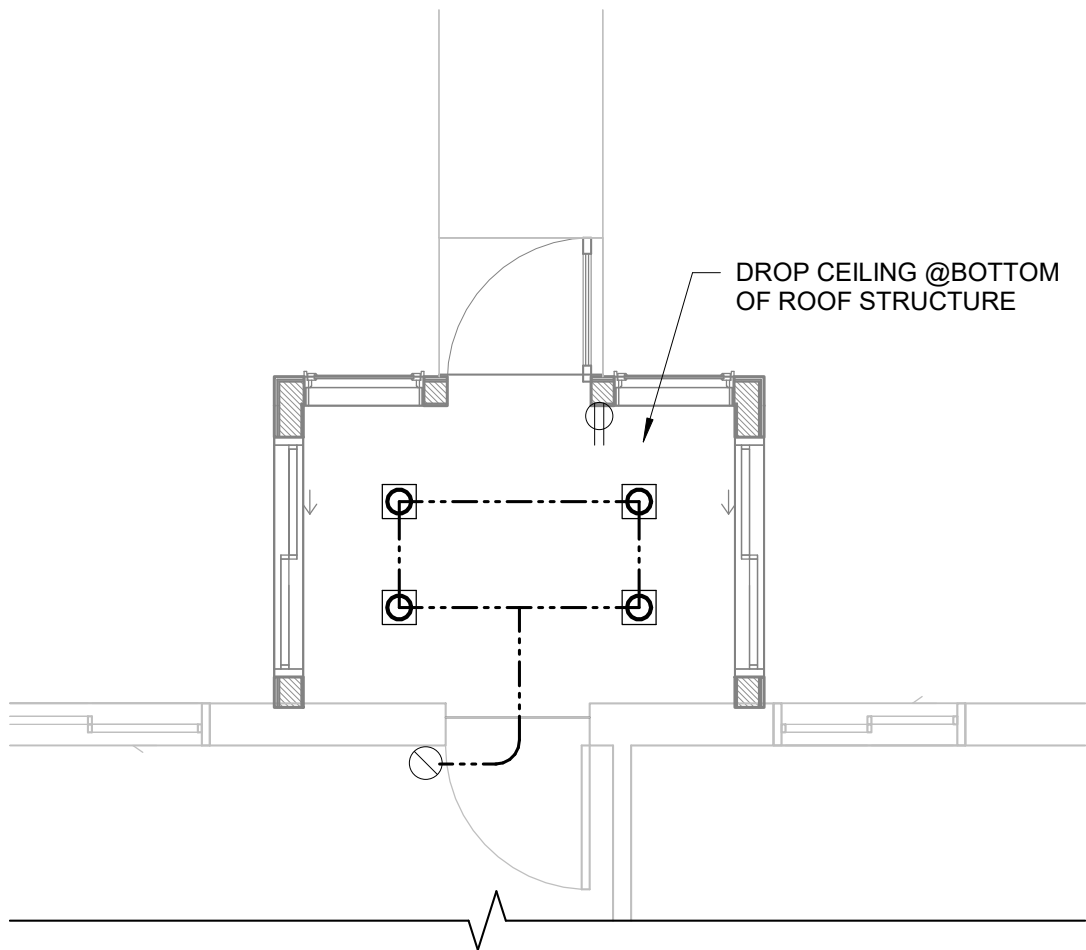
ELECTRICAL / MECHANICAL SYMBOLS	
SYMBOL	DESCRIPTION
	(E) TO REMAIN
	(E) TO BE DEMOLISHED
	NEW ELECTRICAL
LIGHTING	
	RECESSED INCANDESCENT
	SURFACE INCANDESCENT
	FLUORESCENT LIGHT
	FLOOD LIGHT
	JUNCTION BOX
	CEILING FAN
	CEILING FAN W/ LIGHT
	LOW VOLTAGE SPOT
	LOW VOLTAGE LANDSCAPE LIGHT
	LOW VOLTAGE STEP LIGHT
OUTLETS	
	DUPLEX RECEPTACLE
	QUADRUPLEX RECEPTACLE
	RECEPTACLE -SPLIT WIRED
	FLOOR RECEPTACLE
	RECEPTACLE 240 V
	PLUG MOLD
	SPECIAL PURPOSE CONNECTION
	DATA OUTLET
	TELEPHONE OUTLET
	CABLE TV OUTLET
CONTROLS	
	PUSH BUTTON
	SPEAKER VOLUME CONTROL
ELEC. DEVICES	
	EXHAUST FAN
	SMOKE DETECTOR
	SMOKE/CARBON MONOXIDE DETECTOR
	BELL
	SPEAKER
	SECURITY
	EXIT LIGHT
	POWER / DISTRIBUTION PANEL
SWITCHES	
	SINGLE POLE SWITCH
	3 WAY SWITCH
	DIMMER SWITCH
	3 WAY DIMMER SWITCH
	TIMER SWITCH
	KEY SWITCH
	FAN SPEED CONTROL SWITCH
	SWITCH W/OCCUPANCY SENSOR
	SWITCH TO J-BOX
MECHANICAL	
	THERMOSTAT
	SUPPLY
	FLOOR SUPPLY
	RETURN
	GAS
	HOSE BIB
	CENTRAL VACUUM
ABBREVIATIONS	
WP	WEATHER PROOF
GFI	GROUND FAULT INTERRUPT
PS	PULL SWITCH
LV	LOW VOLTAGE
X	EXISTING
LX	EXISTING LOCATION

ELECTRICAL

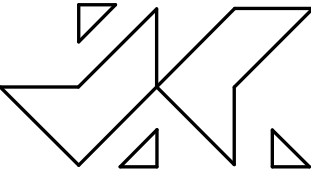
- ELECTRICAL PLANS ARE DIAGRAMMATIC, FOR BID PURPOSE ONLY. ELECTRICIAN TO SECURE ALL PERMITS AND ENSURE COMPATIBILITY WITH ALL RECOGNIZED LOCAL
- RECESSED FIXTURES SET INTO SLOPED CEILING TO BE ANGLED FOR SLOPED CEILING
- POWER TO BE PROVIDED TO ALL KITCHEN AND BATHROOM EQUIPMENT AS NECESSARY. GENERAL CONTRACTOR TO COORDINATE WITH OWNER TO DETERMINE EXACT EQUIPMENT
- ADDITIONAL ELECTRICAL EQUIPMENT TO COMPLY W/ CODE REQUIREMENTS PER
- OWNER TO CONFIRM ALL SWITCHING TYPES AND LOCATIONS PRIOR TO
- ELECTRICIAN TO COORDINATE WITH MECHANICAL INSTALLER AND PLUMBER AND PROVIDE
- ALL ELECTRICAL OUTLETS TO BE PROTECTED WITH ARC-FAULT INTERRUPT CIRCUIT BREAKER. UNLESS HIGHER LEVEL OF PROTECTION IS REQUIRED BY CODE (EG.-GFI) OR AS INDICATED
- ALL RECESSED CAN LIGHT FIXTURES TO BE SEALED AND INSULATION CONTACT
- GENERALLY, LIGHT FIXTURES SHOWN ON PLANS ARE IN ALIGNMENT ALONG MAJOR AXES.
- ELECTRICIAN TO INSTALL ALL BOXES FOR ONSITE REVIEW WITH OWNER FOR LOCATIONS PRIOR TO INSTALLING WIRE AND EQUIPMENT.
- ALL CHANDELIER'S INDICATED ON PLANS TO INCLUDE ADEQUATE BLOCKING TO SUPPORT



1 ELECTRICAL PLAN - FIRST FLOOR
3/8" = 1'-0"



2 ELECTRICAL PLAN - FRONT PORCH
1/4" = 1'-0"



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LISA MAURER

LOCATION:
820 36th Street
Boulder, CO 80303

PROJECT STATUS:
CONSTRUCTION DOC.

DATE:
8/21/2022 2:20:18 PM

DESIGNED BY:
JESUS

DRAWN BY:
SOFIA

DIMENSION:
SQUARE FEET

MAURER ADDITION
820 36th Street
Boulder, CO 80303

REVISIONS		DESCRIPTION
NO.	DATE	

SHEET/ TITLE.
ELECTRICAL
PLANS

SHEET/NO.

E1.0

KEY:

NOTES:

JULY 30 2022

Maximum Floor Area Ratio (FAR) and Building Coverage Worksheet

Applicants for new residential construction and additions in the **RR-1, RR-2, RE, and RL-1** zoning districts, and applicants for new residential construction and additions for single family dwellings in the **RL-2 and RMX-1** zoning districts, including both principal and accessory buildings, are required to complete and submit this worksheet with your building permit application.

Calculate the Maximum Floor Area and Building Coverage for your lot:

Zoning District	Lot Area	Maximum Floor Area (sf)	Maximum Building Coverage (sf)
RL-1	7,168 sf+/-	3,534 S.F.	2,484 S.F.

Calculate the total Floor Area for your project:

Floor Area as Defined in 9-16-1, B.R.C. 1981				Amount of Floor Area that contributes to max FAR	
	Existing (sf)	Proposed (sf)	Total (sf)		
Level 1	+/- 1,275 S.F.	605 S.F.	+/- 1,880 S.F.	Perimeter above 36"	3,534 S.F.
Level 2				High Volume Space (sf)	
Level 3				High Volume Space (sf)	
Level 4				High Volume Space (sf)	
Accessory 1					
Accessory 2					
Accessory 3					
TOTAL			+/- 1,880 S.F.	FAR	:1

Calculate the total Building Coverage for your project:

Building Coverage as Defined in 9-16-1, BRC 1981					
	Existing (sf)	Proposed (sf)	Total (sf)		
Principal	+/- 1,275 S.F.	605 S.F.	+/- 1,880 S.F.	Front porch total area	
Accessory 1				Additional porch total area	
Accessory 2					
Accessory 3					
TOTAL			+/- 1,880 S.F.		

In general, projects with contributing floor area or building coverage that is greater than 80% of the allowed maximum will require detailed and dimensioned building plans showing floor area and building coverage calculations for each building on the lot, including accessory buildings, and will be required to use an Improvement Survey Plat (I.S.P.) or Land Survey Plat (L.S.P.) to determine lot area. Projects that are permitted to use an Improvement Location Certificate (I.L.C.) will be required to submit a supplemental Lot Area Declaration Form, signed by a licensed surveyor, architect, or engineer.

Building Area Declaration:

I, the undersigned, take full responsibility for the accuracy and completeness of the above information. I understand that incomplete or inaccurate information may result in significant delays in the issuance of a building permit, or the possible revocation of a building permit.

Print Name: Jesus Cordova Signature: 

Title: (e.g. Owner, Architect, Contractor, etc.) Designer Date: 10/21/2022

Excerpt from 9-16-1, "Definitions", B.R.C. 1981:

"Floor area" means the total square footage of all levels measured to the outside surface of the exterior framing, or to the outside surface of the exterior walls if there is no exterior framing, of a building or portion thereof, which includes stairways, elevators, the portions of all exterior elevated above grade corridors, balconies, and walkways that are required for primary or secondary egress by chapter 10-5, "Building Code," B.R.C. 1981, storage and mechanical rooms, whether internal or external to the structure, but excluding an atrium on the interior of a building where no floor exists, a courtyard, the stairway opening at the uppermost floor of a building, and floor area that meets the definition of uninhabitable space.

"Uninhabitable space" means a room or portion thereof that is six feet or less in floor to ceiling height, or a room solely used to house mechanical or electrical equipment that serves the building, including, without limitation, heating, cooling, electrical, ventilation and filtration systems, or any parking facility located completely below grade on all sides of the structure regardless of the topography of the site.

"Building coverage" means the maximum horizontal area within the outer perimeter of the building walls, dividers, or columns at ground level or above, whichever is the greater area, including, without limitation, courts and exterior stairways, but excluding:

- (1) Uncovered decks, stoops, patios, terraces, and stairways all less than thirty inches high;
- (2) The outer four feet of completely open, uncovered, cantilevered balconies that have a minimum of eight feet vertical clearance below;
- (3) Up to three hundred square feet of a single-family detached residence front porch that is adjacent to a street; and
- (4) Up to one hundred fifty square feet of additional porch area not located in the front yard for single-family detached residence.
- (5) One accessory building, no larger than eighty square feet size and no taller than ten feet in height, associated with a single-family detached residence.



Calculation Worksheet Storm Water and Flood Management Fee and Plant Investment Fee (PIF)

A storm water/flood Plant Investment Fee (PIF) is charged for properties that **increase** the amount of impervious area on the property (Boulder Revised Code section 11-5-9). Impervious area is the portion of the property that does not absorb storm water/rain runoff including building coverage and other hard surface areas (such as parking areas, driveways, patios and sidewalks). The storm water/flood PIF is used toward the construction, operation, maintenance and replacement of the storm water and flood management system. In order to assist the review staff in accurately calculating the storm water / flood PIF, please provide the following information about the impervious area on your property as part of your building permit application.

If your project doesn't involve any increase in impervious area (i.e., interior remodel, tenant finish, second story addition), this form does not apply.

Property Address: _____

Box A - Existing lot area

Existing Lot Area	_____ sq. ft.
-------------------	---------------

Currently developed lots will be credited the square footage of existing impervious area. If this applies, please provide both the existing impervious area information in Box B and the total proposed impervious area information in Box C. For vacant lots, fill out the information in Box C only.

Box B - Existing impervious area (if applicable)

Principal Building Coverage (include attached garage/carport)	_____ sq. ft.
Hard Surface Driveways / Parking Areas	_____ sq. ft.
Sidewalks	_____ sq. ft.
Covered / Hard Surface Patios	_____ sq. ft.
Detached Garage / Carport / Sheds	_____ sq. ft.
Total Existing Impervious Area	_____ sq. ft.

Box C – Total proposed impervious area (existing to remain + new)

Principal Building Coverage (include attached garage/carport)	_____ sq. ft.
Hard Surface Driveways / Parking Areas	_____ sq. ft.
Sidewalks	_____ sq. ft.
Covered / Hard Surface Patios	_____ sq. ft.
Detached Garage / Carport / Sheds	_____ sq. ft.
Total Proposed Impervious Area	_____ sq. ft.

I, the undersigned, attest to the accuracy and completeness of the above information.

Jesus Cordova

Applicant / Agent

10/10/2022

Date



City of Boulder Planning and Development Services Center PLUMBING FIXTURE COUNT & IRRIGATION FORM

BLD- _____

Property Address _____ 820 36th Street Boulder, CO 80303

☒ **Residential** ☐ **Non-Residential** ☐ **Mixed-Use** (Use upper and lower part of table for Non-Residential.)

☐ **25% AWC** ☐ **50% AWC** ☐ **85% AWC** (New Non-Residential or Mixed-Use construction shall select an annual water budget. Reference the Schedule of Fees or the Plant Investment Fee Worksheet for details.)

Irrigable Area _____ s.f. (Only applies for new construction or when an irrigation meter is added to an existing development. There is a 2,000 square foot minimum unless this permit is part of a block in a larger project with a separate irrigation meter. The water budget for irrigation and the plant investment fee will be based upon this number.)

Gallon Per Minute Demand of Largest Irrigated Zone _____ g.p.m. (Only applies for a new separate irrigation meter.)

******* ALL FIXTURES FOR THE ENTIRE BUILDING MUST BE INCLUDED *******

TYPE OF FIXTURE	EXISTING FIXTURES*	FIXTURES TO BE REMOVED*	NEW FIXTURES*	(FOR STAFF USE ONLY)
RESIDENTIAL OR NON-RESIDENTIAL				
Tank Toilet	1		1	
Bathtub / Bathtub Shower Combo	1			
Shower Stall (per head)			1	
Sink (Bath, Hand, Bar, Lab)	1		1	
Sink (Kitchen/Compartment)	1			
Dishwasher	1			
Ice Machine, _____" line size				
Washer / Laundry Tub / Utility Sink	1			
Hose Bibb / Sill Cock / Outdoor Faucet	2			
Floor Drain / Floor Sink				
Sand Trap (Interceptor)				
OTHER: (Fixtures that may use city water or discharge into city sewer. Please list below:)				
NON-RESIDENTIAL (ONLY)				
Flush Valve Toilet				
Urinal				
Industrial Dishwasher				
Beverage Hook-up				
Drinking Fountain				
Sink (Service / Mop / Janitor)				
Emergency Eye Wash				
Emergency Shower				
Dip Well				
Grease Trap (Interceptor)				
OTHER: (Fixtures that may use city water or discharge into city sewer. Please list below:)				

*Includes Rough-Ins

I, the undersigned, take full responsibility for the accuracy and completeness of the above information.

Jesus Cordova

10/10/2022

Applicant/Contractor

Date

City Approval

Date

316.pdf
Revised Oct. 18



SCOTT HOME INSPECTION, LLC

303-373-2424

info@scotthomeinspection.com

<https://scotthomeinspection.com>



HOME INSPECTION REPORT

820 36th St
Boulder CO 80303

Lisa and Erik Maurer

OCTOBER 4, 2021



Inspector

Jason Berger

ASHI Certified Inspector

303-373-2424

info@scotthomeinspection.com



Agent

Clove Berger

RE/MAX Of Boulder Annex

(303)748-3381

clove@cloveberger.com

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HOME INSPECTION REPORT

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- ⚠️ 2.7.1 Exterior - Grounds - GRADING AND DRAINAGE: Grading improvements
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1: INSPECTION DETAILS

Information

Information/Overview

HOME INSPECTION REPORT:

The home inspection performed is a limited visual inspection to identify systems and components in need of immediate repair. The inspection will conform to the Standards of Practice of the American Society of Home Inspectors (ASHI) and will include the following systems: roof, structure, electrical, interior plumbing, heating and cooling, exterior siding and trim, doors and windows, chimneys and fireplaces, driveways, walkways and site grading. The evaluation will be based on observations that are primarily visual and non-invasive. The inspection and report are not intended to be technically exhaustive. This written report is a summary of observations and unbiased opinions and is based on the experience of the inspector.

This Inspection Report outlines and defines the areas of the home that were inspected, as well as indicating any items that were not inspected, the reason they were not inspected, and general statements of what is commonly included and excluded during an inspection. This written Inspection Report, together with a home inspection agreement, and any reports for additional services ordered, represent the final statement on the condition of the home when inspected and the final statement on what was included and/or excluded in the inspection.

INSPECTION CATEGORIES:

- 1) **Maintenance Item** - These are regular maintenance items typical for many homes, or items that should be monitored for performance or future concerns. In the opinion of the inspector, repair or replacement to these items is not urgent, but will likely be needed in the near future.
- 2) **Repair Recommendation** - The item, component or unit was inspected/tested, and is not functioning as intended. Repair or replacement is needed by a qualified specialist.
- 3) **Immediate Action/Evaluation Recommendation** - The item, component or unit shows concerns that, in the opinion of the inspector, requires immediate action for safety and/or to prevent damage to the property, or needs to be further evaluated by a qualified professional.

SCOPE AND TERMS OF INSPECTION:

This confidential report is furnished for the use of the client only. It is not intended to be relied upon for any purpose by any other party not named on the report and Inspection Agreement. This inspection was performed in accordance with and under the terms of a Home Inspection Agreement. The agreement was signed and agreed upon before the preparation of this report and a signed copy of the agreement is available upon request. Scott Home Inspection conducts all inspections according to the American Society of Home Inspectors (ASHI) Standards of Practice and Code of Ethics. The complete standards can be reviewed at the following location;

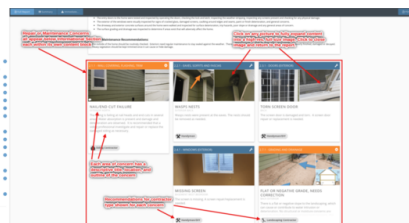
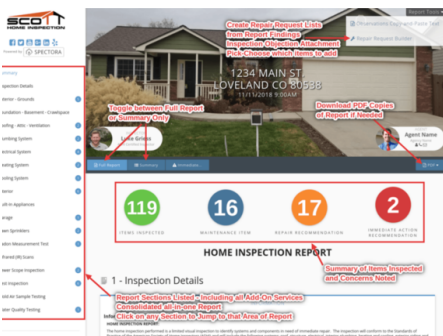
www.scotthomeinspection.com/ASHI_standards-ethics.pdf

LIMITATIONS:

Limitations exist in any home inspection. The inspector cannot see behind walls or behind hidden areas in the home. The belongings of the current occupant of the home are not moved to view areas underneath or behind such belongings. Additionally, the inspection is not a test for hazardous materials, such as asbestos, lead paint, mold, or other environmental hazards. If the inspector observes materials which inspector believes may contain hazardous materials, the Inspector will recommend further testing and evaluation. Any comments, notes or recommendations made by the inspector are informational only, and Client understands that only proper hazardous testing can determine whether any actual hazardous materials are present. The inspector is also not qualified to detect the presence of Chinese Drywall. Nothing herein shall be construed so as to require the inspector to observe or to warn Client as to potential hazardous materials. Any investigation concerning the existence or possible existence of potentially hazardous materials in any form is beyond the scope of the inspection services offered by Scott Home Inspection.

READING YOUR INSPECTION REPORT

The inspection report from Scott Home Inspection is cloud based allowing for sharing of the report and easy navigation through sections. Click to expand the images below to give you tips and help on reading and navigating through this report.



Year Built

1961

In Attendance

AGENT - SUMMARY ONLY

Occupancy Status

OCCUPIED

Style Of Home SINGLE FAMILY HOME	Weather Conditions CLOUDY	Temperature OVER 60 DEGREES
Ground/Soil Surface Condition DRY	Additional Services Ordered NONE	

Ask-Your-Inspector Program

When you choose to have Scott Home Inspection perform your inspection, our support doesnt end with the inspection and report. Through our [Ask Your Inspector](#) program, we provide ongoing support to you via chat or email, and via our extensive knowledge base of articles and videos. Our blog posts offer simple tips to help you maintain your home, and contain insight and perspective that only a home inspector can bring. Should any concerns arise, we want to be your first call for support and questions.



2: EXTERIOR - GROUNDS

Information

DESCRIPTIONS:

The materials, styles and components present and observable are described as follows:

Siding Material

BRICK VENEER

Exterior Entry Doors

METAL

Deck / Porch / Balcony

BRICK PAVERS, CONCRETE
PORCH/PATIO, PERGOLA, PATIO

Driveway / Walkway

BRICK PAVERS, CONCRETE

OBSERVATIONS AND RECOMMENDATIONS:

The following items were Inspected and Observed, with any Recommended Actions noted:

Exterior Inspection Overview:

A visual inspection of the exterior surfaces was performed around the home to include the exterior surface material, soffit/fascia surfaces, doors and windows, and other exterior surface areas including:

- The exterior wall covering, trim, and flashing were visually inspected for concerns related to installation, paint/stain condition, damage and general maintenance issues.
- The entry doors to the home were tested and inspected by operating the doors, checking the lock and latch, inspecting the weather-stripping, inspecting any screens present and checking for any physical damage.
- The exterior of the windows were visually inspected for signs of cracked glass, damaged screens, caulking around edges and seams, paint or finish deterioration, and general concerns.
- The driveway and exterior concrete surfaces around the home were walked and inspected for surface deterioration, trip hazards, poor slope or drainage and any general areas of concern.
- The surface grading and drainage was inspected to determine if areas exist that will adversely affect the home.

General Maintenance Recommendations:

The outside of the home should be routinely checked. Exteriors need regular maintenance to stay sealed against the weather. There can be hidden damage when the exterior is not sealed or is poorly finished, damaged or decayed. Heavy vegetation should be kept trimmed since it can cause or hide damage.

General photos

The following photos document the general condition of the exterior of the home. These photos reflect areas that have no existing concerns at this time. Areas with a specific concern or defect are noted separately, referencing the specific issue and area of concern.



OUTBUILDING / SHED: Shed - no concerns noted

The small storage shed outbuilding was inspected, with no immediate concerns were noted.



Recommendations

2.1.1 WALL COVERING, FLASHING, TRIM

SEAL PENETRATIONS

FRONT / LEFT SIDE

Holes in the exterior wall should be sealed to prevent pest intrusion or water damage. This work should be performed by a qualified individual.

Recommendation

Contact a handyman or DIY project





2.1.2 WALL COVERING, FLASHING, TRIM

PAINT TRIM

FRONT

The paint is faded and peeling on the trim in areas. Re-painting of the trim will be needed in the near future. This is a maintenance item and should be performed by a qualified contractor.

Recommendation

Contact a qualified painting contractor.



Maintenance Item



2.1.3 WALL COVERING, FLASHING, TRIM

REMOVE IVY

FRONT

I recommend removing the creeping ivy at the exterior. While no significant damage appears to be present, this type of plant can be invasive, and can cause damage to the home over time. This should be performed by a qualified contractor

Recommendation

Contact a handyman or DIY project



Maintenance Item



2.1.4 WALL COVERING, FLASHING, TRIM

STAIR STEP CRACKING IN BRICK

REAR

Minor stair-step cracking was noted in the brick veneer and mortar at the exterior at the areas noted.

This cracking appears to be largely cosmetic and due to minor settling. A masonry professional or qualified person should repair or seal these cracks where needed, to prevent moisture penetration and further cracking.

Recommendation

Contact a qualified masonry professional.



Maintenance Item



2.1.5 WALL COVERING, FLASHING, TRIM

SEAL TERMINATED VENT

REAR

There is a vent that is no longer in use. The exterior vent should be sealed and terminated to prevent pest and/or moisture intrusion. A qualified contractor should repair as needed.

Recommendation

Contact a qualified professional.



Repair Recommendation



2.6.1 DRIVEWAYS, WALKWAYS, AND PATIO SLAB

CONCRETE SETTLING

DRIVEWAY / WALKWAY

The concrete has settled and cracked in areas. This appears to be cosmetic and related to settlement only, and is somewhat typical for this area. Consider mud-jacking at this time, to repair. Otherwise, appropriate sealing of cracks is recommended to prevent moisture from causing further damage.

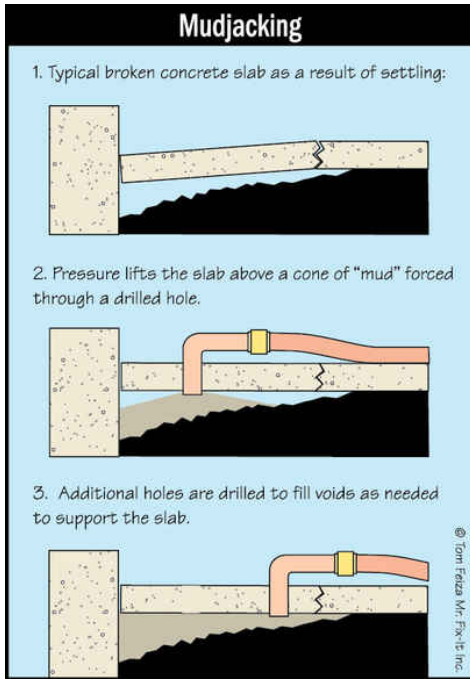
For more information see [this article](#) from Scott Home Inspection.

Recommendation

Contact a qualified concrete contractor.



Maintenance Item



MO01C
Mud-Jacking



2.6.2 DRIVEWAYS, WALKWAYS, AND PATIO SLAB

SURFACE TRIPPING HAZARDS

BACK WALKWAY / DRIVEWAY

The concrete has settled in areas, creating possible tripping hazards. Repair is needed. Typical methods include grinding, mud-jacking, or replacement. Consult with a concrete specialist for options and costs to remove trip hazards. Also, caulking cracks is recommended to prevent water entry from contributing to additional movement.

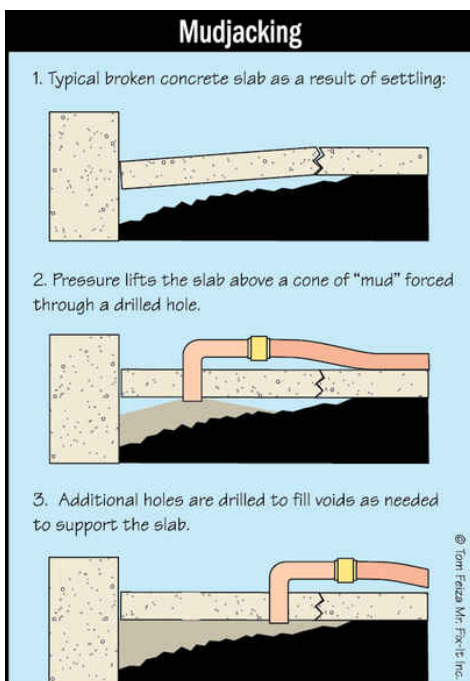
For more information, see [this article](#) from Scott Home Inspection.

Recommendation

Contact a qualified concrete contractor.



Repair Recommendation



MO01C
Mud-jacking



2.6.3 DRIVEWAYS, WALKWAYS, AND PATIO SLAB

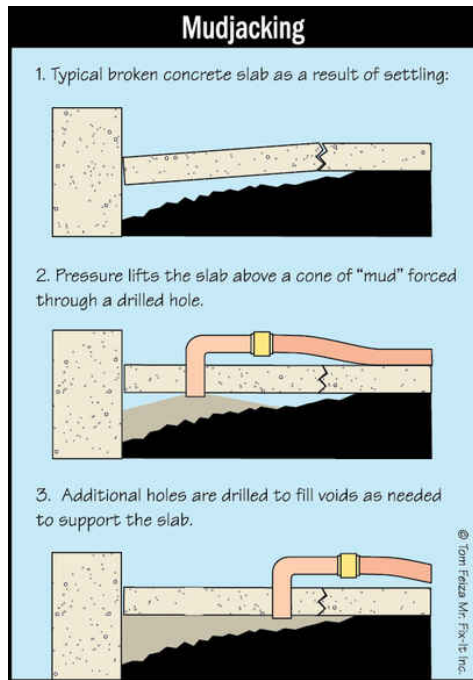
POORLY SLOPED CONCRETE

FRONT

There is a negative slope where the concrete has settled, which can cause or contribute to water intrusion or deterioration. In order to promote proper drainage away from the home, and to help prevent future settling or moisture intrusion, repair is recommended. Consult with a landscaper or concrete professional for repair options and costs.

Recommendation

Contact a qualified professional.



MOOIC
Mud-jacking



Repair Recommendation

2.6.4 DRIVEWAYS, WALKWAYS, AND PATIO SLAB

PORCH PULLING AWAY ADD CAULKING

REAR

The porch/patio appears to be pulling away from the exterior foundation wall. This area against the house should be caulked to prevent water intrusion at the foundation. This should be performed by qualified contractor

Recommendation

Contact a handyman or DIY project



Maintenance Item



2.6.5 DRIVEWAYS, WALKWAYS, AND PATIO SLAB

VOIDS UNDER CONCRETE SLAB

BACK RIGHT CORNER

There are voids or gaps under the concrete slab at the noted location. This can allow moisture and/or pests underneath and can cause uneven settlement and/or damage to the slab. A further evaluation from a qualified contractor is recommended to discuss repair options.

Recommendation

Contact a qualified professional.



2.7.1 GRADING AND DRAINAGE

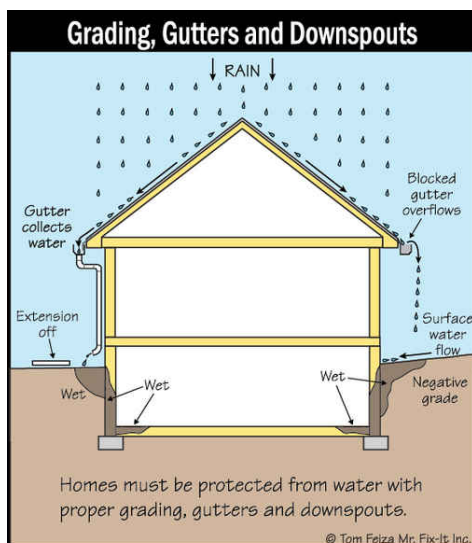
GRADING IMPROVEMENTS

THROUGHOUT EXTERIOR

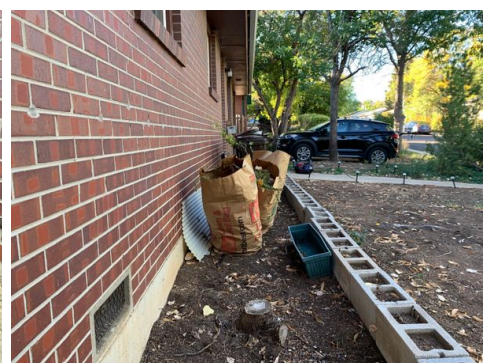
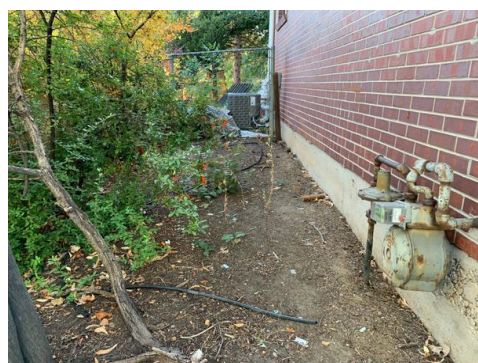
There is flat grading of landscaping at the exterior foundation, which can cause or contribute to water intrusion or deterioration. No structural or moisture concerns are currently noted. I recommend monitoring these areas for pooling water or saturated soils, and having a landscaping professional or qualified person make the necessary adjustments to the grading of the home.

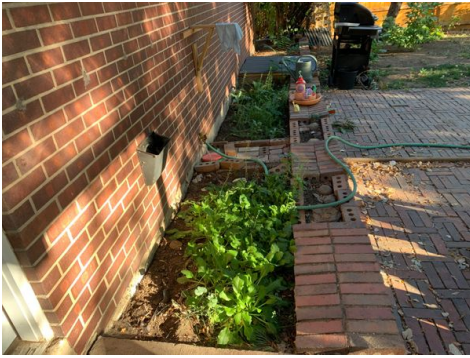
Recommendation

Contact a qualified landscaping contractor



B158C
Grading





2.8.1 GROUNDS

DEAD TREE LIMBS

FRONT

There are several dead limbs noted that should be trimmed away and removed to prevent damage to the property or persons if these limbs were to fall. While these visible concerns are noted, this is not an assessment of the overall health of the tree, as this is outside the scope of a standard home inspection. Evaluation by an arborist or qualified tree service is recommended.

Recommendation

Contact a qualified tree service company.



Maintenance Item



2.9.1 OUTBUILDING / SHED

SHED - DOOR ADJUSTMENT - EAVE REPAIR

The attached garden shed is in fair condition, but the doors need an adjustment and the eave is delaminating. A qualified contractor should repair as needed.

Recommendation

Contact a qualified professional.



Maintenance Item



3: FOUNDATION - BASEMENT - CRAWLSPACE

Information

DESCRIPTIONS:

The materials, styles and components present and observable are described as follows:

Foundation POURED CONCRETE	Basement / Crawlspce CRAWLSPACE ONLY	Method Used To Observe Crawlspce ENTERED, CRAWLED
Columns Or Piers CONCRETE COLUMNS	Floor Structure 2 X 8, WOOD JOISTS	Wall Structure WOOD FRAMED
Basement / Crawlspce Insulation NONE OBSERVED	Crawl Space Vapor Retarder SEPERATE VAPOR RETARDER SHEETING PRESENT	

OBSERVATIONS AND RECOMMENDATIONS:

The following items were Inspected and Observed, with any Recommended Actions noted:

Foundation Systems Inspection Overview:

The foundation, basement, and crawlspace components were inspected where present and accessible, including the following items:

- The visible portions of the foundation wall of the home where not covered by insulation or finishing.
- The insulation type and levels present where visible.
- The floor structure, wall structure, beams and posts where visible.

Limitations can exist on any foundation inspection since much of the structural components can be hidden or buried, or covered with insulation or a finished area. We do our best to observe all visible areas and look for any sign of structural concerns. We are not structural engineers, and therefore, if we do see areas of concern we may recommend further evaluation by an engineer to assess the area of concern.

FOUNDATIONS, BASEMENTS AND CRAWLSPACES: Crawlspace Inspected

The structure and foundation of the home were visually inspected where readily accessible for signs of problems or concerns. The exterior and interior wall coverings were also inspected for indications of settling, movement, or cracking.



FLOORS: Uneven floors under flooring

Laundry Room

There are uneven areas noted in the basement concrete slab floor, below the carpet/floor covering. These types of cracks appear to be related to minor settlement or heaving only, and do not appear to be structurally significant. If leveling of the floor is desired, a flooring contractor can perform this if/when replacing flooring.



CRAWLSPACE / VAPOR BARRIERS: Vapor barrier - no concerns noted

The vapor barrier (plastic) on the crawlspace ground was visually inspected. A vapor barrier provides added protection to the floor system from moisture or dampness that can enter from ground. This is noted for information.



VENTILATION OF FOUNDATION AREAS: Crawlspace vents present

The crawlspace has vents to the exterior. These vents should be closed in the winter time to limit heat loss and to prevent condensation in the crawlspace, and can be opened in the summer to allow for crawlspace ventilation and to reduce humidity. Ventilating a crawlspace in this way is due to the age of construction, as newer homes will have their crawlspaces "conditioned" meaning that they are insulated and receive some amount of heating or cooling. See the foundation section of this report for more information about conditioning the crawlspace.



Recommendations

3.1.1 FOUNDATIONS, BASEMENTS AND CRAWLSPACES

FOUNDATION CRACKS

CRAWLSPACE

Cracking was noted at the foundation walls in the noted areas. These cracks appear to be the result of minor settling or from the concrete curing process only, and do not appear to represent a significant structural concern. Typical cracks should be sealed with an appropriate sealant, and monitored for further movement.

Recommendation

Recommend monitoring.



Maintenance Item



3.1.2 FOUNDATIONS, BASEMENTS AND CRAWLSPACES

EFFLORESCENCE

White efflorescence (powdery substance) was observed in areas on the foundation walls, indicating moisture is or has been in contact with the foundation. This does not necessarily indicate that moisture intrusion will occur. I recommend checking the gutters and the downspout drain lines for proper operation. Also, a water proofing paint could be applied to the interior side of the wall if necessary. Efflorescence is found on many homes without water intrusion occurring inside the home, but it should alert you to the possibility that future steps may be needed.



Maintenance Item



Recommendation

Contact a foundation contractor.

3.1.3 FOUNDATIONS, BASEMENTS AND CRAWLSPACES

CORNER CRACKS

FRONT LEFT CORNER / BACK RIGHT CORNER

Minor cracks were noted at the exterior foundation corners in areas. This is generally not a structural concern. These cracks should be sealed with an appropriate sealant and monitored for further movement.

Recommendation

Contact a handyman or DIY project



3.1.4 FOUNDATIONS, BASEMENTS AND CRAWLSPACES

FOUNDATION DAMAGE - EXPOSED REBAR

Deterioration of the concrete foundation wall with exposed rebar was noted at the front of the crawlspace. The condition may worsen if not addressed as the exposed steel may rust causing further separation from the concrete. A foundation contractor should repair as needed.

Recommendation

Contact a foundation contractor.



3.3.1 FLOORS

JOIST WATER DAMAGE

CRAWLSPACE REAR

Several floor joists and sub floor are deteriorated from moisture absorption or water intrusion under the home. Repairs are needed at this time. I recommend a qualified engineer inspect and repair or replace as needed.



Recommendation
Contact a qualified general contractor.



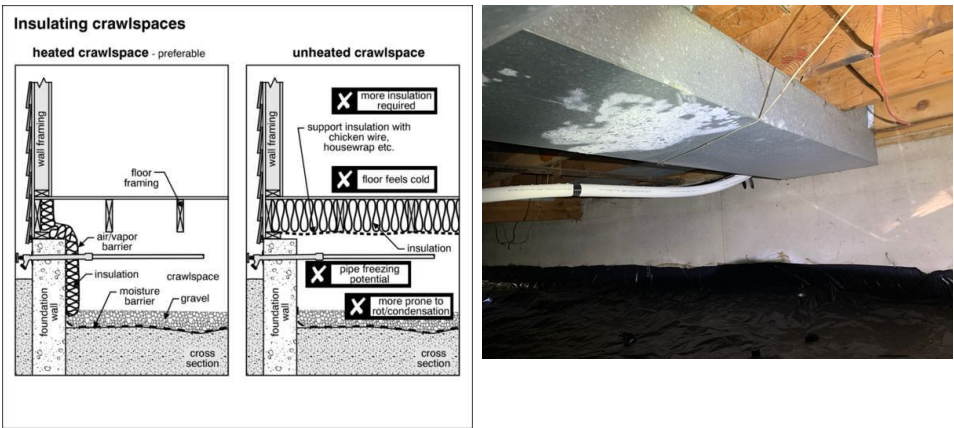
3.4.1 BASEMENT-CRAWLSPACE INSULATION

Maintenance Item

CRAWLSPACE NOT INSULATED

The crawlspace is not insulated. While this installation was typical at the time of construction, moisture and energy related issues can occur more in this crawlspace than one that is insulated and conditioned. It is recommended that you consider converting this to become a conditioned crawlspace, which will improve energy efficiency and prevent moisture concerns. To accomplish this, typically the following steps are taken: Insulation should be installed at the rim joists and on the foundation walls to drape over the sealed edges of the vapor barrier. Seal off the crawlspace vents to the exterior, and consider sealing at the exterior sill plates on the foundation where accessible to minimize air leakage. You should also investigate installing or opening a heat supply into the crawlspace, which will provide drying and air exchange. This will result in a somewhat conditioned crawlspace that will be less prone to air leakage and condensation occurring on the underside of the floor system from cold air entering in the wintertime. Consult with an insulation specialist to verify these recommendations and to determine other repair options.

Recommendation
Contact a qualified insulation contractor.



4: ROOFING - ATTIC - VENTILATION

Information

DESCRIPTIONS:

The materials, styles and components present and observable are described as follows:

Roof Covering DIMENSIONAL ASPHALT SHINGLE	Inspection Method WALKED ROOF	Chimney (Exterior) NONE
Ventilation ROOF-TOP VENTS, SOFFIT VENTS	Gutter And Downspout Material METAL, DOWNSPOUTS DISCHARGE ABOVE GRADE	Attic Info ATTIC HATCH Method Used To Observe Attic ENTERED
Roof Structure 2 X 6 RAFTERS, PLYWOOD SHEATHING, LATERAL BRACING, STICK-BUILT	Attic Insulation BLOWN, CELLULOSE, 9" - 12"	

OBSERVATIONS AND RECOMMENDATIONS:

The following items were Inspected and Observed, with any Recommended Actions noted:

Roofing-Attic-Ventilation Inspection Overview:

The roof system, gutters-downspouts, attic, and attic ventilation were inspected where components were fully accessible.

- The roofing material was inspected for concerns with wear and age, potential hail damage or other damage, and any flashing or roof penetration concerns.
- Gutters and downspouts were inspected to ensure proper drainage away from the home and foundation.
- Metal flue pipes and chimneys were visually inspected for physical condition and flashing concerns.
- The attic was inspected to determine if moisture concerns are present, assess insulation concerns, ventilation adequacy, and review any visible structural issues.

The roof inspection is not intended to predict how long the roof will last or if it will leak, and is not a warranty. All roofs should be inspected annually in order to detect and address concerns to ensure the roof will perform for the typical life span. Expect to make minor repairs to any roof.

ROOF COVERINGS: Roof inspected - no concerns noted

The roof was walked and fully inspected. No concerns or defects were noted at this time.

**ROOF STRUCTURE, CEILING STRUCTURE AND ATTIC: Attic Inspected**

The attic area was visually inspected, with no structural concerns noted.



ATTIC INSULATION AND VAPOR RETARDERS: No concerns noted

The attic was visually inspected and appears to be properly insulated, with no concerns at this time.



Recommendations

4.1.1 ROOF COVERINGS

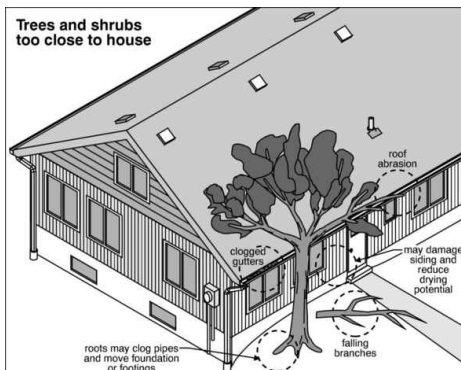
TREE LIMBS NEAR ROOF



The tree limbs that are in contact with or hanging near the roof should be trimmed, to prevent possible damage from abrasion. This should be evaluated and corrected by qualified contractor.

Recommendation

Contact a qualified tree service company.



4.3.1 GUTTERS AND DOWNSPOUTS

LONGER EXTENSIONS NEEDED



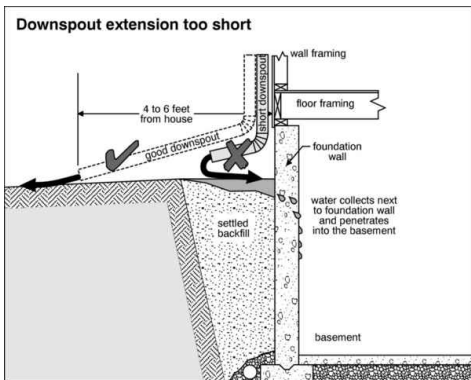
FRONT RIGHT CORNER

The downspouts need an extension and/or a buried drain line to carry water away from the home at the noted locations. It is recommended that all roof runoff be carried at least 5 feet, and preferably 10 feet, away from the house. This should be evaluated and corrected by qualified contractor.

For more information, read this [article](#) about water management around your house.

Recommendation

Contact a qualified gutter contractor



4.3.2 GUTTERS AND DOWNSPOUTS

DEBRIS IN GUTTERS



Maintenance Item

The gutters are full of leaves and debris in areas and need to be cleaned. Regular cleaning of gutters is needed, as a maintenance item, to prevent overflows and to ensure proper drainage off the roof and away from the foundation of the home. This should be evaluated and corrected by qualified contractor.

Read this [article](#) for more information.

Recommendation

Contact a handyman or DIY project



4.5.1 ROOF STRUCTURE, CEILING STRUCTURE AND ATTIC

DAMAGED SHEATHING



Repair Recommendation

Damaged roof sheathing was noted in the attic space. This sheathing should be repaired or replaced at this time by a qualified professional.

Recommendation

Contact a qualified roofing professional.



4.6.1 ATTIC INSULATION AND VAPOR RETARDERS

INSULATE COVER



Maintenance Item

The attic hatch cover is not insulated. I recommend that a cut to fit piece of insulation be installed over the cover, to limit heat loss/gain in this area.

Recommendation

Contact a qualified insulation contractor.



5: PLUMBING SYSTEM

Information

DESCRIPTIONS:

The materials, styles and components present and observable are described as follows:

Water Source PUBLIC	Water Supply (Into Home) COPPER	Water Distribution (Inside Home) COPPER
Drain Waste And Vent Material PVC, COPPER	Water Heater Power Source NATURAL GAS	Water Heater Capacity 40 GALLON
Manufacturer RHEEM	Approximate Age 1 YEAR OLD	Washer Drain Size 2" DIAMETER

OBSERVATIONS AND RECOMMENDATIONS:

The following items were Inspected and Observed, with any Recommended Actions noted:

Plumbing System Inspection Overview

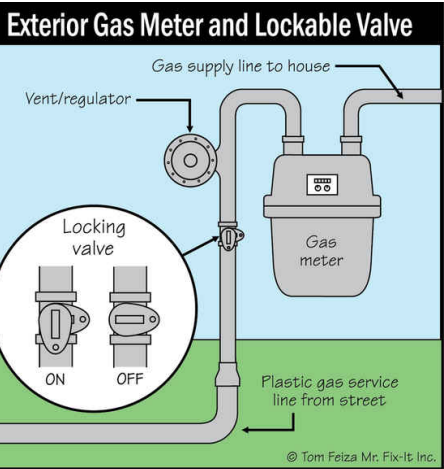
The plumbing system and components in the home were tested and inspected, including the following items:

- Determining the location of the main water and gas shut off valves if visible, and inspecting for any visual concerns.
- General visual inspection of exposed supply and drain piping material.
- Testing of all fixtures at sinks, showers and tubs, and visually inspecting for leaks and condition.
- Testing of toilets for proper operation, general condition and properly secured.
- Inspection of the hot water system, age, and general condition.

MAIN FUEL SHUT OFF LOCATION: At gas meter

Left Side

The main fuel shut-off is at the gas meter outside. No visible concerns or odor of gas leaks were noted at this time. Note that we do not operate gas valves.



MAIN WATER SHUT-OFF LOCATION: Inspected - gate valve**Crawlspace Front**

The main water shut-off was inspected, with no visible concerns noted. This can be used to turn all of the water off to the home in the event of a plumbing emergency or when plumbing repairs are needed.

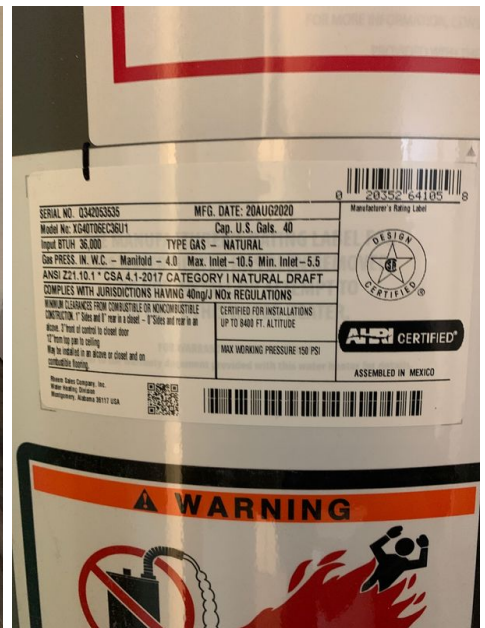
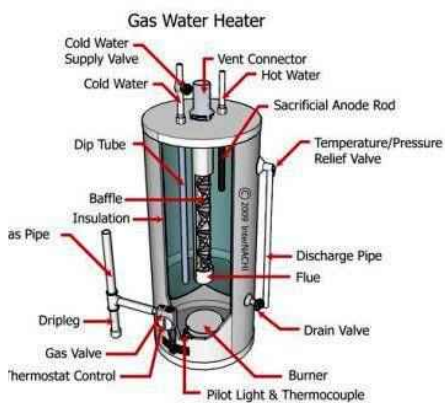
Currently, the valve is a knob operated "gate" type valve. These types of valves can be prone to stripping or leaking when operated. Consider having a plumber install a lever operated ball valve, which is less prone to leaking when operated.

Note: we do not operate shut off valves - the inspection is a visual review for leaks.



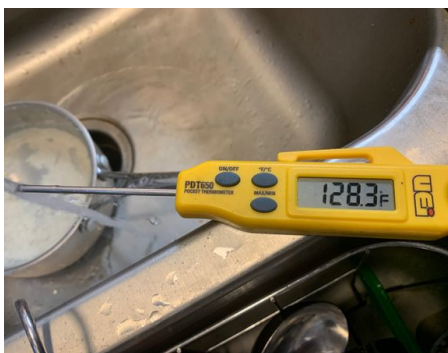
HOT WATER SYSTEMS, CONTROLS, CHIMNEYS, FLUES AND VENTS: Gas water heater - no concerns noted

The water heater was inspected, with no concerns noted and no significant rusting at this time. No action is needed.



TEMPERATURE OF HOT WATER (NOMINAL SETTING = 120 DEGREES FAHRENHEIT): Temperature acceptable

A thermometer was used to test the temperature of the hot water at a faucet in the home. This temperature was within the normally acceptable ranged of 115 to 130 degrees fahrenheit. Temperatures over 130 degrees fahrenheit can present a scalding hazard. At the water heater, the temperature indicator dial was checked to verify that it corresponded with the temperature measured out of the tested faucet.



GAS DISTRIBUTION SYSTEMS: No gas leaks detected

A test of the accessible gas piping systems was performed at the meter outside and at the gas lines and valves near the combustion appliances. No concerns were noted.



Recommendations

5.1.1 MAIN FUEL SHUT OFF LOCATION

METER - MINOR SETTLING

 Maintenance Item

The main fuel shut off is at the gas meter outside. Minor evidence of settling to the meter was noted, with no immediate concerns. This should be monitored for additional settlement or a further evaluation from the gas company.

Recommendation
Recommend monitoring.



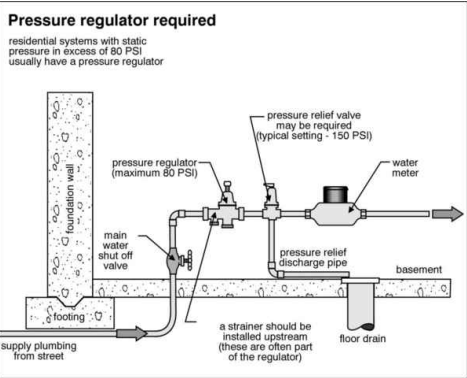
5.3.1 WATER PRESSURE MEASUREMENT

WATER PRESSURE HIGH - ADD PRESSURE REDUCING VALVE

 Repair Recommendation

The water pressure was measured at an outside hose-bib, and was above the normally expected water pressure of 35-80 psi, which can cause damage or excessive wear to the plumbing system and components over time. There is no pressure reducing valve found on the water supply system. A pressure reducing valve should be installed by a plumber at this time.

Recommendation
Contact a qualified plumbing contractor.



5.5.1 TOILETS AND BIDETS

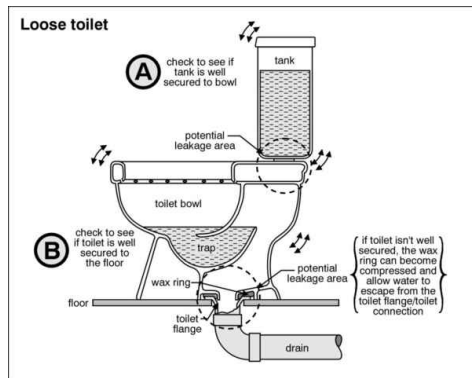
TOILET LOOSE - RE-SECURE

Repair Recommendation

The toilet is loose at floor. Repair is needed to secure the toilet to the floor properly, and may also involve re-setting the toilet on a new wax seal. The surrounding area should also be investigated for moisture damage or wood rot. This should be evaluated and corrected by qualified contractor.

Recommendation

Contact a qualified plumbing contractor.



5.6.1 FIXTURES AND FAUCETS

TUB SPOUT LOOSE

Repair Recommendation

The tub faucet is loose and poorly sealed. This could cause damage to the wall behind the tile. A plumber should evaluate and make repairs as needed.

Recommendation

Contact a qualified plumbing contractor.



5.7.1 DRAIN, WASTE, AND VENT SYSTEMS

COLLAPSIBLE DRAIN

BATHROOM



Maintenance Item

A section of collapsible drain pipe is installed at the noted drain lines. These types of drains are prone to clogs, and it is recommended that this section be replaced with a rigid drain line. This should be evaluated and corrected by qualified contractor.

Recommendation

Contact a qualified plumbing contractor.



5.8.1 HOT WATER SYSTEMS, CONTROLS, CHIMNEYS, FLUES AND VENTS

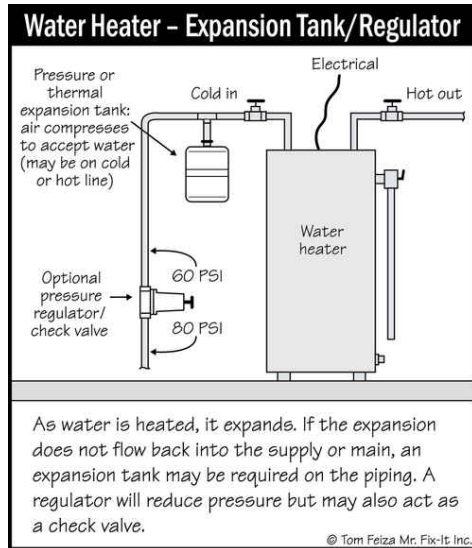
EXPANSION TANK OR VALVE MAY BE NEEDED

Maintenance Item

Your water heater does not have a thermal expansion tank or expansion valve installed. Recent changes in code require an expansion tank on the water heater where thermal expansion may cause an increase in pressure. I am unable to determine if this change in code applies to this municipality. An expansion tank is typically only needed when the water supply system has a backflow prevention device or check valve. Inquire with a plumber that is familiar with the code for your area to determine if an expansion tank is needed.

Recommendation

Contact a qualified plumbing contractor.



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6: ELECTRICAL SYSTEM

Information

DESCRIPTIONS:

The materials, styles and components present and observable are described as follows:

Electrical Service Conductors OVERHEAD SERVICE	Electrical Service Voltage Rating 240 VOLTS	Service Amperage And Panel Capacity 100 AMP
Main Disconnect Location AT MAIN PANEL	Panel Type CIRCUIT BREAKERS	Electric Panel Manufacturer SQUARE D
Branch Wire 15 And 20 AMP COPPER	Wiring Methods NON-METALLIC SHEATHED	Ground Fault Circuit Interruptor (GFCI) Protection YES
Arc Fault Circuit Interruptor (AFCI) Protection NO	Smoke Detectors SMOKE DETECTORS INSTALLED (BATTERY TYPE)	Carbon Monoxide Detectors CO DETECTOR(S) PROPERLY INSTALLED

OBSERVATIONS AND RECOMMENDATIONS:

The following items were Inspected and Observed, with any Recommended Actions noted:

Electrical System Inspection Overview:

- The electrical system and components in the home were inspected to include the following:
- The services entrance wiring and main electrical disconnect, including noting the location of the main shut off.
 - Inspection of the main electrical panel and wiring.
 - Testing a representative number of switches and outlets throughout the home.
 - Review of GFCI outlets and if present in proper locations for safety.
 - Review of AFCI outlets or circuit breakers if present.
 - Inspection of smoke detectors and CO detectors in the home to ensure enough are present and in the proper recommended locations.
- We do our best to test items that operate via a remote control, when the remote is readily accessible. Low voltage wiring systems, built-in audio systems, and any alarm systems present are outside the scope of a home inspection and are not tested.

MAIN DISCONNECT DEVICE AND LOCATION: Located and inspected

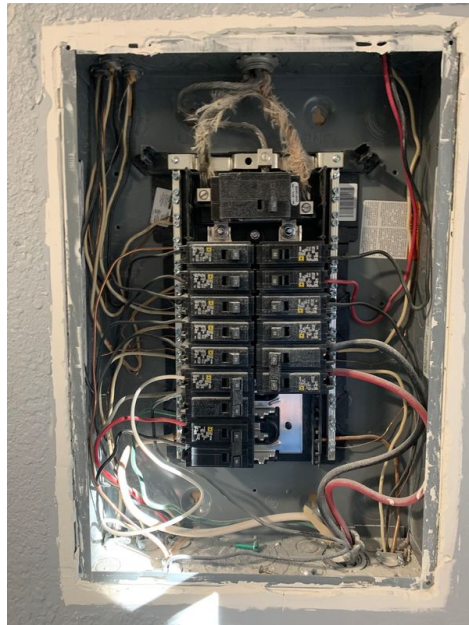
Laundry Room

The main electrical disconnect was located and inspected. The main electrical service disconnect can be used to shut off all power to the home in the event of an electrical emergency or when electrical repairs are needed.

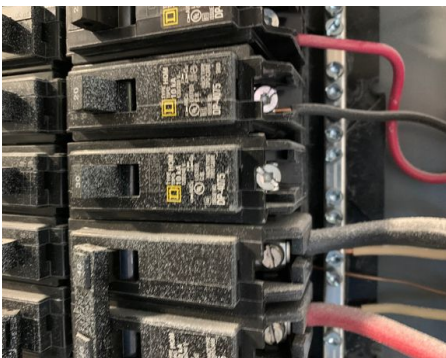
**MAIN & DISTRIBUTION PANELS, SERVICE AND GROUNDING EQUIPMENT, AND LOCATION: Main panel inspected - no concerns noted**

Laundry Room

The main electrical panel for the property was identified at the noted location. The interior of the main electric panel was inspected with no significant concerns noted at the interior components at this time.

**MAIN & DISTRIBUTION PANELS, SERVICE AND GROUNDING EQUIPMENT, AND LOCATION: Breaker not in use**

A breaker inside of the noted electrical panel is not connected to any wiring and appears to be a spare breaker. This is noted for information only.



SMOKE DETECTORS: Units present In all recommended locations

Throughout Interior

Smoke detectors are present in the home, located on each floor and within each bedroom, as recommended. Monthly testing of the units is recommended, along with annual battery replacement. Additionally, replacement of the units is recommended once older than 10 years of age, according to the National Fire Protection Association.

This helpful [resource](#) has important tips related to smoke alarm safety.



CARBON MONOXIDE ALARMS: Units present In all recommended locations

Throughout Interior

CO detectors are currently present in the proper locations. Colorado state law requires that all homes being purchased are required to have Carbon Monoxide Alarms installed by the seller. This is a requirement for homes that have a fuel-fired heating system or appliance, a fireplace, or an attached garage. The CO Alarm(s) must be installed within 15 feet of the entrance to each sleeping room. This can be in a hallway outside bedrooms. If bedrooms are located on more than one level, then a separate CO alarm must be installed outside each bedroom area on each level. This inspection includes a review of the presence of CO alarms.

For more information, [read our article on this topic](#).



Recommendations

6.3.1 MAIN & DISTRIBUTION PANELS, SERVICE AND GROUNDING EQUIPMENT, AND LOCATION



Maintenance Item

LABELING NEEDED AT PANEL

Labeling is incomplete or missing at the electrical panel. Proper labeling is important to ensure that power is disabled correctly to any circuits or equipment being serviced. I recommend an electrician or qualified person verify labeling and correct for safety reasons.

Recommendation

Contact a qualified electrical contractor.



6.4.1 BRANCH CIRCUIT CONDUCTORS AND OVERCURRENT DEVICES

OPEN JUNCTION BOX

CRAWLSPACE

An open junction box was noted. A cover plate should be installed over any electrical junction box for safety. This should be corrected by qualified contractor.

Recommendation

Contact a qualified electrical contractor.



6.5.1 FIXTURES, SWITCHES AND CONNECTED DEVICES

MISSING GLOBE

EXTERIOR REAR

The light fixture is missing the glass or globe cover. Replacement glass/globe or a new fixture should be installed as needed.

Recommendation

Contact a qualified electrical contractor.



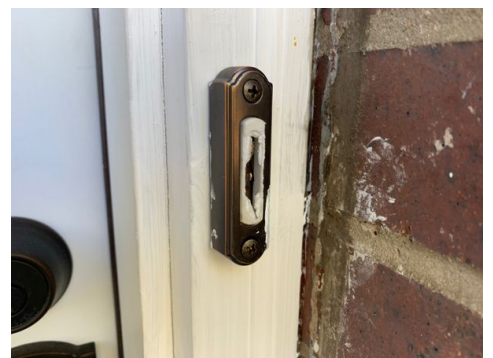
6.5.2 FIXTURES, SWITCHES AND CONNECTED DEVICES

DOORBELL BUTTON DAMAGED

The doorbell button is damaged and should be repaired or replaced.

Recommendation

Contact a qualified electrical contractor.



6.5.3 FIXTURES, SWITCHES AND CONNECTED DEVICES

CEILING FAN REMOTE MISSING

FAMILY ROOM



The ceiling fan did not turn on at a wall switch, and was not tested. It is likely that there is a remote for this ceiling fan, but a remote was not found at the time of the inspection. I recommend inquiring with seller to determine if a remote is available, and to determine if the fan is operating properly.

Recommendation

Contact a qualified electrical contractor.



6.5.4 FIXTURES, SWITCHES AND CONNECTED DEVICES

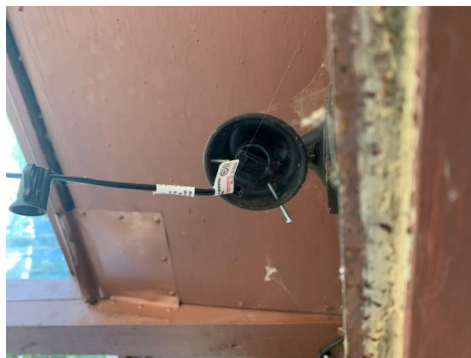
MISSING OR BURNT OUT BULBS

CRAWLSPACE / EXTERIOR REAR

Multiple fixtures in the home at the above locations are missing light bulbs or have burnt out light bulbs. All of these fixtures have power at the surrounding bulbs indicating the fixtures have proper power. New light bulbs are needed at this time.

Recommendation

Recommended DIY Project



7: HEATING SYSTEM

Information

DESCRIPTIONS:

The materials, styles and components present and observable are described as follows:

Primary Heating System FORCED AIR	Heat System Brand LENNOX	Energy Source NATURAL GAS
	Approximate Age 8 YEARS OLD	Number Of Heat Systems (Excluding Wood) ONE
Filter Type DISPOSABLE	Filter Size 14 X 24	Types Of Fireplaces NONE
Number Of Operable Fireplaces NONE		

OBSERVATIONS AND RECOMMENDATIONS:

The following items were Inspected and Observed, with any Recommended Actions noted:

Heating System Inspection Overview:

The heating system for the home was visually inspected and tested, with testing including the following:

- Turning on the system at the operating control and ensuring the system operated and heat was delivered from the system.
 - Opening readily accessible panels to visually inspect the system.
 - Inspecting the venting system, flues and chimneys, where present.
- Regular service of the HVAC system is important for efficient operation and to achieve maximum life from equipment; equipment can fail at any time without warning; most manufacturers recommend annual service.

CARBON MONOXIDE TESTING: No CO detected

An ambient air test at the combustion equipment was performed with a device that detects harmful levels of Carbon Monoxide (CO). No harmful levels were detected at the time of the inspection.



THERMOSTAT: Thermostat location

Living Room

The thermostat for the heating was tested and is operating properly, with no concerns noted. This is for your information.



CONDENSATE DRAIN SYSTEMS: Condensate pump - no concerns noted

There is a condensate pump installed at the noted location that collects drain water from the furnace and/or air conditioner unit, and pumps this moisture to an adjacent drain or to the exterior. This is present because there is not a floor drain present near the furnace. The unit appears to be operating properly at this time. The unit should be monitored periodically for proper operation.



Recommendations

7.1.1 HEATING EQUIPMENT

FURNACE CLEANING NEEDED

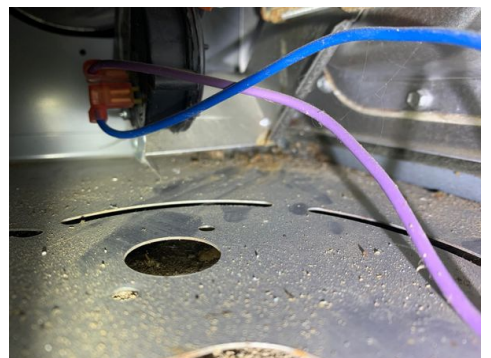
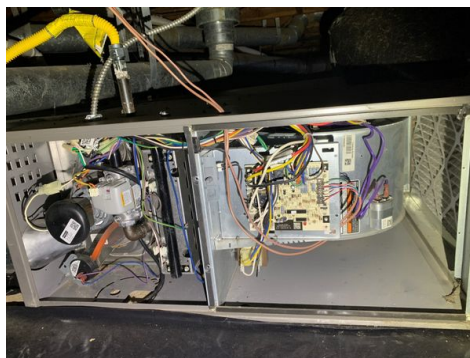


Maintenance Item

The gas furnace was fully tested and inspected, and is operating properly at this time. The unit appears to be in good condition, but is dirty inside. A service check up and cleaning is recommended at this time, to keep the unit in good working condition.

Recommendation

Contact a qualified heating and cooling contractor





7.6.1 DISTRIBUTION SYSTEMS (INCLUDING FANS, DUCTS, AIR FILTERS, REGISTERS)

DISPOSABLE FILTER REPLACE

The disposable filter is dirty, and needs to be replaced.

See [this article](#) from Scott Home Inspection for more information.

Recommendation

Contact a handyman or DIY project



Maintenance Item



7.6.2 DISTRIBUTION SYSTEMS (INCLUDING FANS, DUCTS, AIR FILTERS, REGISTERS)

DUCT TAPE SEALING CONCERN

The heating supply ducts are joined at seams with duct tape, which is loose or deteriorated in areas. Duct tape is actually a poor product for sealing ducts, as it becomes brittle and loses adhesive properties over time due to the fluctuating temperatures of the ducts. I recommend replacement with foil tape or duct mastic sealant. A qualified person or HVAC contractor can make this repair.

Recommendation

Contact a qualified heating and cooling contractor



Maintenance Item



8: COOLING SYSTEM

Information

DESCRIPTIONS:

The materials, styles and components present and observable are described as follows:

Central Air Manufacturer LENNOX	Approximate Age 1 YEAR OLD	Number Of A/C Only Units ONE
Equipment Type AIR CONDITIONER UNIT	Operating Characteristics INTEGRAL WITH THE FORCED AIR HEATING SYSTEM	Energy Source ELECTRICITY
		Refrigerant Type R410A

OBSERVATIONS AND RECOMMENDATIONS:

The following items were Inspected and Observed, with any Recommended Actions noted:

Cooling System Inspection Overview:

The cooling system for the home was visually inspected and tested (when possible) including the following:

- Turning on the system at the operating control and ensuring the system operated and cool air was delivered from the system, when the outside temperature allows for proper AC testing. Any limitations in testing will be noted.
- Opening readily accessible panels to visually inspect the system.
- Inspecting the outside compressor unit, where accessible.

Regular service of the HVAC system is important for efficient operation and to achieve maximum life from equipment; equipment can fail at any time without warning; most manufacturers recommend annual service.

COOLING AND AIR HANDLER EQUIPMENT: AC tested - no concerns noted

The air conditioning system was fully tested and appears to be operating properly. The temperature drop across the system supply vs. return ducts was measured at the furnace and/or ducts. A temperature drop of at least 15 Fahrenheit is expected. The system operated well with a temperature drop in excess of this minimum expected level. Also, a visual inspection of the air conditioning system and the electrical service was conducted, with no concerns noted.



9: INTERIOR

Information

DESCRIPTIONS:

The materials, styles and components present and observable are described as follows:

Ceiling Materials SHEETROCK/DRYWALL	Wall Material SHEETROCK/DRYWALL	Major Floor Coverings CARPET, LAMINATED TONGUE AND GROOVE, TILE
Interior Doors HOLLOW CORE	Window Types SLIDERS, SINGLE-HUNG, THERMAL/INSULATED	Cabinetry WOOD
Exhaust Fans FAN WITH LIGHT	Dryer Vent FLEXIBLE METAL, METAL	Countertop COMPOSITE
		Dryer Power Source 220 VOLT ELECTRIC

OBSERVATIONS AND RECOMMENDATIONS:

The following items were Inspected and Observed, with any Recommended Actions noted:

Interior Inspection Overview

An inspection of the interior surfaces was performed throughout the home to include visually inspecting the ceilings, walls, floors, doors and windows of each room. We operated and tested a representative number of doors and windows for proper operation. Countertops and a representative number of cabinets were inspected and tested. Steps and stair railings were inspected for any safety concerns. While we operate window blinds in order to access the windows to operate and inspect them, the overall condition of window coverings and treatments is outside the scope of a home inspection. Every effort is made to inspect all interior areas but we cannot move occupant furniture or belongings.

General photos

The following photos document the general condition of interior areas if applicable. These photos reflect areas that have no existing concerns at this time. Areas with a specific concern or defect are noted separately, referencing the specific issue and area of concern.



Recommendations

9.1.1 CEILINGS

CEILING CRACKS

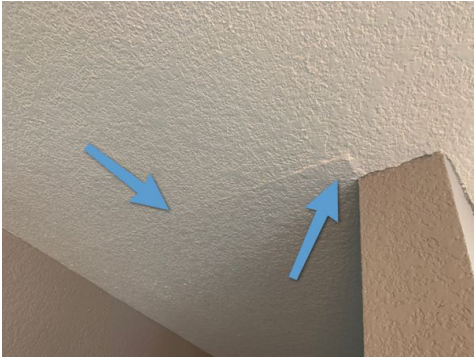
HALL

Cracking was noted at the ceilings in areas of the house. These types of cracks are typical of minor settling or shrinkage, and should be monitored for further movement, and patched and repaired as needed.

Recommendation

Contact a qualified drywall contractor.

 Maintenance Item



9.3.1 FLOORS

FLOORING - WARPED - DRY

KITCHEN

 Maintenance Item

The flooring is warped, buckled, and separated at several joints. This appears to be the result of old moisture damage, possibly from a past leak at nearby plumbing. No moisture was currently detected when tested with a moisture meter. Inquire with seller for more information on the nature of this damage. Consult with a flooring professional for repair/replacement options and costs.

Recommendation

Contact a qualified flooring contractor



9.3.2 FLOORS

DETERIORATION AT GROUT

BATHROOM

Minor deterioration or missing grout was noted at the tile floor. A flooring professional should repair the grout as needed, to prevent potential moisture penetration and as a cosmetic repair item.

Recommendation

Contact a qualified flooring contractor



Maintenance Item



9.4.1 DOORS

DOOR RUBS AT JAMB

FAMILY ROOM

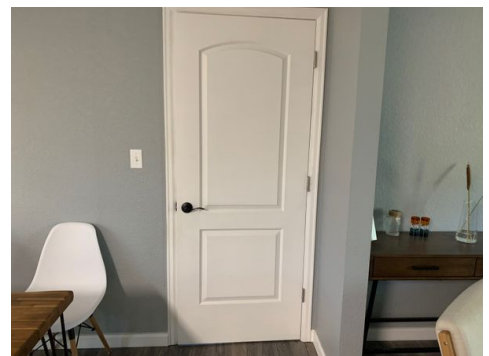
The door at the noted location rubs at the jamb when closed. The affected door needs to be adjusted or repaired for proper operation. This should be evaluated and corrected by a qualified contractor.

Recommendation

Contact a qualified door repair/installation contractor.



Maintenance Item



9.4.2 DOORS

DOOR RUBS FLOORING

BEDROOMS

The door rubs the flooring when opened, which makes the door difficult to operate and may lead to premature wear of the flooring. This door needs to be adjusted or trimmed at the bottom. This should be evaluated and corrected by a qualified contractor.

Recommendation

Contact a qualified door repair/installation contractor.



Maintenance Item



9.5.1 WINDOWS

CRACKED WINDOW PANE

KITCHEN

The window is cracked at the glass pane. Cracked glass should be replaced to prevent injury or damage, or a new window should be installed to repair. This should be evaluated and corrected by a qualified contractor.

Recommendation

Contact a qualified window repair/installation contractor.



Repair Recommendation



9.5.2 WINDOWS

MISSING SCREEN

REAR BEDROOM

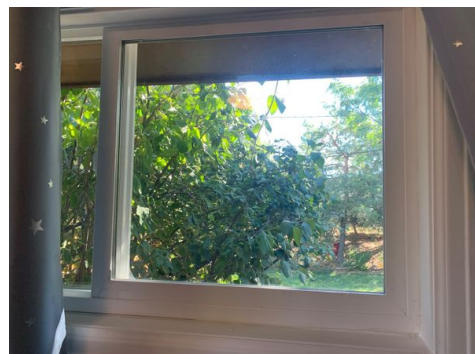
The screen is missing. A screen repair/replacement is needed.

Recommendation

Contact a handyman or DIY project



Maintenance Item



10: BUILT-IN APPLIANCES

Information

DESCRIPTIONS:

The materials, styles and components present and observable are described as follows:

Dishwasher Brand WHIRLPOOL	Disposer Brand BADGER	Exhaust / Range hood BUILT INTO MICROWAVE, RE- CIRCULATING VENT
Range / Oven WHIRLPOOL	Built In Microwave WHIRLPOOL	Refrigerator WHIRLPOOL
Washer / Dryer AMANA		

OBSERVATIONS AND RECOMMENDATIONS:

The following items were Inspected and Observed, with any Recommended Actions noted:

General Appliance Inspection/Testing Notes:

The appliances are all turned on and run, to ensure that they operate. The testing done is general in nature, and not exhaustive. We do not verify appliance thermostats including their calibration, adequacy of heating elements, self cleaning oven cycles, indicator lights, door seals, timers, clocks, timed features, ice-maker production, and other specialized features of the appliances. Note that if the occupant has dishes in the dishwasher or clothes in the washer or dryer, we do not operate them and will note the limitation in our ability to completely inspect and test these units.

General photos

The following photos document the general condition of kitchen and appliances if applicable. These photos reflect areas that have no existing concerns at this time. Areas with a specific concern or defect are noted separately, referencing the specific issue and area of concern.



RANGES / OVENS / COOKTOPS: Tested - appears functional

A limited visual inspection was performed on the range/oven and/or cook top, to verify that the unit is operating. The door seals are inspected, burners checked, and oven turned on to verify heat. No concerns were noted with this limited functional test.



RANGES / OVENS / COOKTOPS: Anti-tip bracket present

A safety check was performed to determine if an oven anti-tip bracket is installed to help prevent the oven from tipping forward causing injury. It appears that a bracket is installed. Refer to this [bulletin](#) for more information about anti-tip brackets and methods for periodic inspection.

RANGE HOOD: Recirculation fan - tested - appears functional

The kitchen exhaust fan is the type that recirculates, rather than vents to the exterior. The unit was visually inspected and was operated to verify that it is working. No concerns were noted with this limited functional test.

**FOOD WASTE DISPOSER: Tested - appears functional**

The food waste disposer was turned on and tested, and was inspected for leaks. No concerns were noted with this limited functional test.

**MICROWAVE COOKING EQUIPMENT: Tested - appears functional**

A limited inspection was performed on the microwave, to verify that the unit is operating and that the built in exhaust fan works if present. No concerns were noted. This is a limited inspection and is not a complete evaluation of this unit.



REFRIGERATOR: Tested - appears functional

A limited visual inspection was performed on the refrigerator, to verify operating condition and that the inside temperatures are cool/cold, indicating operation. The door seals are inspected, and the ice maker and/or water dispenser checked, when present, for any leaks or concerns. This is a limited inspection and is not a complete evaluation of the refrigerator.



CLOTHES WASHER/DRYER: Limited testing - no concerns noted

The washer and dryer were run briefly to check for any leaks, and for proper heat from the dryer. No concerns are noted with this limited functional test. This is not a complete test, but a limited functional test to verify general operation. We recommend that you ensure that the dryer vent is connected properly, is clean, and free of obstructions or damage, and that the plumbing supply valves and hoses are in good condition and free of leaks as a maintenance item.



Recommendations

10.1.1 DISHWASHER

DISHWASHER LOOSE

The dishwasher is loose and needs securing to the underside of countertop (using proper screws or sealant). This should be evaluated and corrected by a qualified contractor.

Recommendation

Contact a handyman or DIY project



10.6.1 REFRIGERATOR

WATER AND ICE DISPENSER NOT WORKING

The water and ice dispenser did not work at the time of inspection. There may or may not be a water line at the back of the unit. We do not pull out the refrigerator to check for an existing line. This is informational.

Recommendation

Contact a qualified appliance repair professional.



11: LAWN SPRINKLERS

Information

Lawn sprinkler testing overview

Testing of lawn sprinkler systems is outside the scope of a standard home inspection. As a courtesy, we run and test sprinkler systems, when possible, and if the system is currently turned on and operational. The testing is minor and limited in nature, and consists of running the system one zone at a time, to look for any broken heads, or obvious leaks in the system, and general operation and performance issues. The integrity of the buried lines cannot be assessed or determined. Annual maintenance is recommended, and proper winterization of the system is recommended each fall.

Recommendations

11.1.1 SPRINKLER OPERATION

ABANDONED SYSTEM

It appears that there was a lawn sprinkling system installed, but that it is no longer connected or in use. A sprinkling professional should evaluate and advise on repairs or installation of a new system as needed.

Recommendation

Contact a qualified professional.



Repair Recommendation



12: RADON MITIGATION SYSTEM (PRE-INSTALLED SYSTEM)

Information

Importance of radon testing:

The American Society of Home Inspectors (ASHI) recommends that home owners and home buyers test their current or prospective home for the presence of radon gas in indoor air. The U.S. Environmental Protection Agency (EPA) strongly recommends that steps be taken to reduce indoor radon levels when test results are 4 picocuries per liter (pCi/L) of radon in air, or more. The National Academy of Sciences (NAS) has estimated that each year in the U.S., between 15,000 and 22,000 people die from radon related lung cancer. Exposure to radon is the second leading cause of lung cancer after smoking.

System Verification Needed:

The presence of a radon mitigation system indicates that at one time high radon levels were detected and a system installed to mitigate for radon gas. The only way to confirm if a mitigation system is working is to have a radon test performed.

If buying or selling a home, read EPA's Home Buyer's and Seller's Guide to Radon. If fixing a home, read EPA's A Consumer's Guide to Radon Reduction. These and other publications on indoor air quality are available at <http://www.epa.gov/iaq/>

RADON MITIGATION SYSTEM: Active system

This home appears to have an **active** radon mitigation system. An **active** radon mitigation system has four basic elements: (1) an electric vent fan (located outside of conditioned space, i.e., in the attic, garage or outside the building envelope); (2) a system failure warning device (may also be in the basement); (3) a vent pipe running between sub-slab gravel up to above the roof or eave; and, (4) sealed and caulked cracks and joints. The estimated life of a quality vent fan (operating continuously) is 10 years. In an existing home, the vent fan, wiring and piping are all part of the same installation.

With this type of mitigation system the EPA recommends periodic testing every two years to ensure that the system is working effectively.

For more information on maintenance of radon mitigation systems, visit [here](#).



CITY OF BOULDER
BOARD OF ZONING ADJUSTMENT
ACTION MINUTES
August 9, 2022, 4 p.m.
Virtual Meeting

Board Members Present: Jill Lester (Chair), Jack Rudd, Katie Crane,
Nikki McCord, Marine Siohan,

Board Members Absent: None

City Attorney Representing Board: Erin Poe

Staff Members Present: Robbie Wyler, Amanda Cusworth

1. CALL TO ORDER:

J. Lester called the meeting to order at 4:02 p.m.

2. BOARD HEARINGS:

A. Docket No.: BOZ2022-11

Address: 1112 Gapter Road

Applicant: John Bogosian & Diana Stone

Setback Variance: As part of a proposal to reconstruct existing exterior stairs, including putting in a new configuration of railings and stairs, the applicant is requesting a variance to the front (easterly) yard setback. The resulting front yard setback will be approximately 1 foot 6 inches (1.5 feet) where 25 feet is required and where approximately zero (0) feet exists today. Section of the Land Use Code to be modified: Section 9-7-1, BRC 1981.

Staff Presentation:

R. Wyler presented the item to the board.

Board Questions:

R. Wyler answered questions from the board.

Applicant's Presentation:

Matt McMullen, representing the applicant, presented the item to the board.

Board Questions:

Matt McMullen, representing the applicant, answered questions from the board.

Public Hearing:

No one from the public addressed the board.

Board Discussion:

- **J. Rudd** notes the uniqueness of the area as a remnant of a former annexation and believes the applicant has followed all city rules and procedures for the variance.
- **N. McCord** offers appreciation for previous questions and states the importance of historical knowledge for a project when considering variances.
- **J. Lester** requests clarification from the City Attorney if it is possible to note in the potential approval that this would not be an approval for an ADU.
- **J. Rudd** outlines how he sees this as a multi-layered project and this setback variance as one small piece of the overall project.
- **J. Lester** states concern over a potential ADU development on this project.

Motion:

On a motion by **J. Rudd** and seconded by **M. Siohan**, the Board of Zoning Adjustment approved 5-0 the application (**Docket BOZ2022-11**) as submitted.

B. Docket No.:BOZ2022-12

Address: 2420 10th Street & 2426 10th Street

Applicant: Janon LLC (2420 10th) & Bradford & Rose Norris (2426 10th)

Parking in the Front Yard Setback Variance: As part of a proposal to establish a single off-street parking space with access driveway off 10th Street for the use of the residents at 2420 10th Street – a space that will be located within the front (west) yard of both 2420 10th Street & 2426 10th Street (space will straddle the common property line) – the applicants are requesting a variance to allow the parking in the front (west) yard setback. The subject 9-foot by 19-foot parking space will be located 18 feet from the front property line where 25 feet is required. Section of the Land Use Code to be modified: Section 9-7-1, BRC 1981.

Staff Presentation:

R. Wyler presented the item to the board.

Board Questions:

R. Wyler answered questions from the board.

Applicant's Presentation:

Marc Painter, representing the applicant, presented the item to the board.

Board Questions:

Marc Painter and Mike Krupka, representing the applicant, answered questions from the board.

Public Hearing:

No one from the public addressed the board.

Board Discussion:

- **N. McCord** expresses understanding for the purpose of the application and offers to approve the variance.
- **M. Siohan** states this variance would not impact the character of the neighborhood and it would take more vehicles off of the direct street.
- **J. Rudd** agrees with **M. Siohan** and offers approval for the variance.
- **K. Crane** relates how her lived experiences in this parking district can be challenging and expresses understanding approval for the purpose of this variance.
- **J. Lester** states she conducted a site-visit and has an understanding for those who have written in opposition, but believes this is the best solution for the parking situation.

Motion:

On a motion by **N. McCord**, seconded by **K. Crane**, the Board of Zoning Adjustment approved 5-0 the application (**Docket BOZ2022-00012**) as submitted.

3. GENERAL DISCUSSION:

A. Approval of Minutes

On a motion by **J. Rudd**, seconded by **J. Lester**, the Board of Zoning Adjustments voted 4-0 to approve the May 12, 2022 BOZA minutes. K. Crane recused due to not being a board member at the time.

B. Matters from the Board

K. Crane introduced herself to the board.

C. Matters from the City Attorney

E Poe shared that the board will receive a draft of new and amended rules in the coming weeks for deliberation.

D. Matters from Planning and Development Services

There were no matters from the Planning and Development Services.

4. ADJOURNMENT:

There being no further business to come before the board at this time, BY MOTION REGULARLY ADOPTED, THE MEETING WAS ADJOURNED AT 5:58 P.M

APPROVED BY

Board Chair

DATE

**PROCEDURAL REGULATIONS
OF THE BOARD OF ZONING ADJUSTMENT
AND
THE BOARD OF BUILDING APPEALS
OF THE CITY OF BOULDER, COLORADO**

PREFACE

The provisions of Section 2-3-1, B.R.C. 1981, authorize boards to adopt such rules and regulations as deemed necessary for procedure.

The Board of Zoning Adjustment and the Board of Building Appeals (together referred to as the “Board”) are comprised of the same group of voting board members.

The following rules of procedure have been adopted by the Board in the interest of economical, efficient, expeditious and equitable determination of all matters properly presented to the Board.

SCOPE OF RULES

1. Procedure Governed. These rules govern the procedure of the Board with respect to all matters entrusted to the Board, including variance requests and appeals from both the Land Use Regulations and the Sign Code of the City of Boulder and Building Appeals.

2. Effective Date. These rules will take effect on _____, and thereafter all prior procedures of the Board in conflict therewith shall be of no further force or effect. These rules govern all proceedings in matters properly presented to the Board after the rules take effect and all further proceedings in matters then pending, except to the extent that in the option of the Board their application in a particular matter pending when the rules take effect would not be feasible or would work injustice, in which event the former procedure, if any there be, will apply.

I. OFFICERS

1. Officers. The board shall have a chairperson, a Vice-Chairperson, who shall preside in the absence of the Chairperson, and a Secretary, who shall not be a member of the Board but who shall be appointed by the City Manager. The Board shall, by majority vote at its first regular meeting the calendar year, after the City Council has made its regular annual board appointments, choose a chairperson and a vice-chairperson, who shall serve in those positions for one year, or until a successor is chosen, whichever is later. The Board may, by affirmative vote of four members, at any remove the chair or the vice chair from the office held. Should a vacancy arise in either office due to removal from the office by Board action, resignation from the position, resignation from the Board, or removal from the Board due to City Council action, the Board shall fill the vacancy in the office by majority vote. No person shall serve as chair for more than two full, consecutive calendar years. 2. Duties of Chairperson. The Chairperson shall preside at all meetings of the Board and, subject to the rules, of the Board, shall decide all points of order or procedure unless otherwise directed by a majority of the Board in session at that time.

3. Duties of Secretary. The Secretary shall be custodian of the records, shall keep the minutes of the meetings of the Board, prepare the minutes, conduct official correspondence, and generally supervise the clerical work of the Board.

4. Advisory Members. The Chief Building Official and the Fire Chief shall be advisory members of the Board of Building Appeals, without vote.

II. MEETINGS

1. Public and Published. All meetings of the Board shall be open to the public.

2. Notice. Except for meetings to discuss procedural matters or changes in the various codes, notice of the meeting and the agenda shall be published in accordance with the Boulder Revised Code.


3. Place of Meeting. All meetings of the Board shall be conducted in the Tate Municipal Building, 1777 Broadway, Boulder, Colorado, unless otherwise noticed in accordance with the Boulder Revised Code.

4. Time of Meeting. Unless otherwise prescribed, all meetings of the Board will commence at 4:00 in the afternoon.

5. Regular Meeting. The Board shall schedule one regular meeting per month. The regular meeting of the Board is convened on the second Tuesday of each month. A meeting may be cancelled if there are no agenda items.

6. Special Meeting. Special meetings of the Board shall be convened at the call of the Chairperson or Secretary and at such other times as a majority of the Board or the Secretary may determine to be in the public interest.

7. Attendance. The members of the Board shall attend meetings in person. "In person" may include virtual attendance in accordance with City rules if the virtual attendance can be supported by the Secretary. No attendance or voting of members by proxy shall be allowed.

8.  Field Trips. The Board shall, as a routine matter, visit the physical site with reference to which a matter for Board consideration and determination is pending, unless such visit is deemed unnecessary or time does not permit.

9. Quorum. No meeting or action by the Board shall be undertaken or valid unless a quorum of members shall be present and voting. A quorum shall consist of not less than three members of the Board present and voting.

10. Minutes to be Kept. The Board shall cause to be recorded, prepared and maintained of permanent record the minutes of its proceedings. The minutes shall contain:

(a) The names of members present.

(b) The name or names of persons having applications, appeals or petitions before the Board; the docket number of each such matter; the names of persons appearing for or against the proposition; and deliberation on the matter.

(c) A record, including a brief statement of the exceptional situation or condition, practical difficulty or unnecessary hardship, or other factual determination upon which the decision of the Board is premised. (Finding)

(d) Final Board action.

11. Approval of Minutes. The written minutes of the Board shall be presented to it for its approval by the Secretary at a subsequent meeting. Approval by the Board of these minutes constitutes ratification of the formal actions taken by the Board on the matters before it. It does not constitute approval of any other statements appearing in these minutes beyond the record of actions taken. Meetings shall have audio recording. Such recording shall constitute the only official record of anything other than the formal actions taken.

12. Exhibits. Until time for appeal has expired, all exhibits, diagrams, sketches, and other evidentiary material shall be kept. Thereafter, the Board shall retain such materials as may be practicable, returning the remainder to the party which presented it, if possible.

III. FILING PROCEDURES

1. Application Forms. Every application to the Board, whether it be for a variance or appeal, shall be made on the forms specially prepared for the type of action requested. The applicant shall be responsible for completing the form and providing the necessary data; however; the Planning Department staff shall make arrangements to provide assistance for applicants in the proper and complete execution of all necessary forms.

2. Who May Apply. Applications to the Board shall be made only by or on behalf of the owner(s) of the property affected. In the event a tenant or other interested party makes application, the owner's name and address shall appear on the application, and the tenant or other interested party shall affirmatively show that the owner(s) has been notified and has consented to the application being made, or, if such consent has not been given, the tenant or other interested party shall show why such consent is not necessary.

3. Plans Exhibits. The applicant shall supply as soon as possible after making application such evidentiary materials as the Secretary may require. This may include:

(a) One set of preliminary plans drawn to scale including but not limited to: Existing and proposed site plans, floor plans, building elevations, sections, etc.

(b) Photographs

(c) Such other matter as will tend to more clearly illustrate the matters in issue.

4. Fees. An application will not be accepted until the applicant has paid a fee according to the schedule determined by the Boulder City Council. The planning department shall maintain an up-to-date list of such fees.

5. Non-Application. Any communication purporting to be an application, appeal or petition shall be regarded as mere notice of intention to seek relief until the above requirements have been met. The person making such communication shall be notified of the further requirements and, upon request, shall be supplied with the proper forms for preparing the application. The receipt of any such communication shall not stay the running of any time limitation on appeals to the Board.

6. Subsequent Applications. No application requesting substantially similar treatment for the property shall be considered by the Board until one year following the date of final action by the Board.

IV. THE AGENDA

1. Format. The agenda shall be in a form similar to that being used by the Boulder City Council insofar as it is practicable.

2. The Calendar. All applications shall be numbered serially and hearings conducted accordingly. Unless expressly excepted by the Board or the Secretary, all applications filed and deemed complete before the publication deadline shall be placed on the agenda for the next regularly scheduled meeting.

V. HEARINGS

1. Generally. All hearings scheduled by the Board of Zoning Adjustment shall be:

(a) Conducted in public.

(b) Conducted in informal but orderly and systematic manner which shall be best suited to the isolation of issues, ascertainment of relevant facts, and an equitable resolution.

2. Order of Hearings. Matters properly filed for consideration and determination by the Board will ordinarily be heard in the order as determined by the agenda. A matter may, however, be advanced or delayed for hearing at the discretion of the Board on a showing of good cause. If the order of the agenda is not to be followed, the Chairperson shall make such decision known and orally declare the new order of hearing for the benefit of all applicants and the public.

3. Preliminary Matters. Questions relating to the regularity of a hearing of any matter on the agenda may be heard as a preliminary matter at the discretion of the Board. Such matters include, but are not limited to, jurisdiction of the Board, standing of an applicant, or sufficiency of notices.

4. Time Limits.

(a) Applicants and Staff shall have fifteen (15) minutes to present.

(b) Members of the public shall have three (3) minutes to comment.

(c) These time limits are general standards and may be modified by specific action of the Chair at the meeting.

5. Staff Presentation Hearings shall be commenced by the presentation from the planning staff describing the request, stating the history of the property and/or improvements to the extent relevant, actions of other review agencies pertaining to the request, and a statement of staff position and reasons as to whether the requirements for granting an application have or have not been met, or are not applicable to the request. Such staff position shall be available to the applicant or any other interested person not less than two (2) days before the hearing.

6. Rescheduling and Continuance by Applicant. After placing a matter on the agenda, the applicant may request that the hearing on the matter be continued, subject to the following limitations:

(a) The Secretary of the Board may reschedule a hearing for good cause shown provided a request is made by the applicant prior to the start of the meeting.

(b) If a continuance request is made after the hearing or meeting has started, it must be heard and decided by the Board, which may grant such request upon the showing of good cause by the applicant.

(c) If a continuance is granted, the hearing on the application shall be scheduled for a date certain no later than the next regularly scheduled hearing date or as otherwise granted by the Board. Posting and notice requirements shall be met as required by the Board.

If a continuance is denied, the applicant shall be informed of the right to withdraw the application before the hearing commences.

7. Continuance by the Board. The Board may continue the hearing on a matter upon motion of a member if such motion is made and passed before passage or denial of said application; provided, however, the movant shall publicly state the reason for the motion, and the Board shall allow both the applicant and spokesperson of the opposition an opportunity to state their position on the proposed continuance before a vote is taken. If continued, the application shall be scheduled for a date certain no later than the next regularly scheduled hearing date or as otherwise granted by the Board.

8. Withdrawal. An applicant may withdraw the application at any time before the hearing on the application is closed for Board deliberation, provided, however, that in the event of such withdrawal there shall be no refund of fees.

9. Appearances Before the Board. In all matters properly submitted, it is expected that the applicant or a duly appointed representative will be present and support the application. The applicant may also bring such other supportive witnesses as is deemed proper. Opponents to a proposition may likewise appear before the Board at the hearing and voice their position.

10. Time Limit. If the size of the agenda or the number of persons appearing in behalf of or in opposition to a proposition so warrants, the Chairperson, subject to Board approval, may place a reasonable time limitation presentations.

11. Absence of Applicant. In the event an applicant or a duly appointed representative shall not be present at the regularly scheduled hearing of a matter and the applicant or such representative has not communicated an intention to withdraw the application or request a continuance, the Board shall dispose of the matter in such manner as it may deem fair and equitable under the circumstances, including denial of the application.



VI. BOARD ACTION

1. Formal Motion. All actions by the Board relating to an application shall be preceded by a formal motion stating the proposition to be determined by the Board. Each such motion shall be seconded by not less than one member of the Board other than the movant before submission of the proposition to the vote of the members. Any motion may be amended or withdrawn in a similar fashion before a vote is taken thereon.

2. Voting Procedure. All ballots taken on motions relating to an application shall be by roll call of the members, reserving the Chairperson for last, and the vote of each member shall be recorded and made a part of the proceedings.

3. Effect of Votes. The effect of votes taken by the Board shall be as follows:

(a) An affirmative vote of three or more Board members shall result in passage of the motion. An applicant cannot be approved with less than three affirmative votes.

(b) If the first vote taken on a motion to approve or deny an application results in a tie, two-to-two, the applicant shall be allowed a rehearing. A tie vote on any subsequent motion to approve or deny shall result in defeat of the motion and denial of the application.

(c) A vote of two-to-one or one-to-two on a motion shall in all respect be considered a tie vote.

Where a vote results in a tie and a rehearing is requested by the applicant, notice and posting requirements shall be met as may be required by the Board.

4.

VII. REHEARING AND RECONSIDERATION

1. In General. No application or appeal decided by the Board can be reheard or reconsidered except as hereinafter provided.

2. Tie Vote. In the case of a tie on the initial vote taken, the applicant shall be allowed another hearing.

VIII. EMERGENCY HEARINGS

1. If, in the opinion of the Chief Building Official or the Secretary, circumstances require a decision of the Board of Building Appeals more quickly than can be achieved at the next regularly scheduled meeting, an emergency meeting may be called to decide the matter.
2. Notices of emergency meetings shall follow the requirements of the Boulder Revised Code.

VIV. ADOPTION OF RULES

1. Amendments. Provided notice of the proposed changes or additions has been given to each member of the Board and to the City Attorney at least fifteen days prior to a meeting, these Rules of Procedure may be amended by the Board in the following manner.

(a) At the first regular meeting of the year amendments can be adopted by an affirmative vote of three members.

(b) At any other meeting amendments can be adopted by an affirmative vote of four members.

These rules contain the amendments approved by the Board on , 20.

Chair
Board of Zoning Adjustment