



**CITY OF BOULDER  
PLANNING BOARD MEETING AGENDA**

**DATE:**

December 16, 2025

**TIME:** 6:00 PM

**PLACE:** Hybrid Meeting

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**1. CALL TO ORDER**

**2. PUBLIC PARTICIPATION**

**3. APPROVAL OF MINUTES**

**4. CALL UP ITEMS**

**A. Call-Up Item:** Use Review to allow for a 3,678 sq. ft Sales of Vehicles use in the BR-1 zone located at 1805 29th St Unit 1124. This application is subject to potential call-up on or before **December 19, 2025**.

**B. Call Up Item:** Site Review Amendment and Use Review to redevelop the existing structure at 4760 Baseline Road to construct two new commercial buildings in two phases. The existing bank will relocate to one building, and the second building will be a multi-tenant space for retail & restaurant use. The project will amend the existing PUD (P-85-70) to allow for two structures on the property and requires a Use Review to allow for a bank on the ground floor. These applications are subject to potential call-up on or before **December 19, 2025**.

**5. PUBLIC HEARING ITEMS**

**6. MATTERS FROM THE PLANNING BOARD, PLANNING DIRECTOR, AND CITY ATTORNEY**

A. Council Letter Discussion

**7. DEBRIEF MEETING/CALENDAR CHECK**

**8. ADJOURNMENT**

**CITY OF BOULDER PLANNING BOARD  
VIRTUAL AND HYBRID MEETING GUIDELINES**

**These guidelines apply to electronic meetings and hybrid meetings. Hybrid meetings permit simultaneous in-person and electronic participation.**

**CALL TO ORDER**

The Board must have a quorum (four members present) before the meeting can be called to order.

**AGENDA**

The Board may rearrange the order of the agenda or delete items for good cause. The Board may not add items requiring public notice.

**PUBLIC PARTICIPATION**

The public is welcome to address the Board (3 minutes\* maximum per speaker) during the Public Participation portion of the meeting regarding any item not scheduled for a public hearing. The only items scheduled for a public hearing are those listed under the category PUBLIC HEARING ITEMS on the Agenda. **Any exhibits introduced into the record must be provided to the Board Secretary for distribution to the Board and admission into the record via email 24 hours prior to the scheduled meeting time.**

**DISCUSSION AND STUDY SESSION ITEMS**

Discussion and study session items do not require motions of approval or recommendation.

**PUBLIC HEARING ITEMS**

A Public Hearing item requires a motion and a vote. The general format for hearing of an action item is as follows:

**1. Presentations**

- Staff presentation (10 minutes maximum\*).
- Applicant presentation (15-minute maximum\*). Any exhibits introduced into the record at this time must be provided to the Board Secretary by email, no later than 24 hours prior to the scheduled meeting time, for distribution to the Board and admission into the record.
- Planning Board questioning of staff or applicant for information only.

**2. Public Hearing**

Each speaker will be allowed an oral presentation of up to three minutes\*. Three or more people may pool their allotted time so one speaker can speak for five minutes\*. To pool time, all the people pooling time must be present in-person in the physical meeting room or present electronically when the spokesperson is called to speak. Speakers with pooled time must identify the people they are pooling time with by first and last name when called upon to speak, so they can be called upon to confirm their presence and willingness to pool their speaking time.

- Speakers should introduce themselves, giving name and address. If officially representing a person, entity, group, homeowners' association, etc., please state that for the record as well.
- The board requests that, prior to offering testimony, the speaker disclose any financial or business relationship with the applicant, the project, or neighbors. This includes any paid compensation. It would also be helpful if the speaker disclosed any membership or affiliation that would affect their testimony.
- Speakers are requested not to repeat items addressed by previous speakers other than to express points of agreement or disagreement. Refrain from reading long documents and summarize comments wherever possible. Documents and other physical evidence must be submitted via email 24 hours prior to the scheduled meeting to become a part of the official record.
- Speakers should address the applicable Land Use Code criteria and, if possible, reference the criteria that the Board uses to decide a case.
- Any exhibits intended to be introduced into the record at the hearing must be emailed to the Secretary for distribution to the Board and admission into the record **24 hours prior to the meeting.**
- Citizens can email correspondence to the Planning Board and staff at [boulderplanningboard@bouldercolorado.gov](mailto:boulderplanningboard@bouldercolorado.gov), up to **24 hours prior to the Planning Board meeting**, to be included as a part of the record.
- Applicants under Title 9, B.R.C. 1981, will be provided the opportunity to speak for up to 3 minutes\* prior to the close of the public hearing. The board chair may allow additional time.

**3. Board Action**

- Board motion. Motions may take any number of forms. With regard to a specific development proposal, the motion generally is to either approve the project (with or without conditions), to deny it, or to continue the matter to a date certain (generally in order to obtain additional information).
- Board discussion. This is undertaken entirely by members of the Board. The applicant, members of the public or city staff participate only if called upon by the Chair.
- Board action (the vote). An affirmative vote of at least four members of the Board is required to pass a motion approving any action. If the vote taken results in either a tie, a vote of three to two, or a vote of three to one in favor of approval, the applicant shall be automatically allowed a rehearing upon requesting the same in writing within seven days.

**MATTERS FROM THE PLANNING BOARD, DIRECTOR, AND CITY ATTORNEY**

Any Planning Board member, the Planning Director, or the City Attorney may introduce before the Board matters which are not included in the formal agenda.

**ADJOURNMENT**

The Board's goal is that regular meetings adjourn by 10:30 p.m. and that study sessions adjourn by 10:00 p.m. New agenda items will generally not



be commenced after 10:00 p.m.

#### **VIRTUAL MEETINGS**

For Virtual Meeting Guidelines, refer to <https://bouldercolorado.gov/government/board-commission/planning-board> page for the approved Planning Board Participation Rule for Electronic and Hybrid Hearings.

\*The Chair may lengthen or shorten the time allotted as appropriate. If the allotted time is exceeded, the Chair may request that the speaker conclude his or her comments

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## MEMORANDUM

**To:** Planning Board  
**FROM:** Adam Olinger, Case Manager  
**DATE:** December 16, 2025  
**SUBJECT:** **Call-Up Item:** Use Review to allow for a 3,678 sq. ft Sales of Vehicles use in the BR-1 zone located at 1805 29<sup>th</sup> St Unit 1124. This application is subject to potential call-up on or before **December 19, 2025**.  
**CASE No:** LUR2025-00076

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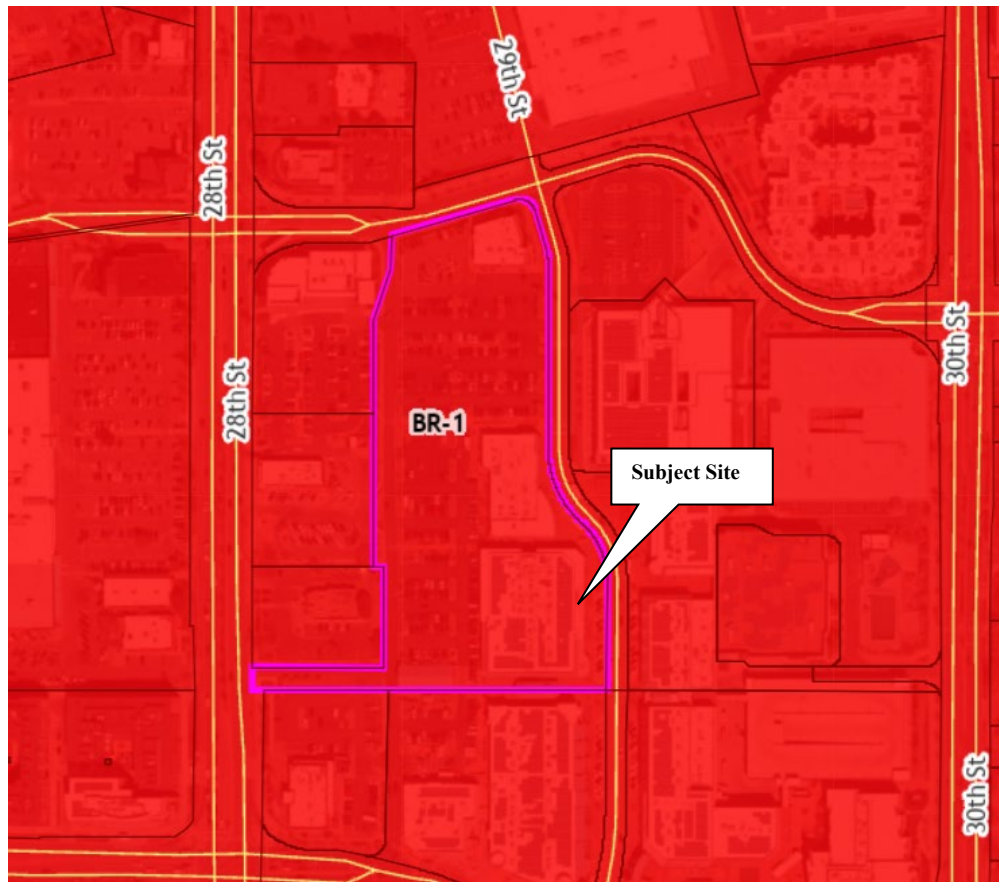
Attached is the Notice of Disposition of approval of a Use Review for a Sales of Vehicles use located in the Business Regional –1 (BR-1) Zoning District. Pursuant to the “Use Standards” in Section 9-6-1, B.R.C 1981, a Use Review is required for a Sales of Vehicles use in the BR-1 zoning district. Refer to **Attachment B** for staff’s analysis of the Use Review Criteria. Planning Board may call up the decision on or before December 19, 2025. Please direct any clarifying questions during the call up period to the case manager Adam Olinger at [olinger@bouldercolorado.gov](mailto:olinger@bouldercolorado.gov).

**Background.** The subject property is located on the west side of 29<sup>th</sup> St in between Canyon Blvd and Walnut St, within the Twenty Ninth Street Mall. The site is currently used as retail sales.



**Figure 1. Vicinity Map**

The site is zoned BR-1, which is defined as “Business centers of the Boulder Valley, containing a wide range of retail and commercial operations, including the largest regional-scale businesses, which serve outlying residential development.” ([Section 9-5-2\(c\)\(3\)\(E\), B.R.C. 1981](#)). The subject site is surrounded on all sides by BR-1 zoned properties. See **Figure 2**.



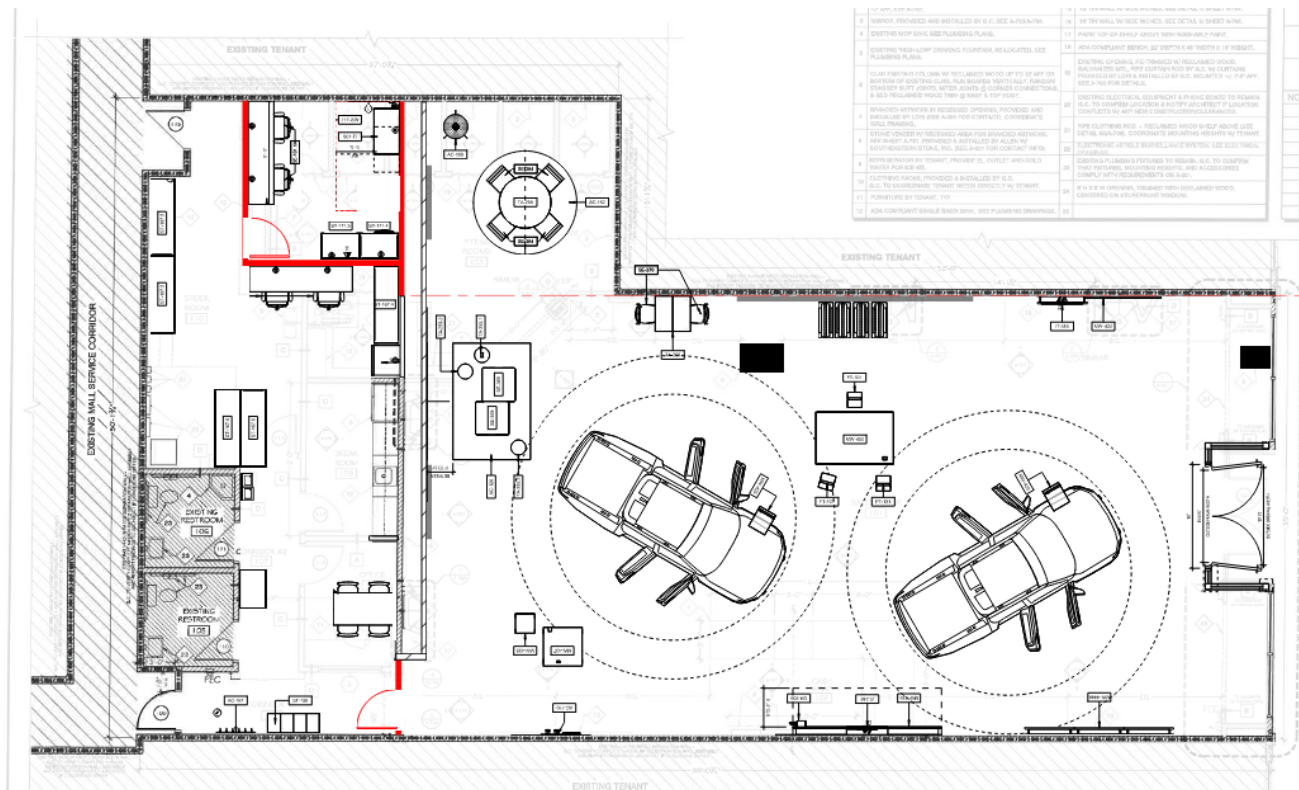
**Figure 2. Zoning Map**

**Project Proposal.** The applicant is requesting approval of a Use Review for a Sales of Vehicles use. The use will take over an existing retail suite within the Twenty Ninth Street Mall development, with only minor changes to the façade proposed. The use will also install four electric vehicle (EV) charging stations in the underground parking garage and will utilize an existing parking space along 29<sup>th</sup> St for their vehicles.

The Sales of Vehicles use will operate between the hours of 10:00am and 7:00pm Monday-Saturday and the hours of 11:00am and 6pm on Sunday. This use will not operate like a traditional car dealership, as no significant inventory will be available at this location. Instead, there will only be two non-operational display vehicles inside the showroom and a handful of demonstration vehicles in the reserved parking spaces for test drives. All sales, whether performed online or in store, will be delivered directly to the customers.

No changes will be made to the number of motor vehicle parking spaces within the greater Twenty Ninth Street Mall development as City of Boulder Ordinance 8696 recently was passed to eliminate motor vehicle parking requirements city-wide. No changes were made to the existing bicycle parking as the proposed use (Sales of Vehicles) requires fewer spaces than the previous use (Retail Sales).

Use Review approvals are specific to the description of the use and the operating characteristics that the applicant details in the written statement. Refer to **Figure 3** for the proposed site plan. Any expansions of the approved use would require a new Use Review application.



**Figure 3. Proposed Site Plan**

**Review Process.** Pursuant to Section 9-6-1, B.R.C., a Sales of Vehicles use in the BR-1 zone requires a Use Review pursuant to [Section 9-2-15, B.R.C. 1981](#). Per [Section 9-4-2, B.R.C. 1981](#), applications for Use Review are subject to call up by the Planning Board. No modifications from the development code have been requested. The proposal meets all other development standards for the zoning district and does not trigger or require Site Review. Refer to [Attachment A](#) for the conditions of approval.

**Analysis.** The proposal was found to be consistent with the Use Review criteria of [Subsection 9-2-15\(e\), B.R.C. 1981](#). The proposed Sales of Vehicles use is located in an area where auto-oriented commercial uses dominate and will operate more akin to a retail store than a traditional car dealership. Per the applicant's written statement, the new use will not have adverse impacts to the surrounding area. Please refer to [Attachment B](#) for staff's complete analysis of the review criteria and the conditions of approval can be found in [Attachment A](#).

**Public Comment.** Consistent with [Section 9-4-3, Public Notice Requirements, B.R.C. 1981](#), staff provided notification to all property owners within 600 feet of the subject location of the application. No public comments were received.

**Conclusion.** Staff finds that the proposed project meets the criteria of section 9-2-15, "Use Review," B.R.C. 1981 (refer to [Attachment B](#)). The proposal was **approved** by staff on **December 5, 2025** and the decision may be appealed by the applicant or any interested person or called up by a member of the Planning Board on or before **December 19, 2025**. There is a Planning Board hearing on **December 16, 2025**, during the 14-day call-up period. Questions about the project or decision or requests to call up the approval should be directed to the Case Manager, Adam Olinger at [olinger@bouldercolorado.gov](mailto:olinger@bouldercolorado.gov)

#### **Attachments:**

**Attachment A:** Signed Disposition of Approval

**Attachment B:** Criteria Analysis

**Attachment C:** Applicant's Management Plan and Written Statement

**Attachment D:** Applicant's Plan Set





# City of Boulder Planning & Development Services

## CITY OF BOULDER PLANNING DEPARTMENT NOTICE OF DISPOSITION

You are hereby advised that the following action was taken by the Planning Department based on the standards and criteria of the Land Use Code as set forth in Chapter 9-2, B.R.C. 1981, as applied to the proposed development.

DECISION: **APPROVED WITH CONDITIONS**  
PROJECT NAME: **TWENTY NINTH STREET**  
DESCRIPTION: **Use Review for Sales or Rental of Vehicles, totaling 3,678 sq ft.**  
LOCATION: **1805 29TH ST, UNIT 1124**  
LEGAL DESCRIPTION: **See Exhibit A**  
APPLICANT: **JULIE RENTZ**  
OWNER: **MACERICH TWENTY NINTH STREET LLC**  
APPLICATION: **Use Review, LUR2025-00076**  
ZONING: **Business - Regional 1 (BR-1)**  
CASE MANAGER: **Adam Olinger**  
VESTED PROPERTY RIGHT: **No; the owner has waived the opportunity to create such right under Section 9-20, B.R.C. 1981**

**APPROVED MODIFICATIONS FROM THE LAND USE REGULATIONS: NONE**

FOR CONDITIONS OF APPROVAL, SEE THE FOLLOWING PAGES OF THIS DISPOSITION.

Approved On: December 5, 2025

Date

By: \_\_\_\_\_

Brad Mueller, Director of Planning & Development Services

This decision may be appealed to the Planning Board by filing an appeal letter with the Planning Department within two weeks of the decision date. If no such appeal is filed, the decision shall be deemed final fourteen days after the date above mentioned.

**Appeal to Planning Board Expires: December 19, 2025**

**Final Approval Date: December 20, 2025**

## Attachment A - Signed Disposition of Approval

FOR A BUILDING PERMIT APPLICATION TO BE PROCESSED FOR THIS PROJECT, A SIGNED DEVELOPMENT AGREEMENT AND SIGNED FINAL PLANS MUST BE SUBMITTED TO THE PLANNING DEPARTMENT WITH DISPOSITION CONDITIONS AS APPROVED SHOWN ON THE FINAL PLANS. IF THE DEVELOPMENT AGREEMENT IS NOT SIGNED WITHIN NINETY (90) DAYS OF THE FINAL DECISION DATE, THE APPROVAL AUTOMATICALLY EXPIRES.

Pursuant to Section 9-2-12 of the Land Use Code (B.R.C. 1981), the Applicant shall obtain applicable building permit approvals and start construction within three years of the date of final approval or in compliance with the phasing plan if one was approved. Failure to comply with the three-year rule or approved phasing plan may cause this development approval to expire.

For a use review without construction requiring a building permit, the use must be established within three years of the date of final approval.

### CONDITIONS OF APPROVAL

1. The Applicant shall ensure that the **development shall be in compliance with all plans prepared by the Applicant** and the Applicant's written statement approved December 5, 2025, all on file in the City of Boulder Planning Department, except to the extent that the development may be modified by the conditions of this approval. Further, the Applicant shall ensure that the approved use is operated in compliance with the following restrictions:
  - a. The Applicant shall operate the business in accordance with the management plan approved December 5, 2025, which is attached to this Notice of Disposition.
  - b. Size of the approved use shall be limited to 3,678 square feet.
2. The Applicant **shall not expand or modify the approved use**, except pursuant to Subsection 9-2-15(i), B.R.C. 1981.



**EXHIBIT A**

**LEGAL DESCRIPTION**

**(1805 29<sup>TH</sup> Street)**

LOT 3, TWENTY NINTH STREET FINAL PLAT RECORDED MARCH 21, 2005 AT RECEPTION NO. 2673341,  
COUNTY OF BOULDER, STATE OF COLORADO.

## CRITERIA CHECKLIST AND COMMENT FORM

### USE REVIEW

#### SECTION 9-2-15(e)

LUR2025-00076

ADDRESS: 1805 29<sup>th</sup> St Unit 1124

DATE: October 24, 2025

### CRITERIA APPLICABLE TO ALL USE REVIEW APPLICATIONS

#### (e) Criteria For Review: *Meets criteria*

No use review application will be approved unless the approving agency finds all of the following:

##### (1) Rationale: *Yes*

The use either:

- (A) Provides direct service or convenience to or reduces adverse impacts to the surrounding uses or neighborhood; *Yes*
- (B) Provides a compatible transition between higher intensity and lower intensity uses; *N/A*
- (C) Is necessary to foster a specific city policy, as expressed in the Boulder Valley Comprehensive Plan, including, without limitation, historic preservation, moderate income housing, residential and nonresidential mixed uses in appropriate locations and group living arrangements for special populations; or *N/A*
- (D) Is an existing legal nonconforming use or an expansion that is permitted under Subsection (f) of this section; *N/A*

##### Staff Response:

*The proposed use provides a direct service to the surrounding neighborhood by allowing residents and visitors to test drive and purchase Rivian electric vehicles.*

##### (2) Compatibility: *Yes*

The location, size, design, and operating characteristics of the use will be reasonably compatible with and have minimal negative impact on the use of nearby properties, or, for residential uses or community, cultural, and educational uses in industrial zoning districts, the proposed development reasonably mitigates the potential negative impacts from nearby properties;

##### Staff Response:

*The proposed use will be reasonably compatible with the nearby properties and suites, as the storage/transaction of vehicles for sale will be located off-site. The location will act as a retail store for customers to see the product packages in the showroom and to test drive a select number of vehicles.*

##### (3) Infrastructure: *Yes*

The use will not significantly adversely affect the infrastructure of the surrounding area, including, without limitation, water, wastewater and storm drainage utilities and streets, compared to an allowed use in the zoning district, or compared to the existing level of impact of a nonconforming use;

##### Staff Response:

*Staff does not foresee this use causing any adverse impacts to the infrastructure of the area.*

**(4) Character of Area: *Yes***

The use will not change the predominant character of the surrounding area or the character established by adopted design guidelines or plans for the area; and

**Staff Response:**

*The retail character of the surrounding area will not be altered by the proposed use.*

**(5) Conversion of Dwelling Units to Nonresidential Uses: *N/A***

There shall be a presumption against approving the conversion of dwelling units in the residential zoning districts to nonresidential uses that are allowed pursuant to a use review, or through the substitution of one nonconforming use with another nonconforming use. The presumption against such a conversion may be overcome by a finding that the use to be approved serves another compelling social, human services, governmental or recreational need in the community, including, without limitation, a use for a daycare center, park, religious assembly, social service use, benevolent organization use, art studio or workshop, museum, or an educational use.

**Staff Response:**

*N/A*

## **SPECIFIC USE STANDARDS – COMMERCIAL USES (SECTION 9-6-5)**

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**(e) The following standards apply to any sales or rental of vehicles that may be approved as a conditional use or pursuant to a use review: *Meets criteria***

(A) General Standards: Any sales or rental of vehicles approved as a conditional use or pursuant to a use review shall meet the following standards:

- i. **No person shall allow outdoor intercoms and similar devices that electronically amplify sound to be audible at or beyond the property line. *Yes***

**Staff Response:**

*Outdoor intercoms and similar devices that electronically amplify sound are not a part of this application.*

- ii. **The use shall not be open for business during the hours of 9 p.m. through 7 a.m. *N/A***

**Staff Response:**

*The use will not be open between 7 p.m. and 10 a.m.*

- iii. **During regular business hours, outdoor lighting on the property shall not exceed an average of ten footcandles. *N/A***

**Staff Response:**

*The use will not make any changes to the outdoor lighting at the Twenty Ninth Street Mall development.*

- iv. **During all other times, outdoor lighting on the property shall be in conformance with the standards set forth in Section 9-9-16, "Lighting, Outdoor," B.R.C. 1981. *N/A***

**Staff Response:**

*The use will not make any changes to the outdoor lighting at the Twenty Ninth Street Mall development.*

## USE REVIEW WRITTEN STATEMENT

Submit with your application.

### ► KEY INFORMATION

Please provide the following information. Please type or print complete, detailed responses. Please also select use types from the Use Table in [Section 9-6-1](#) of the Boulder Revised Code.

#### EXISTING

Use of building and land:

Hours of operation:

Number of employees (indicate full and part time)

Estimated number of trips to site per day (indicate mode of transportation used to reach the site)

#### PROPOSED

Use of building and land:

Hours of operation:

Number of employees (indicate full and part time)

Estimated number of trips to site per day (indicate mode of transportation used to reach the site)

Uses on adjacent/surrounding properties:

Narrative: In the space provided below or in an attached letter, please type or print a narrative describing the proposal in specific detail. Only one written narrative is necessary per development project.



► **USE REVIEW CRITERIA**

In the space provided below, please indicate how the proposal will meet the Use Review criteria.

1. **Consistency With Zoning and Nonconformity:** The use is consistent with the purpose of the zoning district as set forth in [Section 9-5-2](#), "Zoning Districts," B.R.C. 1981, except in the case of a nonconforming use;

2. **Rationale. The use either:**

- (A) Provides direct service or convenience to or reduces adverse impacts to the surrounding uses or neighborhood;

- (B) Provides a compatible transition between higher intensity and lower intensity uses;

- (C) Is necessary to foster a specific city policy, as expressed in the Boulder Valley Comprehensive Plan, including, without limitation, historic preservation, moderate income housing, residential and non- residential mixed uses in appropriate locations and group living arrangements for special populations; or

- (D) Is an existing legal nonconforming use or a change thereto that is permitted under Subsection (f) of this section;

**3. Compatibility:** The location, size, design and operating characteristics of the proposed development or change to an existing development are such that the use will be reasonably compatible with and have minimal negative impact on the use of nearby properties or for residential uses in industrial zoning districts, the proposed development reasonably mitigates the potential negative impacts from nearby properties;

**4. Infrastructure:** As compared to development permitted under [Section 9-6-1](#), "Schedule of Permitted Land Uses," B.R.C. 1981, in the zone, or as compared to the existing level of impact of a nonconforming use, the proposed development will not significantly adversely affect the infrastructure of the surrounding area, including, without limitation, water, wastewater and storm drainage utilities and streets;

**5. Character of Area:** The use will not change the predominant character of the surrounding area or the character established by adopted design guidelines or plans for the area; and

**6. Conversion of Dwelling Units to Non-Residential Uses:** There shall be a presumption against approving the conversion of dwelling units in the residential zoning districts to nonresidential uses that are allowed pursuant to a use review, or through the change of one nonconforming use to another nonconforming use. The presumption against such a conversion may be overcome by a finding that the use to be approved serves another compelling social, human services, governmental or recreational need in the community, including, without limitation, a use for a daycare center, park, religious assembly, social service use, benevolent organization use, art or craft studio space, museum or an educational use.





► **ADDITIONAL CRITERIA FOR MODIFICATION TO NON-CONFORMING USES**

A non-conforming use is described as any use of a building or use of a lot that is not permitted under [Section 9-6-1](#), "Schedule of Permitted Uses of Land," B.R.C. 1981, but excludes a conforming use in a non-standard building or on a non-standard lot; a legal existing use that has been approved as a conditional use or a use review use, or a use approved pursuant to a valid special review or a use review approval. A non-conforming use also includes an otherwise conforming use, except a single dwelling unit on a lot, that does not meet the parking and residential density requirements, including, without limitation, the requirements for minimum lot area per dwelling unit; useable open space per dwelling unit, or required off-street parking requirements for [Section 9-6-1](#), "Schedule of Bulk Requirements," B.R.C. 1981.

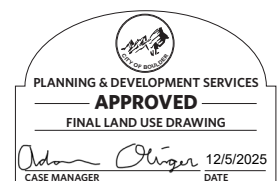
**1. Reasonable Measures Required:** The applicant has undertaken all reasonable measures to reduce or alleviate the effects of the non-conformity upon the surrounding area, including without limitation objectionable conditions, glare, visual pollution, noise pollution, air emissions, vehicular traffic, storage of equipment, materials and refuse, and on-street parking, so that the change will not adversely affect the surrounding area;

**2. Reduction in Non-Conformity / Improvement of Appearance:** The proposed change or expansion will either reduce the degree of non-conformity of the use or improve the physical appearance of the structure or the site without increasing the degree of non-conformity;

**3. Compliance with this Title / Exceptions:** The proposed change in use complies with all of the requirements of this title:

(A) Except for a change of a non-conforming use to another non-conforming use; and

(B) Unless a variance to the setback requirements has been granted pursuant to [Section 9-2-3](#), "Variances", B.R.C. 1981, or the setback has been varied through the application of the requirements of [Section 9-2-14](#), "Site Review", B.R.C. 1981; and



**5. No Increase in Floor Area Over Ten Percent:** The change or expansion will not result in an increase in floor area of more than ten percent of the existing floor area.

**6. Approving Authority May Grant Zoning Variances:** The approving authority may grant the variances permitted by [Subsection 9-2-3\(d\)](#), B.R.C. 1981, upon finding that the criteria set forth in [Subsection 9-2-3\(h\)](#), B.R.C. 1981, have been met.



**RIVIAN**



Use Review

City of Boulder

Address: Twenty Ninth Street Mall, 1805 29th St #1124, Boulder, CO

Zoning District: BR-1

To whom this may concern,

This letter serves as Rivian's request for a formal use review describing Rivian and our intended retail operations at the property located at Suite 1124 in the Twenty Ninth Street Mall property.

Rivian is an American-based electric vehicle and technology company (NASDAQ: RIVN). We believe there is a more responsible way to explore the world and are determined to make the transition to sustainable transportation an exciting one. We have begun delivering our two fully electric consumer vehicles (the **R1T** and **R1S**) as well as an electric van for commercial use (RCV). On March 7, 2024, we revealed **R2** and **R3**, our newest models which will be smaller and more affordable electric vehicles. Rivian's proposed uses within the premises include:

Non-operational, static display vehicles for educational purposes. Allowing customers to interact with the product and our brand. The two display vehicles in the showroom will not be for sale and non-operational.

Demonstration drives – Demonstration drives would occur during operating hours, with the demo vehicles parked in (4) designated parking stalls determined by the landlord (demo vehicles are solely for education purposes and are not for sale). The drives will be administered by Rivian staff – the customer would be driving the vehicle, but there will be a Rivian employee with them through the whole process including the drive.

Vehicle Studio – meant to educate customers on the interior and exterior finish options for Rivian vehicles.





Charging education – provides customers with information on charging options available, information on Rivian's expanding network and education around how EV culture works.

Trip Planning – graphics and virtual displays for educational and entertainment purposes showing local and regional opportunities to use your vehicle to its fullest.

Merchandise display – Area for Rivian-branded Merchandise for sale. T-shirts, backpacks, hats, water bottles, etc. will all be displayed and for sale on site. Rivian partners with manufacturers and brands to produce their salable merchandise that align well with our outdoor and adventurous spirit and fit well within the Spectrum Center retail market.

Back of House – a private office, break room, merchandise storage room, IT closet and other support functions will serve the employees on site. We plan for 8-10 employees to be working the following hours of operation: Monday to Saturday, 10 am - 7 pm; Sundays, 11 am - 6 pm (hours subject to landlord approval and the center's seasonality).

Our goal is to create physical spaces where customers can come to learn about our brand and products, with an ultimate goal of driving brand awareness, education, and engagement. While customers may place an online vehicle order on or off-site, the space will not serve as a traditional dealership in that Rivian will not hold 'for-sale' vehicle inventory on site. Also, customers cannot negotiate pricing, take delivery or complete payment/paperwork on site. Each vehicle is custom built for the customer and shipped directly to customers from our factory in Normal, Illinois, not from our retail locations. Rivian has 33 retail stores operational in the United States and Canada.

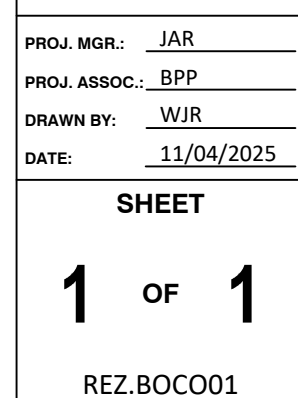
We look forward to any feedback regarding our use and operations, as well our path towards occupancy at the Twenty Ninth Street Mall.

Sincerely,

Hannah Woo  
Design Manager, Commercial Facilities











PROJECT NAME:

# BOULDER HUB EV CHARGING

1805 29TH ST.  
BOULDER, CO 80301

Owner  
Rivian LLC  
13250 N Haggerty Road, Plymouth, MI 48170

Architect  
REZTARK DESIGN STUDIO, LLC  
601 MAIN ST, SUITE 200 CINCINNATI, OH  
CONTACT - KEVIN SPRING  
PHONE - 519-233-3333

Structural Engineer

MEP Engineer  
KOHRS LONNEMAN HEIL ENGINEERS, INC.  
1538 ALEXANDRIA PIKE ST 11  
FORT THOMAS, KY 41075  
CONTACT - JUSTIN MARQUARDT  
PHONE - 519-547-0239



## ELECTRIC EQUIPMENT SCHEDULE - GARAGE EV CHARGERS

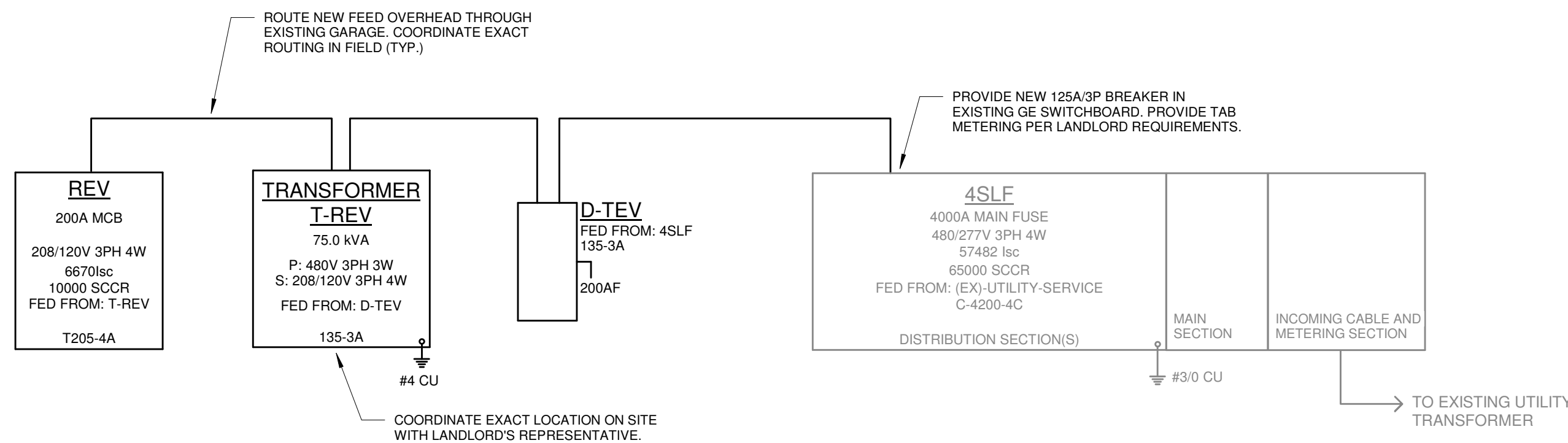
ALL ALUMINUM BUSSING SHALL BE TIN-PLATED. ALL COPPER BUSSING SHALL BE EITHER TIN-PLATED OR SILVER-PLATED

EQUIPMENT	PHASE	SUPPLY FROM	TYPE	VOLTAGE	PHASE	WIRES	DEMAND (KVA)	DEMAND (A)	MAINS RATING (A)	MAINS FRAME RATING (A)	MAINS TYPE	BUSSING (PLATED)	MOUNTING	FEEDER	LGSS TYPE	SPD	ULISE	GEC	ENCLOSURE TYPE	FAULT CURRENT (A)	SHORT CIRCUIT RATING (A)	NOTES
4SLF	Existing	(EX) UTILITY SERVICE	Switchboard	480	3	4	1650/10 VA	2225 A	4000	4000	FUSED - BOLTED PRESSURE	COPPER OR ALUMINUM	PAL	(10) SETS OF (4) #800 KCMIL CU (1) #500 KCMIL CU GND. IN 4" CONDUIT EACH 75C RATED	No	Yes	Yes	NEMA 1	57482	65000		
4SLF	Phase 1	(EX) UTILITY SERVICE	Safety Switch	480V	3	3	50/100 VA	60 A	125	200	THERMAL MAGNETIC	COPPER OR ALUMINUM	SURFACE	(3) #250 AWG AL (1) #4 AWG AL GND. IN 2" CONDUIT 75C RATED	No	No	No	NEMA 1	33469	42000		
REV	Phase 1	T-REV	Branch Panelboard	208	3	4	50/100 VA	139 A	200	200	THERMAL MAGNETIC	COPPER OR ALUMINUM	SURFACE	(4) #250 KCMIL AL (1) #2 AWG AL GND. IN 3" CONDUIT 75C RATED	No	No	No	NEMA 3R	6670	10000		

## ELECTRIC TRANSFORMER SCHEDULE

EQUIPMENT	PHASE	SUPPLY FROM	TYPE	RATING	DEMAND	PRIMARY VOLTAGE	PRIMARY WIRES	SECONDARY VOLTAGE	FEEDER	SECONDARY WIRES	WINDINGS	ENCLOSURE TYPE	K-RATING	MOUNTING	NOTES
T-REV	Phase 1	D-TEV	Dry Type Transformers	75.0 kVA	50.1 kVA	480 V	3	208	(3) #250 AWG AL (1) #4 AWG AL GND. IN 2" CONDUIT 75C RATED	4		COPPER OR ALUMINUM	NEMA 1	OVERHEAD	

PANEL NAME: REV										BUSSING: COPPER OR ALUMINUM										MOUNTING: SURFACE										PHASE: Phase 1																													
SUPPLY FROM: T-REV										MAINS RATING (A): 200										FAULT CURRENT (A): 6670										SURGE SUPPRESSION: No																													
LOCATION:										MANS TYPE: THERMAL MAGNETIC										SHORT CIRCUIT RATING (A): 10000										ULSE: No																													
DISTRIBUTION SYSTEM: 208/120V 3PH 4W										FEEDER ID: T025-4A										LUSS TYPE:										200% NEUTRAL: No																													
FEEDER: (4) #250 KCMIL AL, (1) #2 AWG AL GND. IN 3" CONDUIT 75C RATED																				ENCLOSURE TYPE: NEMA 3R										ISOLATED GROUND:																													
CKT	CIRCUIT DESCRIPTION									VD%	AWG	GND	TRIP	FRAME	POLE	A	B	C	POLE	FRAME	TRIP	GND	AWG	VD%	CIRCUIT DESCRIPTION									CKT																									
1	(LT) LVL 2 EV									0.815	#14	#10	60 A	60 A	2	4.99	--	--	--	1	--	--	--	--	SPACE										2																								
3										--	--	--	--	--	1		4.99	--	--	1	--	--	--	--	SPACE										4																								
5	SPACE									--	--	--	--	--	1			--	4.99															6																									
7	SPACE									--	--	--	--	--	1	--	4.99	--	--	2	60 A	60 A	#10	#4	0.59	(LT) LVL 2 EV										8																							
9																	4.99	--	--	1	--	--	--	--	SPACE										10																								
11	(LT) LVL 2 EV									0.707	#14	#10	60 A	60 A	2				4.99	--	1	--	--	--	SPACE										12																								
13	SPACE									--	--	--	--	--	1	--	4.99	--	--						SPACE										14																								
15	SPACE									--	--	--	--	--	1		--	4.99	--	2	60 A	60 A	#10	#4	0.467	(LT) LVL 2 EV										16																							
17	SPACE									--	--	--	--	--	1			--	--	1	--	--	--	--	SPACE										18																								
19	SPACE									--	--	--	--	--	1	--	--	--	--	1	--	--	--	--	SPACE										20																								
21	SPACE									--	--	--	--	--	1		--	--		1	--	--	--	--	SPACE										22																								
23	SPACE									--	--	--	--	--	1			--	--	1	--	--	--	--	SPACE										24																								
25	SPACE									--	--	--	--	--	1	--	--	--	--	1	--	--	--	--	SPACE										26																								
27	SPACE									--	--	--	--	--	1		--	--	--	1	--	--	--	--	SPACE										28																								
29	RCPT									0.266	#12	#12	20 A	20 A	1				0.18	--	1	--	--	--	--	SPACE										30																							
TOTAL CONNECTED LOAD: 15.0 kVA																														15.0 kVA										10.2 kVA																			
LOAD CLASSIFICATION										CONNECTED LOAD										DEMAND FACTOR										ESTIMATED DEMAND										NOTES:										BREAKER QUANTITIES (NEW ONLY)									
Continuous										39936 VA										125.00%										49920 VA																				(1) 20A / 1P, (4) 60A / 2P(L)									
Receptacle										180 VA										100.00%										180 VA																													
PANEL TOTALS																																																											
TOTAL CONNECTED LOAD: 40.1 kVA																																																											
DEMAND CALCULATION NOTES:																																																											
TOTAL DEMAND: 50.1 kVA																																																											
TOTAL DEMAND AMPS: 139 A																																																											



PARTIAL ELECTRIC SINGLE-LINE DIAGRAM

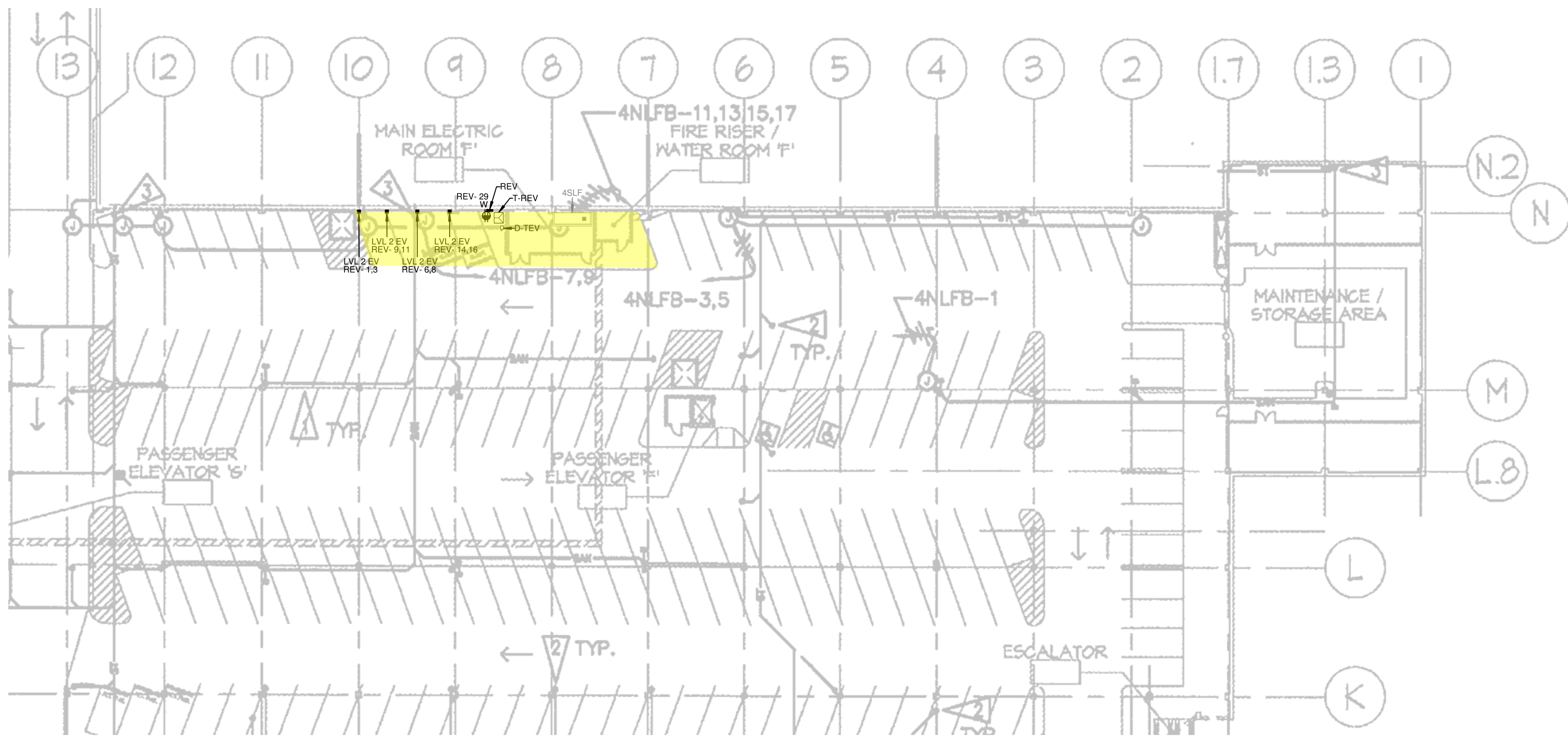
SCALE: NONE

## PANEL SCHEDULE LEGEND

- WIRE SIZED TO COMPENSATE FOR VOLTAGE DROP
- REFER TO DRAWINGS FOR SPECIFICATIONS
- NEW CIRCUIT TO EXISTING CIRCUIT BREAKER
- EXISTING CIRCUIT TO REMAIN
- PROVIDE GROUND-FAULT CIRCUIT INTERRUPTER (GFCI) CIRCUIT BREAKER
- PROVIDE HANDLE TIE
- PROVIDE LOCK-ON DEVICE
- PROVIDE LOCK-OUT/TAG-OUT DEVICE
- SEE THE SINGLE LINE DIAGRAM / SCHEDULE FOR WIRE SIZE AND VOLTAGE DROP

## PANEL SCHEDULE GENERAL NOTES

- PROVIDE HAZARD RATED BREAKERS ON ALL MOTOR LOADS.
- ALL CONDUCTORS SHOWN ARE COPPER.
- ALL VOLTAGE DROP CALCULATIONS AND COMPENSATED WIRE SIZES ARE BASED ON RIGHT ANGLE CIRCUIT LENGTHS.
- ACTUAL VOLTAGE DROP MAY VARY BASED ON INSTALLED WIRE LENGTH.
- VOLTAGE DROP CALCULATIONS AND WIRE SIZES SHOWN IN THE PANEL SCHEDULES ARE FOR HOMERUN CONDUCTORS ONLY. FOR CIRCUITS WITH MORE THAN 1 DEVICE, THESE SIZES ASSUME THE CONDUCTORS DOWNSTREAM OF THE HOMERUN DEVICE ARE THE MINIMUM SIZE REQUIRED BY THE NEC BASED ON THE RATING OF THE CIRCUIT. WHERE THIS IS NOT THE CASE, IT HAS BEEN INDICATED ON THE DRAWINGS. VOLTAGE DROP TO THE FARTHEST DEVICE HAS BEEN CALCULATED TO NEVER EXCEED 5%.
- RECEPTACLE LOADS CALCULATED AT 100% OF FIRST 10kVA, 50% OF REMAINDER. MOTOR LOADS CALCULATED AT 125% OF THE LARGEST MOTOR, 100% OF ALL OTHER MOTORS.



① ELECTRIC GARAGE PLAN  
NOT TO SCALE

## ELECTRIC LEGEND

SYMBOL	DESCRIPTION
RECEPTACLES AND MISCELLANEOUS OUTLETS	
	SINGLE ("SIMPLEX"), DUPLEX, AND DOUBLE DUPLEX ("QUAD") RECEPTACLE RESPECTIVELY
	GFI / GFCI RECEPTACLES
	SPECIAL PURPOSE RECEPTACLE
	RECEPTACLE ATTRIBUTES 42" = MOUNT RECEPTACLE AT THIS HEIGHT ABOVE GRADE / FINISHED FLOOR C = INSTALL ABOVE COUNTER AND BACKSPLASH H = INSTALL RECEPTACLE HORIZONTALLY L = LIT (PROVIDE ILLUMINATED FACE OR INDICATOR LIGHT TO INDICATE THERE IS POWER TO RECEPTACLE) SW = SPLIT WIRED T = TAMPER-RESISTANT W = WEATHER PROOF WHILE IN USE COVER AND WEATHER RESISTANT RECEPTACLE
MISCELLANEOUS	
	INDICATES DIRECT CONNECTION TO EQUIPMENT
	MOTOR RATED TOGGLE SWITCH, MANUAL STARTER WITH PILOT LIGHT, AND MANUAL STARTER WITH PILOT LIGHT WITH EXTERNAL RELAY FOR CONTROL OR MONITORING RESPECTIVELY - ALL MAY BE KEYED "K"
	HEAVY DUTY DISCONNECT SWITCH (NON-FUSED) (LEFT) HEAVY DUTY DISCONNECT SWITCH (FUSED) (RIGHT)
	ELECTRICAL PANELBOARD OR DISTRIBUTION BOARD (DIMENSIONS MAY VARY / FLUSH OR SURFACE MOUNTED AS INDICATED)
SINGLE LINE DIAGRAM	
	ELECTRICAL PANELBOARD OR DISTRIBUTION BOARD
	SURGE PROTECTIVE DEVICE
WIRE / CABLE / RACEWAY	
	BRANCH CIRCUIT HOME RUN WITH PANEL NAME AND CIRCUIT NUMBER(S)
	CABLING / RACEWAY INSTALLED CONCEALED IN WALLS OR ABOVE CEILING
	CABLING / RACEWAY INSTALLED BELOW FLOOR OR GRADE
	JUNCTION BOX ABOVE ACCESSIBLE CEILING JUNCTION BOX AT OVERHEAD STRUCTURE IN AREAS WITH NO CEILING
	FLUSH MOUNTED JUNCTION BOX OR PULL BOX AS APPLICABLE FOR APPLICATION
	FLUSH MOUNTED PULL BOX
	CONDUIT UP OR DOWN
ABBREVIATIONS	
42"	DISTANCE ABOVE FINISHED FLOOR / GRADE / PAVEMENT
AF	AMP FRAME OF FUSED SWITCH OR CIRCUIT BREAKER
AFCI	ARC-FAULT CIRCUIT INTERRUPTER
AT	AMP TRIP OF FUSED SWITCH OR CIRCUIT BREAKER
ATS	AUTOMATIC TRANSFER SWITCH
BAS	BUILDING AUTOMATION SYSTEM
C.T.C.	WORK UNDER DIVISION 27 OR 28 AS APPLICABLE
C/B	CIRCUIT BREAKER
C / CH	COUNTER HEIGHT OR SPECIAL HEIGHT DEVICE
DW	DISHWASHER
E	EMERGENCY
E.C.	WORK UNDER DIVISION 26
EMS	ENERGY MANAGEMENT SYSTEM
EPO	EMERGENCY POWER OFF
ERM	ENERGY REDUCTION MAINTENANCE SWITCH
ESP	EMERGENCY STANDBY RATING
ETR	EXISTING TO REMAIN
EWC	ELECTRIC WATER COOLER
EX	EXISTING
FBO	FURNISHED BY OTHERS - INSTALLED AND WIRED BY E.C.
FIBO	FURNISHED AND INSTALLED BY OTHERS - WIRED BY E.C.
FP	RECEPTACLE TO BE USED FOR A FLAT PANEL DISPLAY
FW	FURNISHED WITH EQUIPMENT BY OTHERS - INSTALLED AND WIRED BY E.C.
GD	GARBAGE DISPOSAL
GFP	GROUND FAULT EQUIPMENT PROTECTION
GFI / GFCI	GROUND FAULT CIRCUIT INTERRUPTER DEVICE
GND	GROUND
H.C.	WORK UNDER DIVISION 23
H.O.A.	"HAND - OFF - AUTO" SWITCH
IG	ISOLATED GROUND
ISC	SHORT CIRCUIT CURRENT
LR	LEGALLY REQUIRED STANDBY
LJ	LONG - INSTANTANEOUS
LSI	LONG - SHORT - INSTANTANEOUS
LSIG	LONG - SHORT - INSTANTANEOUS - GROUND FAULT
MCB	MAIN CIRCUIT BREAKER
MFR	MANUFACTURER
MLO	MAN LOCK ONLY
MTS	MANUAL TRANSFER SWITCH
MW	MICROWAVE OVEN
NIC	NOT IN CONTRACT (SHOWN FOR REFERENCE ONLY)
NTS	NOT TO SCALE
OFE	OWNER-FURNISHED EQUIPMENT - INSTALLED AND WIRED BY E.C.
OS	OPTIONAL STANDBY
P.C.	WORK UNDER DIVISION 22
(R)	RELOCATE
S.C.	WORK UNDER DIVISION 21
SCCR	SHORT CIRCUIT CURRENT RATING
SPD	SURGE PROTECTIVE DEVICE
SST	SHUNT TRIP
TAAC	TO ABOVE ACCESSIBLE CEILING
TR	TAMPER RESISTANT
TTY	TELEPHONE TERMINAL BOARD
TYT	UNDER COUNTER REFRIGERATOR UNDERWRITERS LABORATORY LISTED FOR SERVICE ENTRANCE UNLESS NOTED OR INDICATED OTHERWISE ON DRAWINGS OR IN SPECIFICATIONS
UCR	
ULI	
U.S.E.	
UNO	
VFD / VSD	VARIABLE FREQUENCY / SPEED DRIVE
VFI	VERIFY IN FIELD
VW	VENDING MACHINE
VW	VANDAL PROOF
W	WEATHERPROOF
WG	WIRE GUARD
WR	WEATHER RESISTANT
X	RATED FOR CLASSIFIED LOCATION
PLAN-VIEW AND GRAPHIC LINE TYPES	
WORK SHOWN BOLD-CONTINUOUS INDICATES NEW WORK (UNLESS OTHERWISE INDICATED)	
WORK SHOWN FADED INDICATES EXISTING WORK TO REMAIN OR NEW WORK BY OTHERS AS APPLICABLE	









*style purpose*  
in Boulder

**Lizard Thicket boutique**  
TWENTY-NINTH STREET  
1770 5TH AVENUE #4  
BOULDER, COLORADO 80301  
2504



Mail Address:

TWENTY NINTH STREET  
BOULDER, CO

For Leasing

Information Contact:

**Meghan Kaltenstein**

1710 29th Street

Suite 2048

Boulder, CO 80301

Phone: (303) 444-0722

Fax: (303) 449-5079

For Restaurant

Leasing Contact:

**Jessica Janes**

MACERICH

401 Wilshire Blvd.

Santa Monica, CA 90401

Phone: (424) 229-3542

Note:

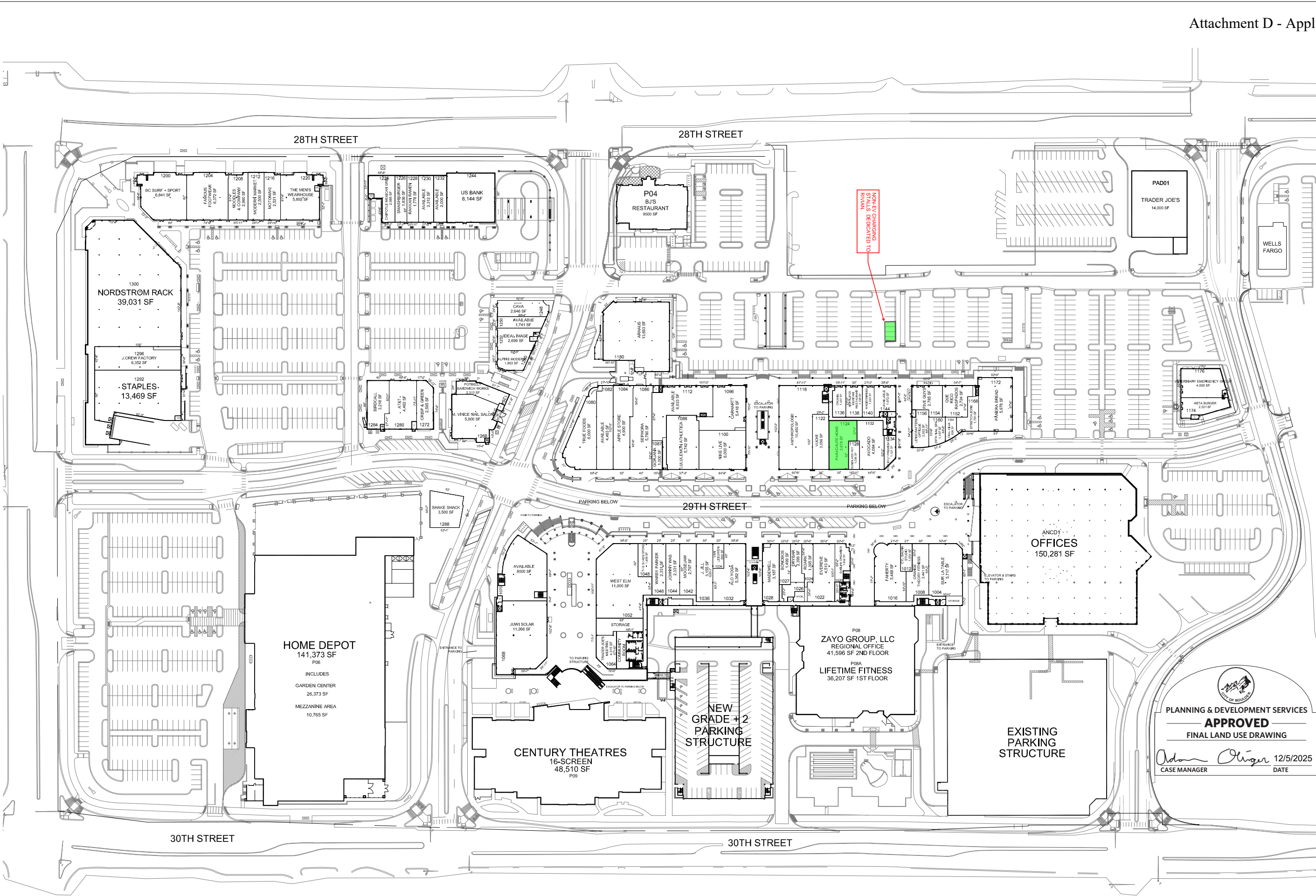
This is a schematic plan only  
intended to show the general  
layout of the shopping  
center or part thereof. This  
plan is not to be scaled.

LAST UPDATED: 10.22.24  
BY: G2



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FIRST LEVEL  
LEASE PLAN



## MEMORANDUM

**To:** Planning Board  
**FROM:** Alex Pichacz, Case Manager  
**DATE:** December 16, 2025  
**SUBJECT:** **Call-Up Item:** Site Review Amendment and Use Review to redevelop the existing structure at 4760 Baseline Road to construct two new commercial buildings in two phases. The existing bank will relocate to one building, and the second building will be a multi-tenant space for retail & restaurant use. The project will amend the existing PUD (P-85-70) to allow for two structures on the property and requires a Use Review to allow for a bank on the ground floor. These applications are subject to potential call-up on or before **December 19, 2025**.  
**CASE No:** LUR2024-00076, LUR2025-00009

---

The purpose of this item is for the Planning Board to consider the call-up of the attached Site Review Amendment and Use Review for a public hearing. Attached is the disposition of approval (see **Attachment A**) to allow for the demolition of the existing structure at 4760 Baseline Road to redevelop the property with two new buildings. The existing Elevations Credit Union bank will relocate to its own, separate, building on the property and the second building will provide commercial tenant spaces for retail or restaurant uses including outdoor patio seating. Proposed site improvements include widening the sidewalk into a multi-use path along the frontage of Baseline Road and updated landscaping.

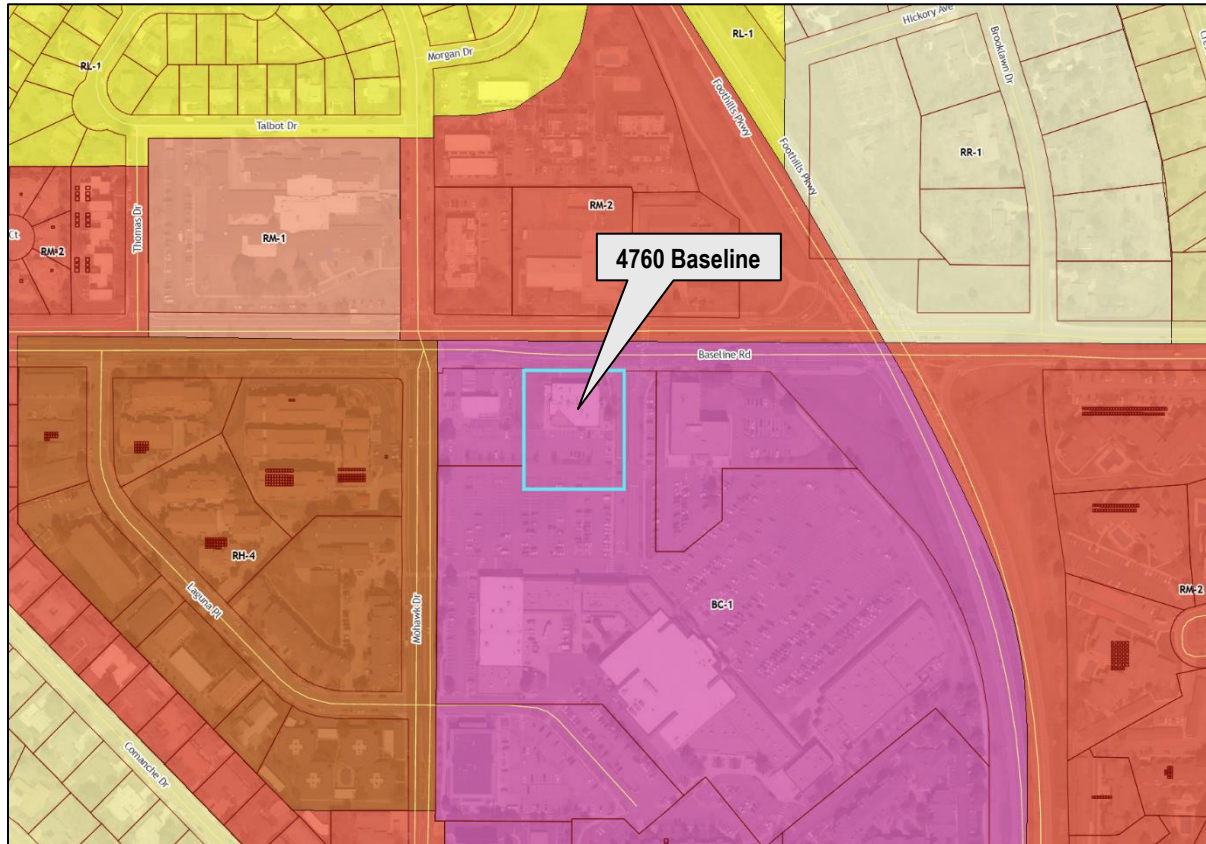
**Background.** The site is a 1.28-acre property that is part of the Meadows on the Parkway Shopping Center, approved through a Planned Unit Development (PUD) process in 1987. The property is located near the main entrance to the shopping center along Baseline Road and separated from the main shopping center building by the existing parking lot. It is currently developed with a single-story building constructed in 1990 that has a bank and two vacant tenant spaces which were recently an ice cream shop and sandwich shop. The site location is shown in **Figure 1** below.



**Figure 1 – Site Location**

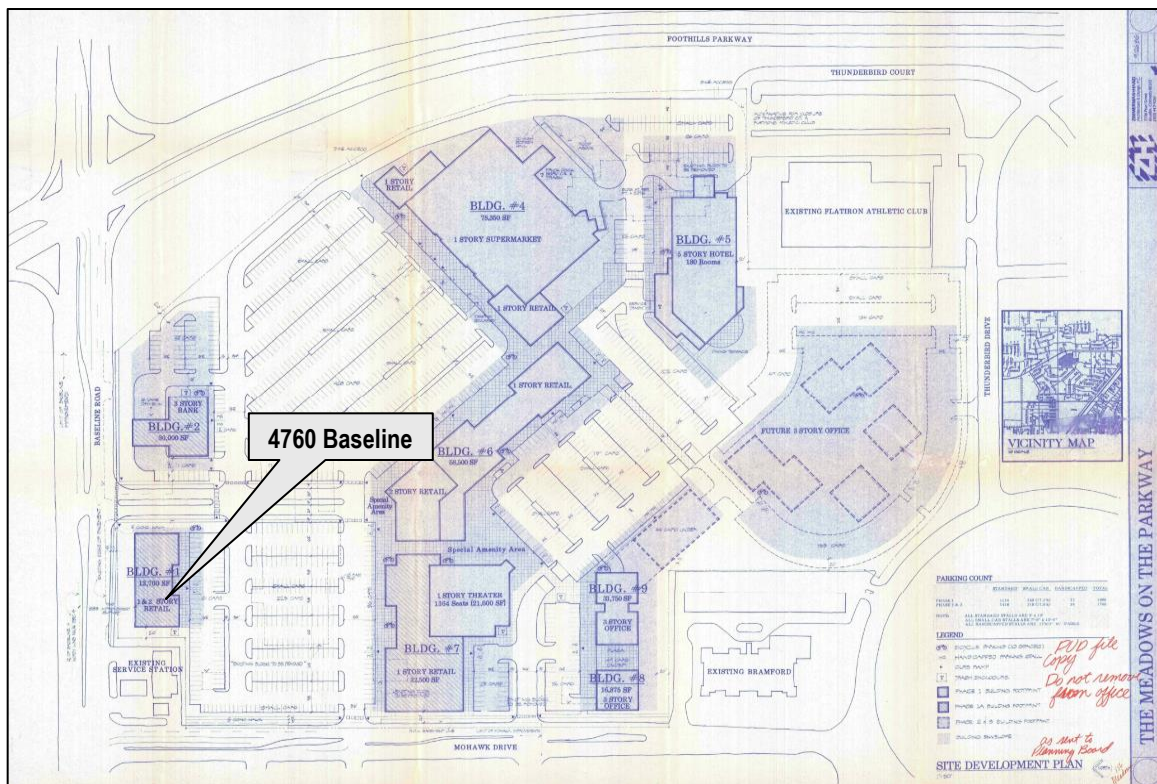


The property is located in the BC-1, Business-Commercial 1 zoning district, which is described in 9-5-2(c)(3)(C), B.R.C. 1981 as, “business areas containing retail centers serving a number of neighborhoods, where retail-type stores predominate.” It is also located within an area designated in Appendix N “Business Community (BC) Areas Subject to Special Use Restrictions” which requires approval of a Use Review for a ground floor financial institution consistent with the criteria of Section 9-6-2(c)(1) “Specific Use Standards for Uses in the BC Zoning Districts,” B.R.C. 1981. Through the Use Review process, the applicant must demonstrate that the proposed use “will not adversely affect the intended function and character of the area as a neighborhood serving business area where retail-type stores predominate on the ground floor,” per section 9-6-2(c)(1)(A)(iii), B.R.C. 1981. The site zoning is shown below, in **Figure 2**.



**Figure 2 – Site Zoning**

In 1987, the city approved P-85-70 (PUD) to redevelop the multiple parcels at the site for The Meadows on the Parkway shopping center. The PUD included a variety of commercial spaces for retail, office, restaurant, bank, and hotel uses. The site design was a parking-forward strip mall style shopping center with a supermarket, retail, and commercial tenant buildings anchoring the site. Smaller commercial buildings were included on the perimeter of the site along Baseline Road and Mohawk Drive. The PUD anticipated future phases of development for additional office buildings, however those areas we later developed with apartments reviewed through a separate PUD process. Refer to **Figure 3** for the previously approved site plan.



**Figure 3 – PUD Site Plan P-85-70 (north is oriented to the left)**

**Project Proposal.** The redevelopment of the site will modernize the appearance and provide improved accessibility for customers and functionality for tenants. The applicant proposes two phases for construction to allow the existing bank to remain in business while a new 2,975 square foot building is constructed next to it. Once completed, the bank will relocate to the new building, and the existing building will be demolished and replaced with a new 8,053 square foot building for restaurant and retail uses.

Relocating the existing bank into its own building will allow for improved security and updated interior finishes. The new restaurant and retail building will provide outdoor seating for customers with improved pedestrian and bicycle access from Baseline Road. The existing parking lot area will remain substantially in the same configuration, except for a new trash enclosure that will be located on the east side of the parking lot.

The 2,975 square foot building for the bank will be constructed in an undeveloped area to the west of the existing structure on the lot. The 8,053 square foot building will replace the existing structure. Site improvements will provide improved access to a multi-use path along Baseline Road with patio seating on the corners of the multi-tenant building to the east. Short-term bike parking is provided near the main entrances of each building near the parking lot, and long-term bike parking is in a storage locker to the north of the smaller building. An architectural rendering of the street facing façade from the shopping center entry along Baseline Road is shown in **Figure 4**, below, and the proposed site plan is shown in **Figure 5**, on the following page.



**Figure 4 – Proposed street facing façade from Baseline Road**



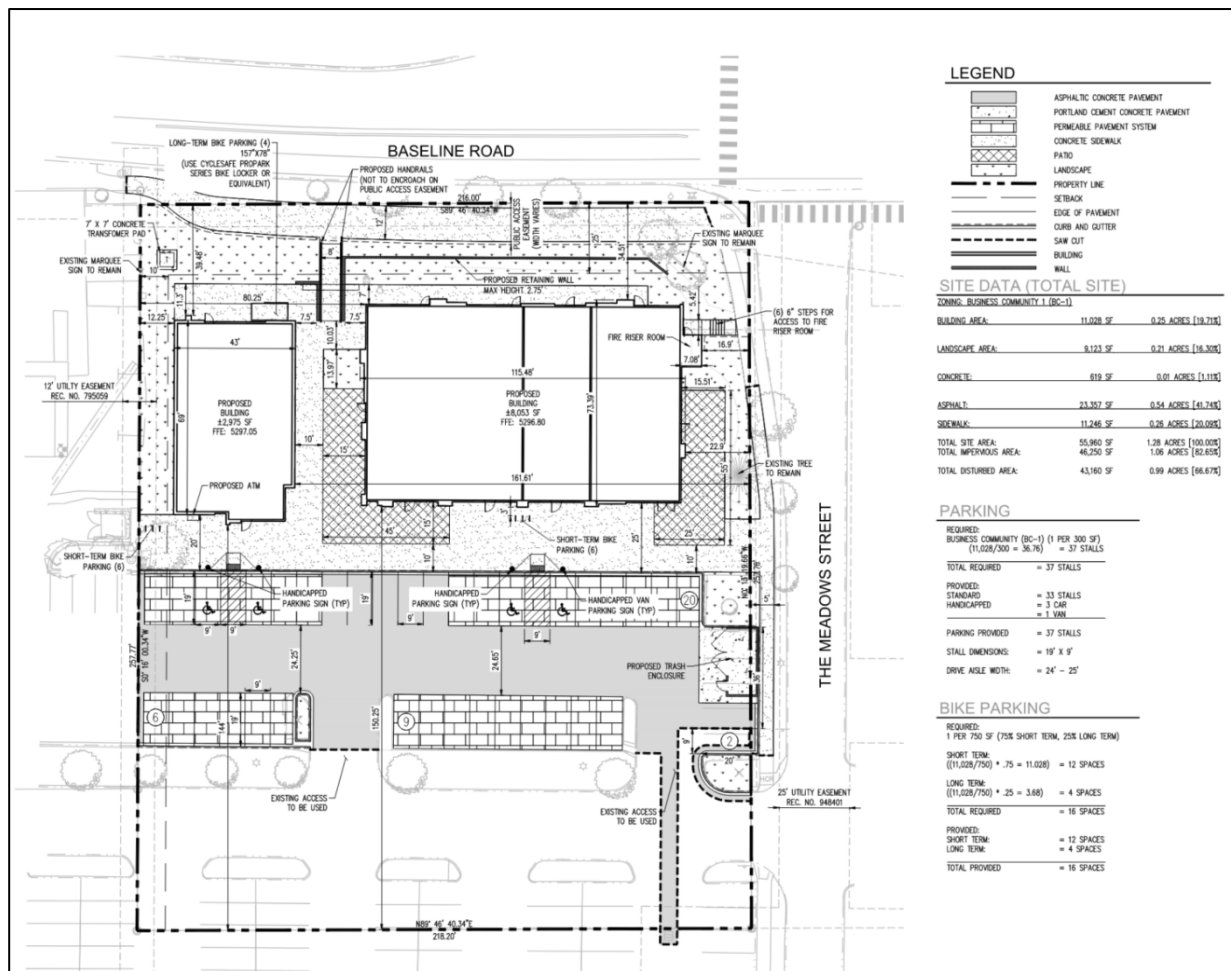


Figure 5 – Proposed Site Plan

A comparison of the existing and proposed building elevations from the parking lot are shown in **Figures 6** and a comparison of the existing and proposed street front elevations along Baseline Road are shown in **Figure 7** on the next page.



Figure 6 – Existing and Proposed Building Elevations facing North



**Figure 7 – Existing and Proposed Building Elevations facing South from Baseline Road**

**Site Review Amendment.** The proposal to demolish the existing 9,000 square foot building and replace it with two new buildings requires the applicant to update the PUD approval through the Site Review Amendment. The new buildings will be approximately 2,975 and 8,053 square feet in floor area. The redevelopment area is limited to a 1.28-acre parcel located on the north side of the shopping center, along Baseline Road. Updated landscaping will be included and the sidewalk along Baseline Road will be widened into a multi-use path. Existing vehicle parking will be maintained in substantially the same configuration, however three spaces on the east side of the parking lot will be removed to accommodate a new trash enclosure.

**Use Review.** The property is located within a Business Community (BC) zone area subject to special use restrictions designated in Appendix N of Title 9 B.R.C. 1981. Section 9-6-2(c)(1)(A)(iii) requires a Use Review for a financial institution to be located on the ground floor. This requirement added to the land use code in 2022. Although a retail bank currently exists in the building proposed to be demolished, relocating the bank to a newly constructed building requires a new use review to maintain consistency with the code criteria.

**Review Process.** A Site Review Amendment application is subject to the evaluation of the project with the Site Review criteria in Section 9-2-14(h), B.R.C. 1981. A Use Review application for a single-family detached dwelling unit in the BC-1 zoning district located within an area designated in Appendix N "Business Community (BC) Areas Subject to Special Use Restrictions" is subject to the criteria in Section 9-2-15(e), B.R.C. 1981 and 9-6-2(c)(1)(A)(iii), B.R.C. 1981. The subject applications were submitted in 2024 and 2025 and are reviewed under the land use code and criteria in place at the time of submittal. The analysis of these criteria is found in **Attachment B**.

**Analysis.** Staff found that the proposed Site Review Amendment to redevelop the property with two new buildings is consistent with the Site Review criteria, and that the proposed Use Review to relocate the existing ground floor bank to a new building on the ground floor consistent with the Use Review criteria. Refer to **Attachment A** for the conditions of approval and to **Attachment B** for a complete analysis of review criteria.

**Public Comment.** Consistent with Section 9-4-3, Public Notice Requirements, B.R.C. 1981, staff provided notification to all property owners within 600 feet of the subject location of the application and a public notice sign was posted on the property. No questions or other public comments were received.

**Conclusion.** Staff finds that the proposed project meets the criteria of section 9-2-14, "Site Review," B.R.C. 1981 and 9-2-15, "Use Review," B.R.C. 1981 (refer to **Attachment B**). The proposal was **approved** by staff on **December 5, 2025**, and the decision may be appealed or called up on or before **December 19, 2025**. There is a Planning Board hearing on **December 16, 2025**, during the 14-day call-up period. Questions about the project or decision, or requests to call up the approval can be directed to the Case Manager, Alex Pichacz at [pichacza@bouldercolorado.gov](mailto:pichacza@bouldercolorado.gov).



**Attachments.**

**Attachment A:** Disposition of Approval

**Attachment B:** Criteria Analysis

**Attachment C:** Applicant's Written Statement and TDM Plan

**Attachment D:** Applicant's Plan Set



# City of Boulder Planning & Development Services

## CITY OF BOULDER PLANNING DEPARTMENT NOTICE OF DISPOSITION

You are hereby advised that the following action was taken by the Planning Department based on the standards and criteria of the Land Use Code as set forth in Chapter 9-2, B.R.C. 1981, as applied to the proposed development.

DECISION:	<b>APPROVED WITH CONDITIONS</b>
PROJECT NAME:	<b>Meadows on the Parkway</b>
DESCRIPTION:	<b>A Site Review Amendment to the Meadows on the Parkway PUD (P-85-70) for the demolition and reconstruction of a commercial building. The plan includes two new buildings totaling approximately 10,975 square feet. One building is for a bank and the second building will have three commercial tenant spaces. The project includes a concurrent Use Review for a financial institution (bank) located on the ground floor in the BC-1 zone.</b>
LOCATION:	<b>4760 Baseline Rd</b>
LEGAL DESCRIPTION:	<b>See Exhibit A</b>
APPLICANTS:	<b>Niel Madwell, Phillips Edison &amp; Company</b>
OWNER:	<b>MEADOWS ON THE PARKWAY STATION LLC</b>
APPLICATION:	<b>Site Review Amendment (LUR2025-00009) and Use Review (LUR2024-00076)</b>
ZONING:	<b>Business- Commercial 1 (BC-1)</b>
CASE MANAGER:	<b>Alex Pichacz</b>
VESTED PROPERTY RIGHT:	<b>No; the owner has waived the opportunity to create such right under Section 9-2-20, B.R.C. 1981.</b>

**APPROVED MODIFICATIONS FROM THE LAND USE CODE: *None***

**FOR CONDITIONS OF APPROVAL, SEE THE FOLLOWING PAGES OF THIS DISPOSITION.**

**Approved On:** December 5, 2025  
Date

**By:** \_\_\_\_\_  
Brad Mueller, Director of Planning & Development Services

This decision may be appealed to the Planning Board by filing an appeal letter with the Planning Department within two weeks of the decision date. If no such appeal is filed, the decision shall be deemed final fourteen days after the date above mentioned.

**Appeal to Planning Board Expires: December 19, 2025**

**Final Approval Date: December 20, 2025**

Physical Address  
1101 Arapahoe Ave  
Boulder, CO 80302

Mailing Address  
PO Box 791  
Boulder, CO 80306-0791

BoulderPlanDevelop.net  
P: 303.441.1880  
F: 303.441.4241

FOR A BUILDING PERMIT APPLICATION TO BE PROCESSED FOR THIS PROJECT, A SIGNED DEVELOPMENT AGREEMENT AND SIGNED FINAL PLANS MUST BE SUBMITTED TO THE PLANNING DEPARTMENT WITH DISPOSITION CONDITIONS AS APPROVED SHOWN ON THE FINAL PLANS. IF THE DEVELOPMENT AGREEMENT IS NOT SIGNED WITHIN NINETY (90) DAYS OF THE FINAL DECISION DATE, THE APPROVAL AUTOMATICALLY EXPIRES.

Pursuant to Section 9-2-12 of the Land Use Code (B.R.C., 1981), the Applicant must obtain applicable building permit approvals and start construction within three years from the date of final approval or in compliance with the phasing plan if one was approved. Failure to comply with the three-year rule or approved phasing plan may cause this development approval to expire.

Pursuant to Section 9-2-12 of the Land Use Code (B.R.C. 1981), the Applicant shall obtain applicable building permit approvals and start construction within three years of the state of the phase.

For a use review without construction requiring a building permit, the use must be established within three years of the date of final approval.

## CONDITIONS OF APPROVAL

### SITE REVIEW CONDITIONS

1. The Applicant shall ensure that the **development shall be in compliance with all plans prepared by the Applicant** on June 23, 2025 and the Transportation Demand Management ("TDM") Plan dated August 4, 2025, all on file in the City of Boulder Planning Department, except to the extent that the development may be modified by the conditions of this approval.
2. The Applicant shall **comply with all previous conditions** contained in any previous approvals, except to the extent that any previous conditions may be modified by this approval, including, but not limited to, the following: the Development Agreement recorded at Film 1551, Reception No. 00948402.
3. Prior to a building permit application, the Applicant shall submit, and obtain City Manager approval of, a Technical Document Review application for each proposed phase of the development for the following items:
  - a. **Final architectural plans**, including material samples and colors, to ensure compliance with the intent of this approval and compatibility with the surrounding area. The architectural intent shown on the plans prepared by the Applicant on 6/23/25 is acceptable. Planning staff will review plans to assure that the architectural intent is performed.
  - b. A **final site plan** which includes detailed floor plans and section drawings.
  - c. A **final utility report and plan** meeting the City of Boulder Design and Construction Standards.
  - d. A **final storm water report and plan** meeting the City of Boulder Design and Construction Standards.
  - e. **Final transportation plans** meeting the City of Boulder Design and Construction Standards for all transportation improvements. These plans must include, but are not limited to, street cross-sectional drawings, signage and striping plans in conformance with Manual on Uniform Traffic Control Devices (MUTCD) standards, transportation detail drawings, geotechnical soils report and pavement analysis.
  - f. A **detailed landscape plan**, including size, quantity, and type of plants existing and proposed; type and quality of non-living landscaping materials; any site grading proposed; and any irrigation system proposed, to ensure compliance with this approval and the City's landscaping requirements. Removal of trees must receive prior approval from the Planning Department. Removal of any tree in City right of way must also receive prior approval from the City Forester.

- g. A **detailed outdoor lighting plan** showing location, size, and intensity of illumination units, indicating compliance with section 9-9-16, B.R.C. 1981.
  - h. A **detailed shadow analysis** to ensure compliance with the City's solar access requirements of section 9-9-17, B.R.C. 1981.
  - i. An **address plat** following the city's addressing policy to create a new address.
4. Prior to a building permit application, the Applicant shall dedicate to the City, at no cost, the easements necessary to serve the development, including but not limited to the following easements as shown on the plans prepared by the Applicant on 6/23/25, meeting the City of Boulder Design and Construction Standards, as part of Technical Document Review applications, the form and final location of which shall be subject to the approval of the City Manager:
    - a. A variable width **public access easement** generally located along the northern portion of the property containing the public sidewalk along Baseline Road.
    - b. A **utility easement** encompassing the Phase 2 water service line and meter.
    - c. A **drainage easement** encompassing the stormwater control measure extending to the right-of-way to be constructed as a part of the Phase 1 development.
    - d. A **drainage easement** encompassing the stormwater control measure extending to the right-of-way to be constructed as a part of the Phase 2 development.
  5. Prior to building permit application, the Applicant shall submit a **financial guarantee, in a form** acceptable **to the Director of Public Works**, in an amount equal to the cost of providing eco-passes to the employees of the development for three years after the issuance of a certificate of occupancy.
  6. Prior to building permit issuance, the Applicant shall construct and complete, subject to acceptance by the City, a **public sidewalk (variable in width) along the south side of Baseline Road** as shown on the plans prepared by the Applicant prepared on June 23, 2025 serving the site in conformance with the approved engineering plans and with the City of Boulder Design and Construction Standards.
  7. Pursuant to Subsection 9-2-12(a), "Three Year Rule," B.R.C. 1981, the following **development/phasing plan** is approved:
    - a. Phase I, to construct a 2,975 square foot, one-story building, shall commence at the date of this approval and shall be substantially completed within three years and include the following:
      - Construct a 2,975 SF building on the vacant lot next to the existing building.
      - Six new parking stalls directly in front of the building
      - Installation of permeable paver stormwater control system in the Phase 1 parking section
      - New sidewalks around the building
      - Construct a new retaining wall along Baseline for the wider sidewalk
      - Widen the sidewalk along Baseline to 12'
      - Install new utilities including power, water and sewer, and telecommunications to the 2,975 SF building
      - Landscaping in the Phase I area will be installed with the associated building permit for the Phase I building
      - Short term bike racks
      - Elevations Bank will relocate into the new 2,975 SF building

- b. Phase II, to construct an 8,053 square foot, one-story building, shall commence upon the expiration of Phase I and expires three years thereafter, and include the following:
- Abatement of existing structure
  - Demo existing structure on site
  - Sidewalks and patios around the Phase 2 area.
  - Install new utilities including power, water, sewer, gas and telco
  - Construct a new ramp down to the new baseline sidewalk.
  - Construct new parking in front of the Phase 2 multi-tenant building
  - Install permeable paver stormwater control system in the Phase 2 parking area
  - Construct new trash enclosure for the multi-tenant building
  - Complete all remaining landscaping for the entire site.
8. The Applicant shall be responsible for maintaining all **stormwater quality improvements and stormwater detention improvements**, including but not limited to permeable parking lot paving.

#### USE REVIEW CONDITIONS

1. The Applicant shall ensure that the **development shall be in compliance with all plans prepared by the Applicant** June 23, 2025, the Transportation Demand Management ("TDM") Plan dated August 4, 2025, and the Applicant's Written Statement dated May 5, 2025, all on file in the City of Boulder Planning Department, except to the extent that the development may be modified by the conditions of this approval.
2. The Applicant shall **comply with all previous conditions** contained in any previous approvals, except to the extent that any previous conditions may be modified by this approval, including, but not limited to, the following: the Development Agreement recorded at Film 1551, Reception No. 00948402.
3. The Applicant **shall not expand or modify the approved use** except pursuant to subsection 9-2-15(e), B.R.C. 1981.

**Exhibit A**  
**Legal Description**

Lots 2, 3, and 4,  
The Meadows on the Parkway,  
according to the Plat thereof recorded October 19, 1988 at Reception No. 948401,  
County of Boulder,  
State of Colorado.

# CRITERIA CHECKLIST AND COMMENT FORM

SITE REVIEW & USE REVIEW  
 SECTIONS 9-2-14(h), 9-2-15(e), & 9-2-2(c)  
 LUR2025-00076 & LUR2025-00009  
 ADDRESS: 4670 Baseline  
 DATE: 12/5/2025

## CRITERIA APPLICABLE TO ALL SITE REVIEW APPLICATIONS

### (1) Boulder Valley Comprehensive Plan (BVCP) criteria: *Meets criteria*

#### (A) BVCP Land Use Map and Policies: *Yes*

The proposed project is consistent with the BVCP land use map and, on balance, with the goals and policies of the BVCP particularly those that address the built environment. In applying this, the approving authority shall consistently interpret and apply this criterion and consider whether a particular goal or policy is intended to be applied to individual development projects or is to guide city policy decisions, such as regulatory actions. The BVCP does not prioritize goals and policies, and no project must satisfy one particular goal or policy or all of them.

##### Staff Response:

*The BVCP land use designation is Community Business where "uses consist predominantly of commercial business uses with convenience shopping and services and some offices..." The proposed redevelopment will maintain consistency with the existing commercial use of the property and support the Economic Goals found in Section 5 of the Comprehensive Plan.*

#### (B) Subcommunity and Area Plans or Design Guidelines: *N/A*

If the project is subject to an adopted subcommunity or area plan or adopted design guidelines, the project is consistent with the applicable plan and guidelines.

*The property is not subject to an adopted subcommunity or area plan, nor are there adopted design guidelines. The PUD that approved the shopping center does not have any design guidelines that apply to the site.*

#### (C) Reducing Greenhouse Gas Emissions: *N/A*

Any new commercial building greater than 30,000 square feet in floor area and any 30,000 square feet or greater addition to a commercial building shall either have a net site energy usage index (EUI) of zero or is designed to achieve a net site EUI that is 10 percent lower than required under the City of Boulder Energy Conservation Code. It shall be a condition of approval that the applicant demonstrate compliance with this criterion at time of building permit. For the purpose of this requirement, "commercial building" shall have the meaning defined in the City of Boulder Energy Conservation Code.

##### Staff Response:

*The total proposed building area is 10,975 square feet.*

#### (D) Urban Edge Design: *N/A*

If the project is located within the urbanizing areas along the boundaries between Area I and Area II or III of the BVCP, the building and site design provide for a well-defined urban edge, and, if, in addition, the project is located on a major street shown in Appendix A of this title, the buildings and site design establish a sense of entry and arrival to the city by creating a defined urban edge through site and building design elements visible upon entry to the city.

##### Staff Response:

*The property is not located on an urban edge, as designated in this criterion.*

**(E) Historic or Cultural Resources: *N/A***

If present, the project protects significant historic and cultural resources. The approving authority may require application and good faith pursuit of local landmark designation.

**Staff Response:**

*The property does not contain significant historic or cultural resources.*

**(F) Housing Diversity and Bedroom Unit Types: *N/A***

Except in the RR, RE and RL-1 zoning districts, projects that are more than 50 percent residential by measure of floor area, not counting enclosed parking areas, meet the following housing and bedroom unit type requirements in (i) through (vi). For the purposes of this subparagraph, qualifying housing type shall mean duplexes, attached dwelling units, townhouses, live-work units, or efficiency living units, and bedroom type shall mean studios, one-bedroom units, two-bedroom units, or three-bedroom units.

**Staff Response:**

*Residential use is not proposed with this application.*

**(G) Environmental Preservation: *Yes***

- (i) The project provides for the preservation of or mitigation of adverse impacts to natural features, including, without limitation, healthy long-lived trees, significant plant communities, ground and surface water, wetlands, riparian areas, drainage areas, and species on the federal Endangered Species List and "Species of Special Concern in Boulder County" designated by Boulder County and their habitat. *Yes*
- (ii) Where excavation occurs, the location and design of buildings conforms to the natural contours of the land with tiered floor plates, and the site design avoids over-engineered tabling of land. Slopes greater than 50 percent should be avoided and, to the extent practicable, any such areas shall be stabilized with vegetation. *Yes*

**Staff Response:**

*The existing site is relatively flat without significant natural features. The property has been developed with a commercial tenant space since the 1990s. The existing building is adjacent to a mowed grass yard. Existing*

**(2) Site Design Criteria: *Meets criteria***

The project creates safe, convenient, and efficient connections for all modes of travel, promotes safe pedestrian, bicycle, and other modes of alternative travel with the goal of lowering motor vehicle miles traveled. Usable open space is arranged to be accessible; designed to be functional, encourage use, and enhance the attractiveness of the project; and meets the needs of the anticipated residents, occupants, tenants, and visitors to the project. Landscaping aesthetically enhances the project, minimizes use of water, is sustainable, and improves the quality of the environment. Operational elements are screened to mitigate negative visual impacts. In determining whether this is met, the approving agency will consider the following factors:

**(A) Access, Transportation, and Mobility:**

- (i) The project enables or provides vehicular and pedestrian connectivity between sites consistent with adopted connections plans relative to the transportation needs and impacts of the project, including but not limited to construction of new streets, bike lanes, on-street parking, sidewalks, multi-use paths, transit stops, streetscape planting strips, and dedication of public right-of-way or public access easements, as applicable considering the scope of the project. Where no adopted connections plan applies, the applicant shall, in good faith, and in coordination with the city manager, attempt to coordinate with adjacent property owners to establish, where practicable, reasonable and useful



pedestrian connections or vehicular circulation connections, such as between parking lots on abutting properties, considering existing connections, infrastructure, and topography. *Yes*

**Staff Response:**

*The property fronts Baseline Road for approximately 200 feet. There is an existing protected bike lane along baseline road with a streetscape planting strip. The existing sidewalk will be widened to a 12-foot wide multi-use path with a ramp to access the building entries and bike parking.*

- (ii) Alternatives to the automobile are promoted by incorporating site design techniques, land use patterns, and infrastructure that support and encourage walking, biking, and other alternatives to the single-occupant vehicle. *Yes*

**Staff Response:**

*Site improvements include widening the existing sidewalk along Baseline Road to a 12-foot multi-use path with a ramp to the tenant storefronts and bike parking to accommodate bicycles and pedestrians.*

- (iii) A transportation demand management (TDM) plan will be complied with including methods that result in a significant shift away from single-occupant vehicle use to alternate modes. *Yes*

**Staff Response:**

*A TDM plan is provided and was review by staff and found to be consistent with the strategies of the city's design and construction standards.*

- (iv) Streets, bikeways, pedestrian ways, trails, open space, buildings, and parking areas are designed and located to optimize safety of all modes and provide connectivity and functional permeability through the site. *Yes*

**Staff Response:**

*The proposed sidewalk improvements included widening the existing sidewalk to 12 feet and providing an ADA accessible ramp to the proposed store fronts to be used by pedestrians and cyclists.*

- (v) The design of vehicular circulation and parking areas make efficient use of the land and minimize the amount of pavement necessary to meet the circulation and parking needs of the project. *Yes*

**Staff Response:**

*The property is located on the edge of a larger parking lot that serves the shopping center, and the existing parking configuration will remain substantially the same after the proposed redevelopment.*

- (vi) Where practicable and needed in the area and subject to coordination with the city manager, the project provides curbside parking or loading or both consistent with city policies on curbside management. *N/A*

**Staff Response:**

*Curbside parking and loading is not proposed.*

**(B) Open Space:**

- (i) Useable open space is arranged to be accessible and designed to encourage use by incorporating quality landscaping, a mixture of sun and shade, hardscape areas and green spaces for gathering. *Yes*

**Staff Response:**

*The project provides 31.8 percent open space comprised of landscaping, walkways and patios to serve customers and pedestrians visiting the site.*

- (ii) The open space will meet the needs of the anticipated residents, occupants, tenants, and visitors of the property. In mixed-use projects, the open space provides for a balance of private and common areas for the residential uses and includes common open space that is available for use by residents of the residential uses and their visitors and by tenants, occupants, customers, and visitors of the non-residential uses. *Yes*

**Staff Response:**

*The open space provided will serve the customers and tenants of the commercial uses by providing patio seating areas and landscaping. The project is not a mixed-use development.*

- (iii) If the project includes more than 50 dwelling units, including the addition of units that causes a project to exceed this threshold, and is more than one mile walking distance to a public park with any of the amenities described herein, at least 30 percent of the required outdoor open space is designed for active recreational purposes. *N/A*

**Staff Response:**

*Dwelling units are not proposed with this project.*

- (iv) On-site open space is linked to adjacent public spaces, multi-use paths, city parks, or public open space if consistent with Department of Open Space and Mountain Parks or Department of Parks and Recreation plans and planning for the area, as applicable. *N/A*

**Staff Response:**

*The site is not located adjacent to public spaces, multi-use paths, city parks, or public open space.*

**(C) Landscaping and Screening:**

- (i) The project exceeds the minimum landscaping requirements of Section 9-9-12, "Landscaping and Screening Standards," B.R.C. 1981, by at least fifteen percent in terms of planting quantities, includes a commensurate area to accommodate the additional plantings, and, where practical, preserves healthy long-lived trees. *Yes*

**Staff Response:**

*Based on this standard, and the landscaping requirements of section 9-9-12, B.R.C. 1981, the applicant is required to provide 16 trees and 79 shrubs. The proposal includes 28 trees and 118 shrubs, exceeding the 15% requirement of this section.*

- (ii) The landscaping design includes a variety of plants providing a variety of colors and contrasts in terms of texture and seasonality and high-quality hard surface materials, such as stone, flagstone, porous pavers, and decorative concrete. *Yes*

**Staff Response:**

*The applicant proposes a variety of trees, shrubs, and grasses. The patio areas will be paved with decorative concrete.*

- (iii) The landscaping design conserves water through use of native and adaptive plants, reduction of exotic plant materials, and landscaping within stormwater detention facilities to create bioswales or rain gardens, or other similar design strategies. *Yes*

**Staff Response:**

*The proposed landscaping material meets the requirements for water conservation found in section 9-9-12, B.R.C. 1981. Stormwater detention facilities are not proposed on site, as drainage will be conveyed to an existing detention pond utilized by the larger shopping center.*

- (iv) Operational elements, such as electrical transformers, trash storage and recycling areas, parking, and vehicular circulation, are screened from the public realm through design elements, such as landscaping, fencing, or placement of structures, to mitigate negative visual impacts. *Yes*

**Staff Response:**

*An electrical transformer is located in the northwest corner of the site and will be screened by shrubs and ornamental grasses.*

**(3) Building Siting and Design Criteria: *Meets criteria***

Building siting and design are consistent with the character established in any adopted plans or guidelines applicable to the site or, if none apply, are compatible with the character of the area or improves upon that character, consistent with the intent specified in this paragraph. Buildings are positioned and oriented towards the public realm to promote a safe and vibrant pedestrian experience including welcoming, well-defined entries and facades. Building exteriors are designed with a long-lasting appearance and high-quality materials. Building design is simple and to a human scale, it creates visual interest and a vibrant pedestrian experience. Building roof design contributes to a city skyline that has a variety of roof forms and heights. In determining whether this is met, the approving agency will consider the following factors:

**(A) Building Siting and Public Realm Interface:**

- (i) New buildings and, to the extent practicable, additions to existing buildings are positioned towards the street, respecting the existing conditions or the context anticipated by adopted plans or guidelines. In urban contexts, buildings are positioned close to the property line and sidewalk along a street; whereas, in lower intensity contexts, a greater landscaped setback may be provided to match the surrounding context. *Yes*

**Staff Response:**

*The street frontage and public realm is considered Baseline Road. The site is not considered to be an urban context, allowing the buildings to be set back further from Baseline Road with additional landscaping provided between the street and the buildings to match the surrounding context of the area. The primary customer entrances are anticipated to be on the parking lot side of the building, however the buildings are designed with large windows, storefronts, and signage facing Baseline Road.*

- (ii) Wherever practical considering the scope of the project, parking areas are located behind buildings or set back further from the streetscape than the building façade. *Yes*

**Staff Response:**

*The proposed parking area will remain substantially unchanged, behind the proposed buildings as viewed from Baseline Road.*

- (iii) Along the public realm, building entries are emphasized by windows and architectural features that include one or more of the following: increased level of detail, protruding or recessed elements, columns, pilasters, protruding bays, reveals, fins, ribs, balconies, cornices, eaves, increased window glazing, or changes in building materials or color. *Yes*

**Staff Response:**

*A variety of architectural features are provided along the public realm along Baseline Road, including protruding elements such as awnings, columns, and changings in materials and colors. An entry arch is provided between the buildings over the sidewalk.*

- (iv) Defined entries connect the building to the public realm. Unless inconsistent with the context and building's use, along the public realm, one defined entry is provided every 50 feet. Buildings designed for residential or industrial uses may have fewer defined entries. *Yes*

**Staff Response:**

*Entry doors to tenant spaces are provided along each frontage, no more than 34 feet apart from one another.*

- (v) If the project is adjacent to a zoning district of lower intensity in terms of allowable use, density, massing, or scale, the project is designed with an appropriate transition to the adjacent properties considering adopted subcommunity and area plans or design guidelines applicable to the site, and, if none apply, the existing development pattern. Appropriate transitions may be created through design elements such as building siting and design or open space siting and design. *Yes*

**Staff Response:**

*The property is not directly adjacent to a lower intensity zoning district. The properties across the street from Baseline Road are zoned RM-2 with single story buildings used for a religious institution. The proposed one-story buildings provide a compatible transition in scale.*

- (vi) The building's siting and relationship to the public realm is consistent with the character established in any adopted plans or guidelines applicable to the site or, if none apply, is compatible with the character of the area or improves upon that character, consistent with the intent of paragraph (3), Building Design Criteria. *Yes*

**Staff Response:**

*There are no applicable area plans, or design guidelines for the site. The proposed buildings will improve upon the existing conditions by providing more visual interest and transparency in the buildings at the ground level, and improved site landscaping with an entry arch and widened sidewalk to create a more vibrant pedestrian experience.*

**(B) Building Design:**

- (i) Larger floor plate buildings and projects with multiple buildings have a variety of forms and heights. *N/A*

**Staff Response:**

*The proposed buildings do not utilize a large floor plate design.*

- (ii) To the extent practical considering their function, mechanical appurtenances are located within or concealed by the building. If they cannot be located within or concealed by the building, their visibility from the public realm and adjacent properties is minimized. *Yes*

**Staff Response:**

*Rooftop appurtenances are screened by a parapet wall.*

- (iii) On each floor of the building, windows create visual interest, transparency, and a sense of connection to the public realm. In urban, pedestrian main street-built environments, it is a best practice to design at least 60 percent of each ground floor façade facing the street as window area. Otherwise, it is a best practice to design at least 20 percent of the wall on each floor of a building as window area. Blank walls along the most visible portions of the building are avoided. *Yes*

**Staff Response:**

*The proposed window transparency is 71% along Baseline Road, and 60% along the parking lot side for the larger multi-tenant building. The proposed bank building will have fewer windows for security purposes and provide 60% window transparency as viewed from Baseline Road and 40% transparency along the primary entrance facing the parking lot.*

- (iv) Simple detailing is incorporated into the façades to create visual interest, without making the façade overly complicated. This detailing may include cornices, belt courses, reveals, alternating brick or stone patterns, expression line offsets, window lintels and sills, and offsets in window glass from surrounding materials. *Yes*

**Staff Response:**

*The proposed buildings include a variety of architectural features that create visual interest including belt courses expression lines, and a variety of material and color changes including brick, wood, and metal materials.*

- (v) Balconies on buildings with attached dwelling units are integrated into the form of the building in that exterior walls partially enclose the balcony. Balcony platform undersides are finished. *N/A*

**Staff Response:**

*Balconies are not proposed.*

- (vi) The building's design, including but not limited to use of materials, color, roof forms, and style, is consistent with the character established in any adopted plans or guidelines applicable to the site or, if none apply, is compatible with the character of the area or improves upon that character, consistent with the intent of paragraph (3), Building Design Criteria. *Yes*

**Staff Response:**

*The proposed redevelopment is an improvement to the existing character of the area by including modernized buildings with a variety of materials, color, and roof forms. The replacement of the existing stucco building will create more visual interest and an enhanced pedestrian experience.*

**(C) Building Materials:**

- (i) Building facades are composed of high-quality, durable, human-scaled materials. High-quality materials include brick, stone, polished concrete masonry units, wood, architectural high pressure laminate panels, cementitious or composite siding, architectural metal panels, or any combination of these materials. Split-faced concrete masonry units, stucco, vinyl siding, EIFS, and unfinished or untreated wood are not considered durable, high-quality materials, but may be used on a limited basis and not on facades facing the public realm. High quality materials are focused on the ground floor facades on all sides of a building and on all floors of facades facing the public realm, and, overall, comprise the vast majority of all building facades. *Yes*

**Staff Response:**

*The proposed materials include brick, metal, and fiber cement siding with woodgrain texture and architectural block patterns. These materials will be provided on all sides of the building.*

- (ii) Monolithic roofing membranes, like Thermoplastic Polyolefin, are not used on roof surfaces that are visible from the street level. *Yes*

**Staff Response:**

*Each proposed building will have a flat roof with a parapet for screening.*

- (iii) The number of building material types is limited, and the building materials are applied to complement the building form and function. The organization of the building materials logically expresses primary building features, such as the spatial layout, building entries, private and common spaces, anchor corners, stairwells, and elevators. *Yes*

**Staff Response:**

*The proposed materials include three different primary materials in five different colors, and four different accent materials. The use of the materials will accent individual tenant spaces in an organized way to highlight the spatial layout and building entries.*

- (iv) Building cladding materials turn convex corners and continue to the inset wall. This criterion does not apply to changes that occur at an interior corner nor to detailing elements, such as cornices, belt courses, reveals, offsets in expression lines, lintels, and windowsills. Building cladding materials do not change in-plane unless there is at least a 12-inch wall offset. *Yes*

**Staff Response:**

*A variety of building features are proposed with materials turning convex corners. In-plane changes with a 12-inch offset and accent materials are included in the design.*

- (v) Any newly constructed building that includes residential units and is located within 200 feet of a railroad, freeway, or expressway is designed to achieve an interior day-night average noise level of no more than forty-five decibels. Noise shall be measured in a manner that is consistent with the federal Housing and Urban Development's standards in Sections 24 CFR §§ 51.100 to 51.106 for the "measure of external noise environments," or similar standard adopted by the city manager in the event that such rule is repealed. The applicant shall provide written certification prior to the issuance of a certificate of occupancy that the sound abatement and attenuation measures were incorporated in the construction and site design as recommended by a professional engineer. *N/A*

**Staff Response:**

*Residential units are not proposed.*

## CRITERIA APPLICABLE TO ALL USE REVIEW APPLICATIONS

### (e) Criteria For Review: *Meets criteria*

No use review application will be approved unless the approving agency finds all of the following:

#### (1) Rationale: *Yes*

The use either:

- (A) Provides direct service or convenience to or reduces adverse impacts to the surrounding uses or neighborhood; *Yes*
- (B) Provides a compatible transition between higher intensity and lower intensity uses;
- (C) Is necessary to foster a specific city policy, as expressed in the Boulder Valley Comprehensive Plan, including, without limitation, historic preservation, moderate income housing, residential and nonresidential mixed uses in appropriate locations and group living arrangements for special populations; or
- (D) Is an existing legal nonconforming use or an expansion that is permitted under Subsection (f) of this section;

**Staff Response:**

*The existing building on the site contains a bank and two restaurant tenant spaces. The Site Review Amendment and Use Review will replace the existing building with two new buildings. One building will be for the existing bank to be relocated on the ground level in its own secure building, and the second will be for a multi-tenant commercial building for retail and restaurant uses.*

*The specific use standards of the section 9-6-2(c)(1)(A)(iii), B.R.C. 1981, require a Use Review for a financial institution to be located on the ground floor if located on a property identified within Appendix N of the Title 9 Land Use Code. While the existing bank is currently located on the ground floor, relocating it to a new building requires a Use Review. The bank, Elevations Credit Union, has operated in the current space for over 15 years and provides retail banking services to the surrounding community.*

#### (2) Compatibility: *Yes*

The location, size, design, and operating characteristics of the use will be reasonably compatible with and have minimal negative impact on the use of nearby properties, or, for residential uses or community, cultural, and educational uses in industrial zoning districts, the proposed development reasonably mitigates the potential negative impacts from nearby properties;

**Staff Response:**

*The proposed development is located in the Meadows on the Parkway PUD, a commercial shopping center that includes a grocery store, bank, retail, restaurant, and other commercial uses. The existing bank has offered retail banking services in the same location for over 15 years, providing consistency for customers and the neighborhood. Continuing the bank operation in a new building on the property will maintain compatibility with nearby properties. The potential impacts of a retail bank are similar to those of other retail uses which are allowed by-right in the zoning district, and do not include any off-site impacts such as noise, odor, dust, glare, or vibrations. The adjacent property to the west is a gas station, and to the east, across the shopping center entrance, is an office building. To the north, across Baseline Road, is a religious institution. Staff finds that the proposed bank will have minimal negative impacts on the surrounding properties and maintain the same level of compatibility that currently exist.*

**(3) Infrastructure: Yes**

The use will not significantly adversely affect the infrastructure of the surrounding area, including, without limitation, water, wastewater and storm drainage utilities and streets, compared to an allowed use in the zoning district, or compared to the existing level of impact of a nonconforming use;

**Staff Response:**

*There is no new infrastructure for the proposed ground floor bank necessary. The bank will continue to operate with the same infrastructure requirements. Storm drainage and utilities are reviewed through the associated site review application which includes additional development on the site.*

**(4) Character of Area: Yes**

The use will not change the predominant character of the surrounding area or the character established by adopted design guidelines or plans for the area; and

**Staff Response:**

*The site is part of the Meadows on the Parkway PUD which is a strip mall style shopping center that includes a grocery store and various retail stores. Nonresidential uses in the surrounding area consist of a gas station directly to the west, a religious assembly across the street to the north, and a nursing home/ rehabilitation center to the northwest and a hotel to the southeast. Within a quarter mile of the site is a mix of high, medium, and low-density residential uses ranging from multifamily apartment buildings to single-family dwellings. The existing retail bank is proposed to be replaced on the same lot and will maintain consistency with the established uses neighbors are accustomed to, and continuing the ground floor use of the retail bank will not change the predominant character of the area.*

**(5) Conversion of Dwelling Units to Nonresidential Uses: N/A**

There shall be a presumption against approving the conversion of dwelling units in the residential zoning districts to nonresidential uses that are allowed pursuant to a use review, or through the substitution of one nonconforming use with another nonconforming use. The presumption against such a conversion may be overcome by a finding that the use to be approved serves another compelling social, human services, governmental or recreational need in the community, including, without limitation, a use for a daycare center, park, religious assembly, social service use, benevolent organization use, art studio or workshop, museum, or an educational use.

**Staff Response:**

*This Use Review application does not involve any residential dwelling units.*

**9-6-2(c)(1)(A)(iii): Use Review: *Yes***

A use that is not allowed by right or as a conditional use may be approved only pursuant to a use review. In addition to meeting the use review criteria, the applicant shall demonstrate that the use on the ground floor or with a combined floor area larger than ten percent of the total floor area, as applicable, will not adversely affect the intended function and character of the area as a neighborhood serving business area where retail-type stores predominate on the ground floor. In determining whether this criterion is met, the reviewing authority shall consider the location and design of the proposed use and the existing and approved uses on the lot or parcel and in the area.

**Staff Response:**

*The proposed bank building will replace the existing bank in the same location. Residents of the neighborhood are accustomed to having a bank in the same location. Thus, the function and character of the area will not be adversely affected by continuing to use the site as a bank. The proposed design will enhance the built environment by creating a pedestrian oriented streetscape along Baseline Road. The use of the ground floor for the bank will facilitate accessible entry for customers.*



**USE REVIEW WRITTEN STATEMENT**

Submit with your application.

► **KEY INFORMATION**

Please provide the following information. Please type or print complete, detailed responses. Please also select use types from the Use Table in [Section 9-6-1](#) of the Boulder Revised Code.

**EXISTING**

Use of building and land:

The current site contains one ±8,820 sf building in the northeast which is accompanied by existing parking. A private shared access runs through the south portion of the site and the northwest is currently vacant land.

Hours of operation:

8:30 am - 5:30 pm  
Monday - Friday

Number of employees (indicate full and part time)

6 Full Time  
4 Part Time

Estimated number of trips to site per day (indicate mode of transportation used to reach the site)

Passenger Vehicle  
Unknown # of Trips

**PROPOSED**

Use of building and land:

A ±2,975 sf single-story bank has been proposed. Existing site parking is to be modified to include two trash enclosures. Updated sidewalks and landscape has also been proposed.

Hours of operation:

Banking: Mon - Sat; 9am - 6pm

Number of employees (indicate full and part time)

5 full time

Estimated number of trips to site per day (indicate mode of transportation used to reach the site)

TBD - Traffic study currently being completed

Uses on adjacent/surrounding properties:

Surrounding properties are part of the BC-1 zoning and are primarily retail.

Narrative: In the space provided below or in an attached letter, please type or print a narrative describing the proposal in specific detail. Only one written narrative is necessary per development project.

The project consists of construction of a ±2,975 sf single-story bank. This building will be accompanied by a total of 34 parking stalls will service the site, and there is an existing Corss-Access Agreement on the overall development. Two trash enclosures have been proposed within the existing parking lot. The project proposes to reuse the two existing access points south of the parking which connect the site to the private shared access. The existing 5' sidewalk along the R.O.W. of Baseline Road will be replaced with a 12' sidewalk. Additional improvements include updated curb and gutter, ADA-compliant sidewalks and ramps, and updated landscaping.

## ► USE REVIEW CRITERIA

In the space provided below, please indicate how the proposal will meet the Use Review criteria.

- 1. Consistency With Zoning and Nonconformity:** The use is consistent with the purpose of the zoning district as set forth in [Section 9-5-2](#), "Zoning Districts," B.R.C. 1981, except in the case of a nonconforming use;

The proposed project continues to align with the existing business community zoning by introducing a new bank building.

## 2. Rationale. The use either:

- (A) Provides direct service or convenience to or reduces adverse impacts to the surrounding uses or neighborhood;

The proposed development provides a direct service to the local community in the form of a financial service institution.

- (B) Provides a compatible transition between higher intensity and lower intensity uses;

We see a negligible intensity increase/decrease as this project is part of a larger development with similar uses throughout.

- (C) Is necessary to foster a specific city policy, as expressed in the Boulder Valley Comprehensive Plan, including, without limitation, historic preservation, moderate income housing, residential and non- residential mixed uses in appropriate locations and group living arrangements for special populations; or

No specific city policy is laid out in the Boulder Valley Comprehensive Plan in regards to the Business Community Zoning.

- (D) Is an existing legal nonconforming use or a change thereto that is permitted under Subsection (f) of this section;

Proposed project is a conforming use and the site use will remain consistent with the site's existing use.

**3. Compatibility:** The location, size, design and operating characteristics of the proposed development or change to an existing development are such that the use will be reasonably compatible with and have minimal negative impact on the use of nearby properties or for residential uses in industrial zoning districts, the proposed development reasonably mitigates the potential negative impacts from nearby properties;

The proposed development mimics the existing use of the land and therefore will not cause negative impacts to nearby properties.

**4. Infrastructure:** As compared to development permitted under [Section 9-6-1](#), "Schedule of Permitted Land Uses," B.R.C. 1981, in the zone, or as compared to the existing level of impact of a nonconforming use, the proposed development will not significantly adversely affect the infrastructure of the surrounding area, including, without limitation, water, wastewater and storm drainage utilities and streets;

Measures have been put in place to ensure existing utilities and private drives near the site are not negatively affected by this development.

**5. Character of Area:** The use will not change the predominant character of the surrounding area or the character established by adopted design guidelines or plans for the area; and

The proposed development has been designed to enhance the surrounding area through the use of outdoor patio areas as well as updated landscaped areas.

**6. Conversion of Dwelling Units to Non-Residential Uses:** There shall be a presumption against approving the conversion of dwelling units in the residential zoning districts to nonresidential uses that are allowed pursuant to a use review, or through the change of one nonconforming use to another nonconforming use. The presumption against such a conversion may be overcome by a finding that the use to be approved serves another compelling social, human services, governmental or recreational need in the community, including, without limitation, a use for a daycare center, park, religious assembly, social service use, benevolent organization use, art or craft studio space, museum or an educational use.

Not applicable to our site.

City of Boulder  
301 Walnut St,  
Windsor, CO 80550

**Project Name:** Boulder Meadows – Lot 2, Meadows on The Parkway

**Location:** SW Corner of Baseline Road and The Meadows Street,  
City and County of Boulder, State of Colorado

**Agent/Project Manager:**

Ridgetop Engineering  
541 E Garden Drive, Unit N  
Windsor, CO 80550  
Mike Beach  
970-663-4552  
[mbeach@ridgetopeng.com](mailto:mbeach@ridgetopeng.com)

**Owner:**

Phillips Edison & Company  
3247 Santa Fe Road  
Park City, Utah 84098  
Neil Madwell  
801-415-4364

**INTRODUCTION**

Enclosed, please find our submission for the site review submittal for the Boulder Meadows – Lot 2, Meadows on The Parkway. Below is a description of the proposed site modifications, along with the submittal for reference. Construction will be completed approximately within 8-10 months after receiving a building permit.

**DESCRIPTION**

The developer intends to re-develop the existing property by replacing the existing 9,150 sf multi-tenant building which is the current home of Elevations Bank with two (2) new buildings. The construction of the two buildings will be phased to allow Elevations Bank to remain in business. A new 2,975 square foot one-story bank building will be constructed for Elevations Bank on the existing west undeveloped grass lawn. After the bank has moved into and is fully operational the existing one-story multi-tenant building on the east side of the property will be demolished. A new 8,053 sf multi-tenant retail building will then be built on the site of the former building. The development will include minor site updates to the parking, trash enclosure, and landscaping improvements.

The existing property consists of an existing 9,150 sf multi-tenant building and existing undeveloped grass lawn. The project site is bordered by an existing gas station to the west, Baseline Rd to the north, Meadows Parkway to the east, and an existing parking lot to the south. Along Baseline Rd, there are two existing bus stops on either side of the street to the east and west of the site.

Due to the phasing of the proposed project the developer would respectfully request the project approval be extended from the typical three (3) years to five (5) years.

### **FLOODWAY CONSIDERATIONS**

The project site is located within Zone X per FIRM 08013C0576J revised 12/18/2012. However, the site is located within 100' of Zone AE (subject to inundation by the 1% annual chance flood, with base flood elevations) per the FIRM and LOMR 20-08-0969P, effective 4/19/2021. This site does not anticipate impacting the floodplain.

### **ACCESS**

The existing site is accessed via The Meadows Street. The Meadows Street has direct access to Baseline Road. No improvements are planned for the access points, with the exception of the public sidewalk access along Baseline that will be reconstructed.

### **WATER QUALITY**

The existing overall development has an existing water quality pond based on previous reports. The outfall is a metered release based on the 5-year predeveloped rate.

### **PARKING**

The existing parking lot will be updated to accommodate the building improvements, however the majority of the parking area will not be changed from its current condition today.

### **SITE REVIEW GENERAL CRITERIA**

#### **(1) Boulder Valley Comprehensive Plan Criteria**

##### **A. BVCP Land Use Map and Policies**

*The proposed project is consistent with the BVCP land use map and, on balance, with the goals and policies of the BVCP particularly those that address the built environment. In applying this, the approving authority shall consistently interpret and apply this criterion and consider whether a particular goal or policy is intended to be applied to individual development projects or is to guide city policy decisions, such as regulatory actions. The BVCP does not prioritize goals and policies, and no project must satisfy one particular goal or policy or all of them.*

The site is partially developed and consistent with the use of the BVCP. Replacing the older building with a new building will give new life to site and a look that is up to current requirements.

##### **B. Subcommunity and Area Plans or Design Guidelines**

*If the project is subject to an adopted subcommunity or area plan or adopted design guidelines, the project is consistent with the applicable plan and guidelines.*

To our knowledge the project is not part of a sub community, however this project is a part of the "Meadows on the Parkway" commercial subdivision. The proposed



improvements on this site were designed to maintain the character of the existing development (as much as code allows) and with the overall style of the commercial subdivision allows.

**C. Reducing Greenhouse Gas Emissions**

*Any new commercial building greater than 30,000 square feet in floor area and any 30,000 square feet or greater addition to a commercial building shall either have a net site energy usage index (EUI) of zero or is designed to achieve a net site EUI that is 10 percent lower than required under the City of Boulder Energy Conservation Code. It shall be a condition of approval that the applicant demonstrate compliance with this criterion at time of building permit. For the purpose of this requirement, "commercial building" shall have the meaning defined in the City of Boulder Energy Conservation Code.*

The proposed two buildings are less than 30,000 square feet. The proposed bank building is +/- 2,975 sf and the proposed multi-tenant retail building is +/- 8,053 sf. The total proposed square footage is +/- 11,028 square feet.

**D. Urban Edge Design**

The project is located within Area 1 per the Boulder Valley Comprehensive Plan, Figure 1-1 and is located along a major street. A well-defined Urban edge is being proposed by this development via enhanced building architecture, glazing, and landscape improvements.

**E. Historic or Cultural Resources**

*If present, the project protects significant historic and cultural resources. The approving authority may require application and good faith pursuit of local landmark designation.*

To our knowledge there are no historically or culturally significant structures within this development.

**F. Housing Diversity and Bedroom Types**

No residential units are being proposed as part of this development.

**G. Environmental Preservation**

*The project provides for the preservation of or mitigation of adverse impacts to natural features, including, without limitation, healthy long-lived trees, significant plant communities, ground and surface water, wetlands, riparian area, drainage areas, and species on the federal endangered species list and "Species of Special Concern in Boulder County" designated by Boulder County and their habitat.*

The project proposes to keep the existing healthy trees on site as indicated within the foresters report. The proposed landscaping will enhance the appearance of the site and provide additional environmental mitigations.

## **(2) Site Design Criteria**

*The project creates safe, convenient, and efficient connections for all modes of travel, promotes safe pedestrian, bicycle, and other modes of alternative travel with the goal of lowering motor vehicle miles traveled. Usable open space is arranged to be accessible; designed to be functional, encourage use, and enhance the attractiveness of the project; and meets the needs of the anticipated residents, occupants, tenants, and visitors to the project. Landscaping aesthetically enhances the project, minimizes use of water, is sustainable, and improves the quality of the environment. Operational elements are screened to mitigate negative visual impacts. In determining whether this is met, the approving agency will consider the following factors:*

### **A. Access, Transportation, Mobility**

*The project enables or provides vehicular and pedestrian connectivity between sites consistent with adopted connections plans relative to the transportation needs and impacts of the project, including but not limited to construction of new streets, bike lanes, on-street parking, sidewalks, multi-use paths, transit stops, streetscape planting strips, and dedication of public right-of-way or public access easements, as applicable considering the scope of the project. Where no adopted connections plan applies, the applicant shall, in good faith, and in coordination with the city manager, attempt to coordinate with adjacent property owners to establish, where practicable, reasonable and useful pedestrian connections or vehicular circulation connections, such as between parking lots on abutting properties, considering existing connections, infrastructure, and topography.*

- (i) The project enables or provides vehicular and pedestrian connectivity between sites consistent with adopted connections plans relative to the transportation needs and impacts of the project, including but not limited to construction of new streets, bike lanes, on-street parking, sidewalks, multi-use paths, transit stops, streetscape planting strips, and dedication of public right-of-way or public access easements, as applicable considering the scope of the project. Where no adopted connections plan applies, the applicant shall, in good faith, and in coordination with the city manager, attempt to coordinate with adjacent property owners to establish, where practicable, reasonable and useful pedestrian connections or vehicular circulation connections, such as between parking lots on abutting properties, considering existing connections,*

*infrastructure, and topography.*

The parking on the site is existing and will not be changing the configuration other than adding a Trash Enclosure. We are adding a new pedestrian connection from the public ROW of Baseline Road to the south side of the development where the front entrances are located via a courtyard area. Vehicular access locations are not changing from their current configuration as they are considered to be most practical as is.

- (ii) *Alternatives to the automobile are promoted by incorporating site design techniques, land use patterns, and infrastructure that support and encourage walking, biking, and other alternatives to the single-occupant vehicle.*

The proposed pedestrian way to the public pedestrian paths coupled with the new long term and short term bicycle parking will encourage alternative transportation to the site.

- (iii) *A transportation demand management (TDM) plan will be complied with including methods that result in a significant shift away from single-occupant vehicle use to alternate modes.*

A TDM was completed as requested and is included within the submittal.

- (iv) *Streets, bikeways, pedestrian ways, trails, open space, buildings, and parking areas are designed and located to optimize safety of all modes and provide connectivity and functional permeability through the site.*  
To the extent possible, bicycle and pedestrian pathways are located as directed by City staff. See included Pedestrian Circulation Exhibit.

- (v) *The design of vehicular circulation and parking area make efficient use of the land and minimize the amount of pavement necessary to meet the circulation and parking needs of the project.*

The project is not changing the current configuration of the parking lot. It appears to be the best layout from a usability standpoint, taking into consideration ingress/egress.

- (vi) *Where practicable and needed in the area and subject to coordination with the city manager, the project provides curbside parking or loading or both consistent with city policies on curbside management.*

Curbside parking is provided to the south of the site on the opposite side of the main street. Trash will be placed in enclosures (placed where

practical) and picked up to avoid pedestrian conflicts as allowable.

**B. Open Space**

- (i) *Useable open space is arranged to be accessible and designed to encourage use by incorporating quality landscaping, a mixture of sun and shade, hardscape areas and green spaces for gathering. Open space is utilized to buffer the street scape and provide patio opportunities for the future tenants.*
- (ii) *The open space will meet the needs of the anticipated residents, occupants, tenants, and visitors of the property. In mixed-use projects, the open space provides for a balance of private and common areas for the residential uses and includes common open space that is available for use by residents of the residential uses and their visitors and by tenants, occupants, customers, and visitors of the non-residential uses. Open The future patios and open space areas are used to buffer the building from the parking lot.*
- (iii) *If the project includes more than 50 dwelling units, including the addition of units that causes a project to exceed this threshold, and is more than one mile walking distance to a public park with any of the amenities described herein, at least 30 percent of the required outdoor open space is designed for active recreational purposes. N/A*
- (iv) *On-site open space is linked to adjacent public spaces, multi-use paths, city parks, or public open space if consistent with Department of Open Space and Mountain Parks or Department of Parks and Recreation plans and planning for the area, as applicable. Usable open space has been created for each new dwelling unit, while also maintaining accessible, shared, open space on the site. Trees, on-grade landscaping, and raised planters are incorporated onsite. Adding a new pedestrian connection from the public sidewalk to the patio area and providing a very welcoming archway, the development (along with the landscaping) incorporates the open space areas into a tranquil environment.*

**C. Landscape and Screening**

- (i) *The project exceeds the minimum landscaping requirements of Section 9-9-12, "Landscaping and Screening Standards," B.R.C. 1981, by at least fifteen percent in terms of planting quantities, includes a commensurate area to*

*accommodate the additional plantings, and, where practical, preserves healthy long-lived trees.*

*Due to the scarcity and cost of water and need to protect the environment from over usage, the project is proposing to only provide the minimum number of required trees and shrubs, however the percent of ground vegetation is at 86%, whereas the required is 75%.*

- (ii) *The landscaping design includes a variety of plants providing a variety of colors and contrasts in terms of texture and seasonality and high-quality hard surface materials, such as stone, flagstone, porous pavers, and decorative concrete.*

*Plantings for this project include a variety of trees, shrubs, grasses, and perennials. Decorative concrete will be placed within the proposed patio area.*

- (iii) *The landscaping design conserves water through use of native and adaptive plants, reduction of exotic plant materials, and landscaping within stormwater detention facilities to create bioswales or rain gardens, or other similar design strategies.*

*N/A, the stormwater facilities are already constructed off site and is a regional facility.*

- (iv) *Operational elements, such as electrical transformers, trash storage and recycling areas, parking, and vehicular circulation, are screened from the public realm through design elements, such as landscaping, fencing, or placement of structures, to mitigate negative visual impacts.*

*Electrical transformer is located in a logical location based on service and meter location. Landscaping elements are provided for screening to the extent possible.*

### **(3) Building Siting and Design Criteria**

Building siting and design are consistent with the character established in any adopted plans or guidelines applicable to the site or, if none apply, are compatible with the character of the area or improves upon that character, consistent with the intent specified in this paragraph. Buildings are positioned and oriented towards the public realm to promote a safe and vibrant pedestrian experience including welcoming, well-defined entries and facades. Building exteriors are designed with a long-lasting appearance and high-quality materials. Building design is simple and to a human scale, it creates visual interest and a vibrant pedestrian experience. Building roof design contributes to a city

skyline that has a variety of roof forms and heights. In determining whether this is met, the approving agency will consider the following factors:

**A. Building Siting and Public Realm Interface**

- (i) *New buildings and, to the extent practicable, additions to existing buildings are positioned towards the street, respecting the existing conditions or the context anticipated by adopted plans or guidelines. In urban contexts, buildings are positioned close to the property line and sidewalk along a street; whereas, in lower intensity contexts, a greater landscaped setback may be provided to match the surrounding context.*  
*The two new buildings are set at +/- at the same position towards Baseline Road as the existing building being demolished. The existing sidewalk along Baseline Road will be widened and new landscaping will provide a safer, more enjoyable pedestrian experience.*
- (ii) *Wherever practical considering the scope of the project, parking areas are located behind buildings or set back further from the streetscape than the building façade. The existing parking lot located behind the existing building will be updated to accommodate the building improvements and will remain behind the two (2) new proposed buildings.*
- (iii) *Along the public realm, building entries are emphasized by windows and architectural features that include one or more of the following: increased level of detail, protruding or recessed elements, columns, pilasters, protruding bays, reveals, fins, ribs, balconies, cornices, eaves, increased window glazing, or changes in building materials or color.*  
*The building entry of the proposed bank building is emphasized with the use of increased window glazing at grade and glazing above that extends above the typical building parapet wall height. A steel trellis also extends from the front door and around the east side of the building.*  
*The building entries of the retail buildings are emphasized with the use of increased window glazing and are set back. Each building entry also has a steel trellis/canopy overhead.*
- (iv) *Defined entries connect the building to the public realm. Unless inconsistent with the context and building's use, along the public realm, one defined entry is provided every 50 feet. Buildings designed for residential or industrial uses may have fewer defined entries.*



*The retail building entries are spaced at +/- 40', 23', and 28' apart.*

*The bank building has one off centered front entry.*

- (v) *If the project is adjacent to a zoning district of lower intensity in terms of allowable use, density, massing, or scale, the project is designed with an appropriate transition to the adjacent properties considering adopted subcommunity and area plans or design guidelines applicable to the site, and, if none apply, the existing development pattern. Appropriate transitions may be created through design elements such as building siting and design or open space siting and design.*

*The project is not adjacent to a zoning district of lower intensity.*

- (vi) *The building's siting and relationship to the public realm is consistent with the character established in any adopted plans or guidelines applicable to the site or, if none apply, is compatible with the character of the area or improves upon that character, consistent with the intent of Paragraph (3), Building Design Criteria. B. Building Design.*

*The building's siting and relationship to the public realm is consist with the existing building that will be demolished and improves the character of the development with two new high-quality buildings with new pedestrian entrance to the site provided from Baseline Road.*

## **B. Building Design**

- (i) *Larger floor plate buildings and projects with multiple buildings have a variety of forms and heights.*

*The proposed buildings are smaller floor plate buildings but still provide a variety of forms utilizing different building materials and different parapet heights.*

- (ii) *To the extent practical considering their function, mechanical appurtenances are located within or concealed by the building. If they cannot be located within or concealed by the building, their visibility from the public realm and adjacent properties is minimized*

*The mechanical appurtenances (RTU's) of each building are located on the roof of the building and shall be screened by the building's parapet walls.*

- (iii) *On each floor of the building, windows create visual interest, transparency, and a sense of connection to the public realm. In urban, pedestrian main street-built environments, it is a best practice to design at least 60 percent of each ground floor*

*façade facing the street as window area. Otherwise, it is a best practice to design at least 20 percent of the wall on each floor of a building as window area. Blank walls along the most visible portions of the building are avoided.*

*Windows and/or storefront have been used on each building façade. Transparency percentages of 60% have been provided for both buildings on the north elevation that face Baseline Road. The remaining facades have a minimum of 20% transparency.*

- (iv) *Simple detailing is incorporated into the façades to create visual interest, without making the façade overly complicated. This detailing may include cornices, belt courses, reveals, alternating brick or stone patterns, expression line offsets, window lintels and sills, and offsets in window glass from surrounding materials.*  
*The building(s) are detailed simply with vertical material returns and a few horizontal transitions. The building utilizes two alternating brick materials, a brick wainscot with a concrete sill that transitions to a different material above. The in-plane transitions provide for storefront entrance offsets.*

- (v) *Balconies on building with attached dwelling units are integrated into the form of the building in that exterior walls partially enclose the balcony. Balcony platform undersides are finished.*

*N/A*

- (vi) *The building's design, including but not limited to use of materials, color, roof forms, and style, is consistent with the character established in any adopted plans or guidelines applicable to the site or, if none apply, is compatible with the character of the area or improves upon that character, consistent with the intent of paragraph (3), Building Design Criteria.*

*The building's design utilizes high quality materials, is of a human scale and improves the character of the existing development.*

### **C. Building Materials**

- (i) *Building faces are composed of high-quality, durable, human-scaled materials. High-quality materials include brick, stone, polished concrete masonry units, wood, architectural high pressure laminate panels, cementitious or composite siding, architectural metal panels, or any combination of these materials. Split-faced concrete masonry units, stucco, vinyl siding, EIFS, and unfinished or untreated wood are not considered durable, high-quality materials, but may be used on a limited*

*basis and not on facades facing the public realm. High quality materials are focused on the ground floor facades on all sides of a building and on all floors of facades facing the public realm, and overall, comprise the vast majority of all building facades.*

*The building faces are composed of high-quality, durable, human-scaled materials. The building faces include brick, cementitious siding and panels, architectural metal panels and aluminum storefront with clear insulated glazing.*

- (ii) *Monolithic roofing membranes, like Thermoplastic Polyolefin, are not used on roof surfaces that are visible from the street level.*

*The back face of the bank building's taller entry feature utilizes a building façade material. Monolithic roofing membranes are not used on roof surfaces that are visible from the street.*

- (iii) *The number of building material types is limited, and the building materials are applied to complement the building form and function. The organization of the building materials logically expresses primary building features such as the spatial layout, building entries, private and common spaces, anchor corner, stairwells, and elevators.*

*A small number of high-quality, durable materials are used in a way to provide interest and express the building features. The buildings corners and entries are featured and the building parapets vary in height.*

- (iv) *Building cladding materials turn convex corners and continues to the inset wall. This criterion does not apply to changes that occur at an interior corner nor to detailing elements, such as cornices, belt courses, reveals, offsets in expression lines, lintels, and windowsills. Building cladding materials do not change in-plane unless there is at least a 12-inch wall offset.*

*Building cladding materials change in-plane with a minimum 12-inch wall offset.*

- (v) *Any newly constructed building that includes residential units and is located within 200 feet of a railroad, freeway, or expressway is designed to achieve an interior day-night average noise level of no more than forty-five decibels. Noise shall be measured in a manner that is consistent with the federal housing urban development standards in section s 24 CFR 51.100 to 51.106 for the "measure of external noise elements," or similar standard adopted by the city manager in the event that such rule is repealed. The applicant shall provide written certification prior to the issuance of a certificate of occupancy that the sound abatement and attenuation measures*

*were incorporated in the construction and site design as recommended by a professional engineer.*

*No residential units are proposed.*

## **Travel Demand Management Plan**

# **THE MEADOWS ON THE PARKWAY LOT 2**

**Boulder, Colorado**

Prepared for

RidgeTop Engineering & Surveying  
541 E. Garden Drive, Unit N  
Windsor, CO 80550

Prepared by

LSC Transportation Consultants, Inc.  
1889 York Street  
Denver, CO 80206  
(303) 333-1105

February 11, 2025  
Updated: August 4, 2025  
LSC #250060



## **Introduction**

This Travel Demand Management (TDM) Plan has been prepared for the Meadows On The Parkway Lot 2 development in Boulder, Colorado. The site is located south of Baseline Road and east of The Meadows Street. The site is proposed to include a bank with about 2,975 square feet and about 8,000 square feet of retail/restaurant space.

The location of the site with respect to the surrounding land uses and roadway system is shown in Figure 1. The conceptual site plan is shown in Figure 2.

This TDM Plan supports a 20 percent alternative travel mode reduction supported by the various TDM alternatives available in the City of Boulder and the TDM measures proposed by the applicant.

## **Existing Alternate Travel Modes Description**

The following existing conditions contribute to the transportation demand management goals of the City of Boulder. The site is well-positioned to make good use of these existing opportunities.

### **Existing Transit Service**

The Regional Transportation District (RTD) is the governing body responsible for fixed-route transit (public transportation) service throughout the Denver metropolitan area, including Boulder. Figure 3 shows the existing bus stops and transit routes within the vicinity of the site, including the following routes:

- 204
- 206
- 225
- BOND

Demand-responsive services are available to both seniors and persons with disabilities through Via (formerly Special Transit). Established in 1979, this non-profit provides safe and affordable rides in accessible buses to people with limited mobility. Rides are scheduled in advance and have a 30-minute pick-up window.

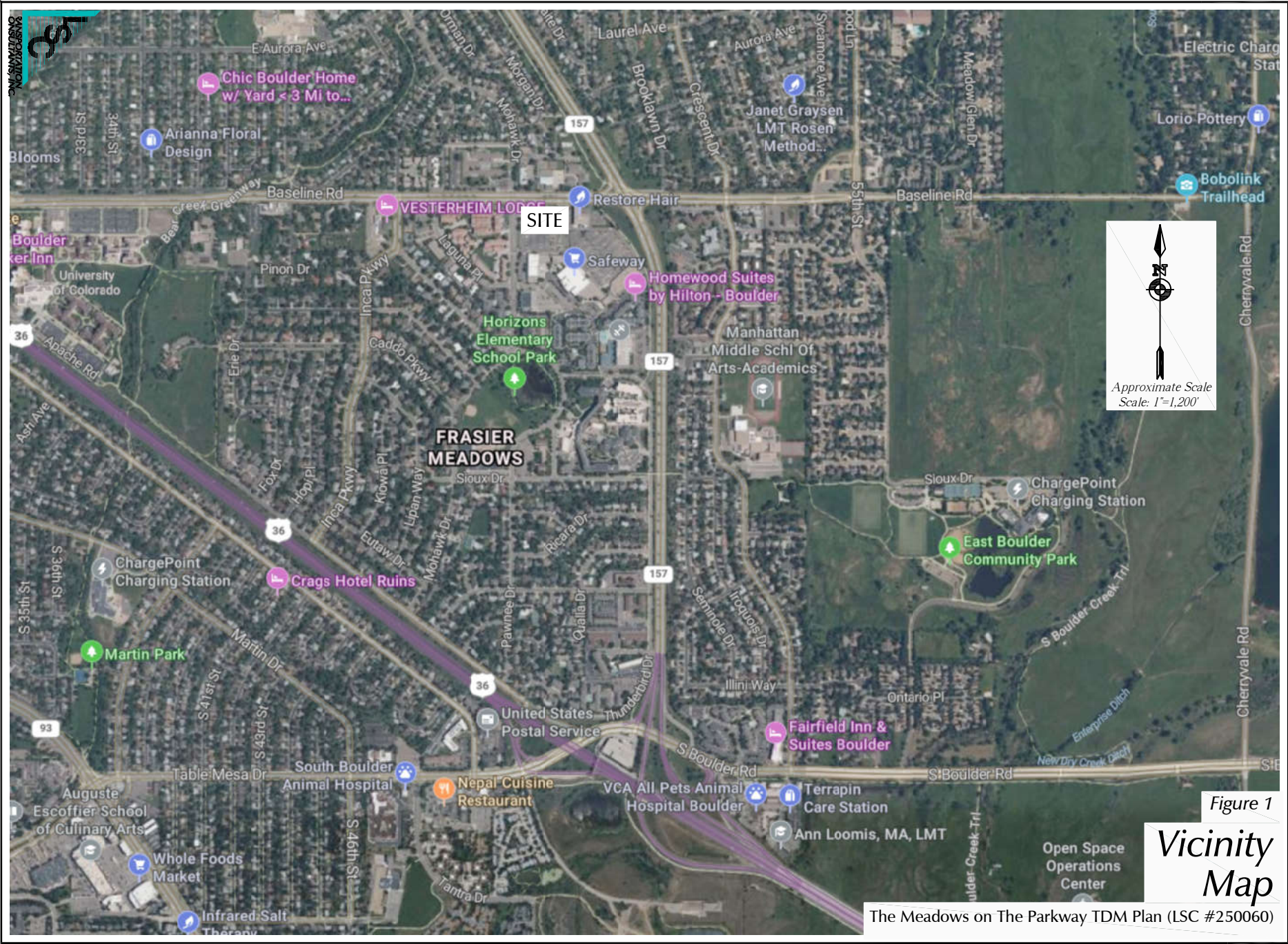


### Existing Bicycle and Pedestrian Network

The City of Boulder maintains an extensive bicycle and pedestrian network throughout the City. Figure 4 shows bicycle and pedestrian routes within the vicinity of the site. In addition, many of the streets in the project vicinity have attached or detached sidewalks.

The Meadows On The Parkway Lot 2 TDM Plan (LSC #250060)  
LSC Transportation Consultants, Inc.

August 4, 2025  
Page 3





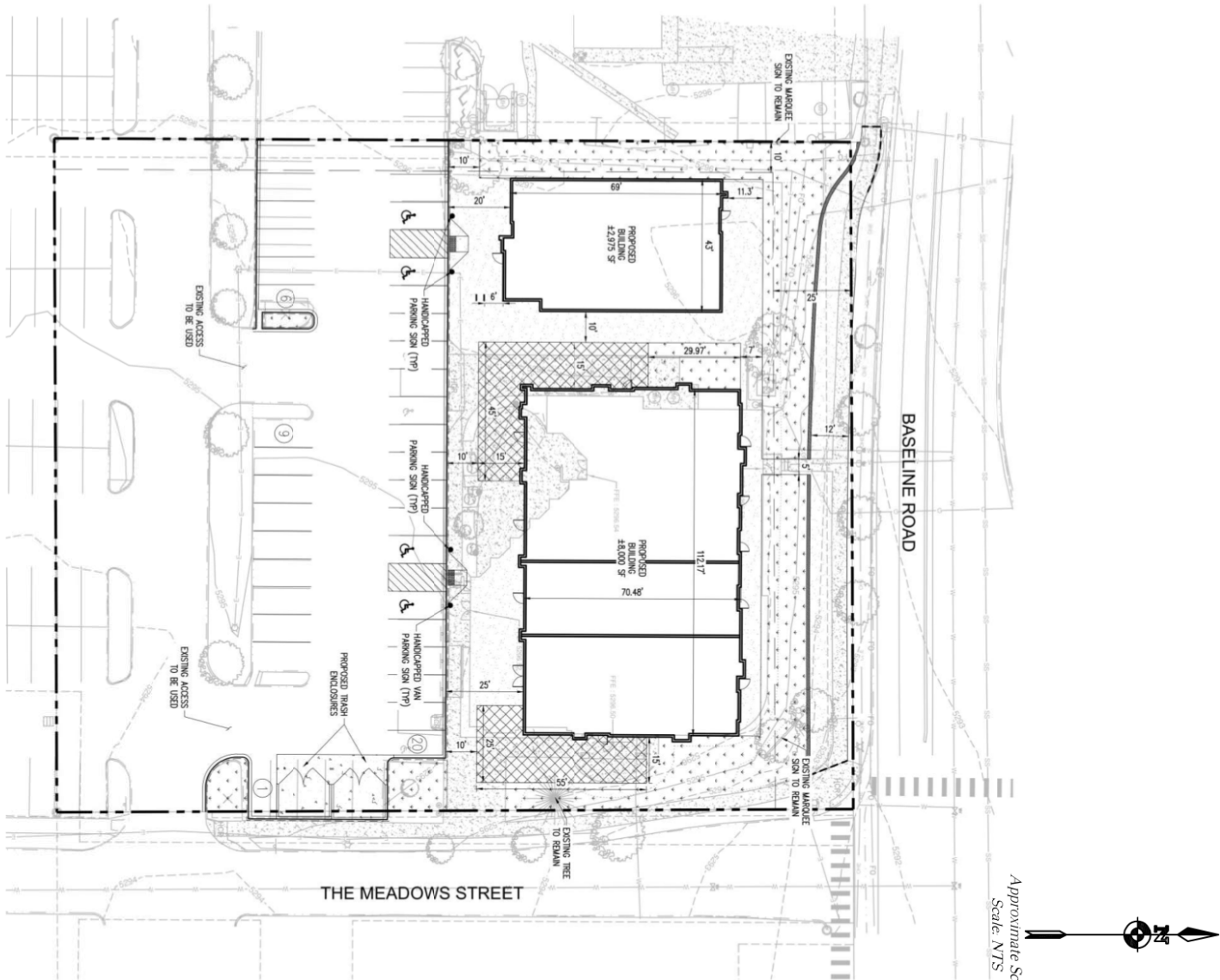
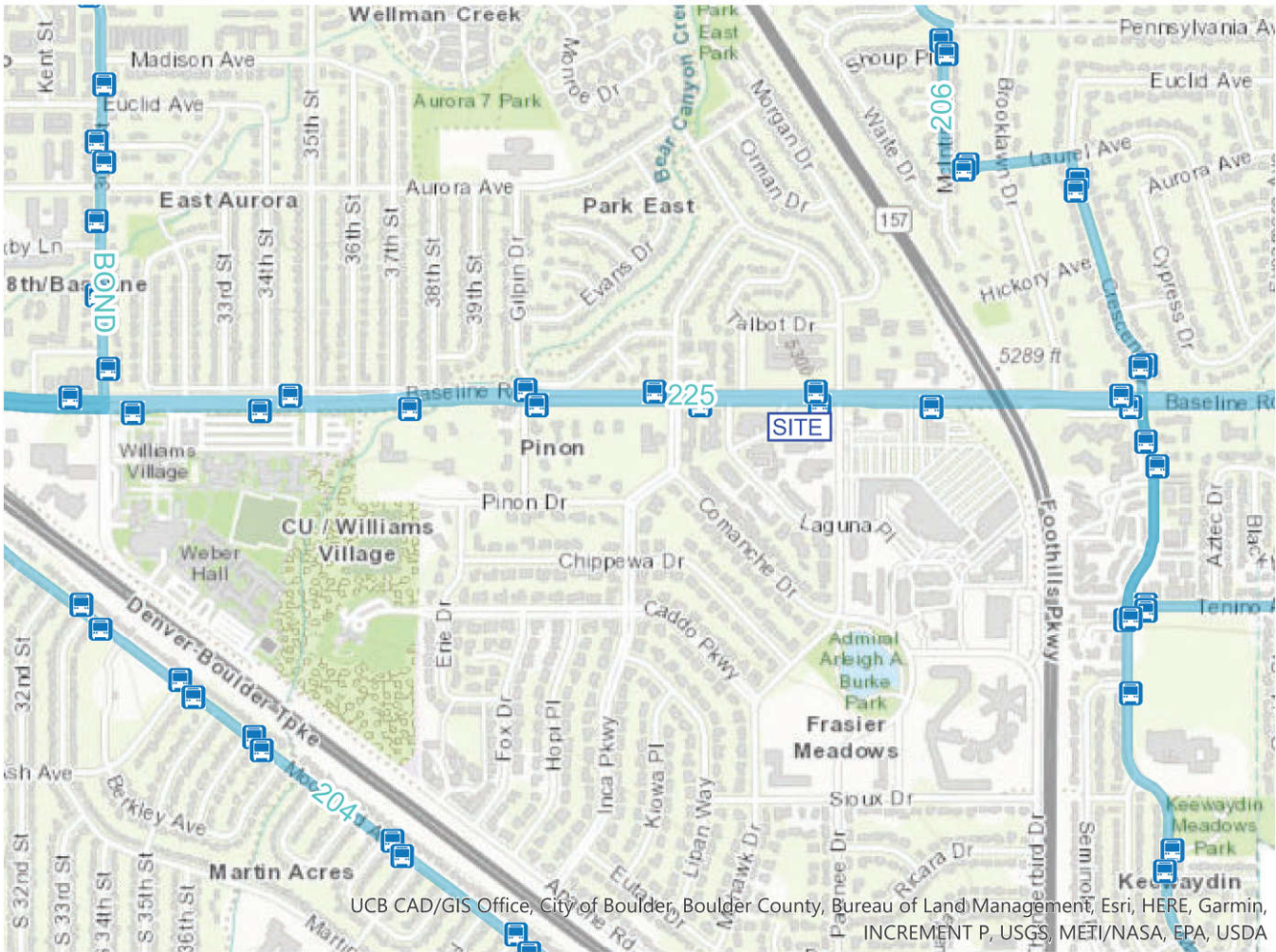
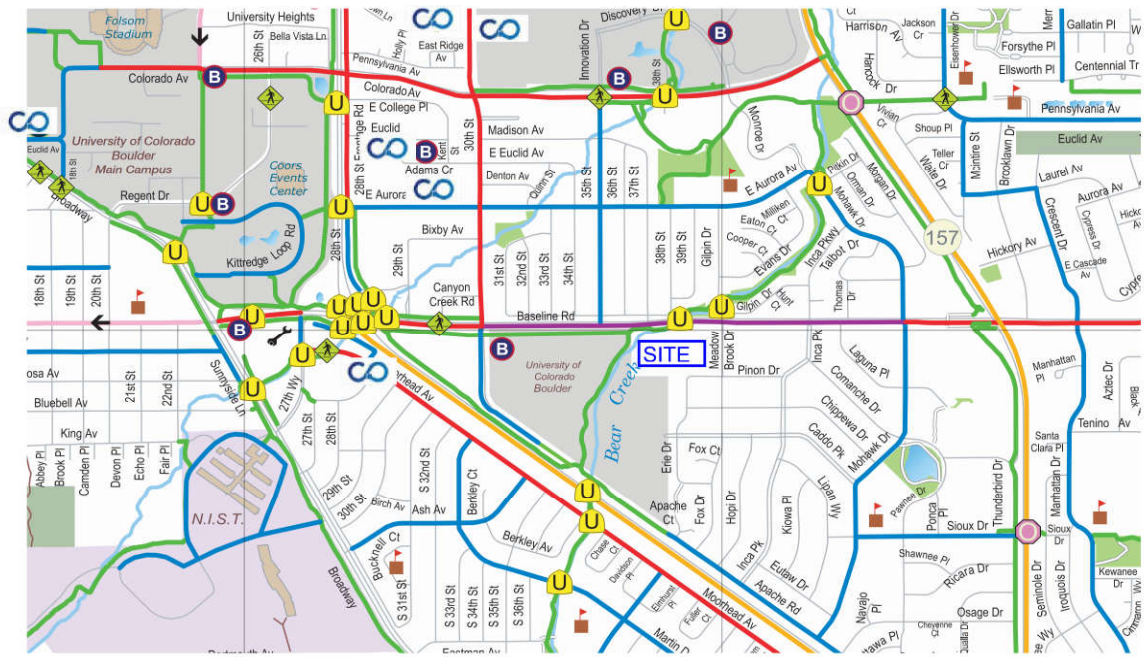


Figure 2  
**Site Plan**  
The Meadows on The Parkway TDM Plan (LSC #250060)



 = Bus Stop

Figure 3  
**Existing Bus Stops  
and Transit Routes**  
The Meadows on The Parkway TDM Plan (LSC #250060)



**LEGEND:**

- On-Street Bike Lane
- Designated Bike Route
- Multi-Use Path
- Paved Shoulder

- [B] = Bridge
- [U] = Underpass
- [Pedestrian] = Enhanced Pedestrian Crossing
- [B in circle] = B-cycle Location
- [Bike Shop] = Bike Shop
- [Infinity] = Colorado Car Share

Figure 4

Existing Bike and Pedestrian Routes

The Meadows on The Parkway TDM Plan (LSC #250060)



Transportation Demand Management (TDM) Strategy for Commercial Space

The site is proposed to include a bank with about 2,975 square feet and about 8,000 square feet of retail/restaurant space.

Table 1 shows the actions the applicant intends to take to increase the percentage of alternative travel modes utilized by the site.

An alternative travel mode reduction of 20 percent is targeted for the proposed land use.

The applicant is proposing 37 parking spaces which meets the 37 parking spaces required by Code.



**Table 1**  
**The Meadows On The Parkway Lot 2**

<b>TDM Element</b>	<b>Proposed TDM Measures</b>
Meet Short-Term Bicycle Parking Code	The applicant is proposing 12 short-term bicycle parking spaces which exceeds the requirement of 11 short-term bicycle parking spaces.
Meet Long-Term Bicycle Parking Code	The applicant is proposing 4 long-term secure and covered bicycle parking spaces which meets the requirement of 4 long-term bicycle parking spaces.
Ratio of MOV Mode Share	The applicant will include ridesharing information in its employee orientation packets. This may include eGo Car sharing, B-Cycle bike sharing, Lime Green Scooters, DRCOG's Ride Arrangers, ride sharing with Uber/Lyft, etc.
Pedestrian Enhancements	Connections should be made to the existing sidewalks around the site as appropriate.
Bike Enhancements	The site will have connections to the existing sidewalks and multi-use paths in the vicinity of the site.
Changing Facilities - Conditional	The proposed restrooms will serve as suitable changing facilities for employees.
Transportation Information Center/ Access/Employee Transportation Coordinator (ETC) Network	The site will include transportation information in its employee packets/employee orientation process. The information will also be available in interior brochure racks within the building. The applicant will participate in future surveys conducted by the City regarding travel modes.
BECO Pass Participation	BECO bus passes will be financially guaranteed for the first three years for employees by the applicant or the end user. Coordination will be needed with City staff to determine the appropriate size of the program and how best to administer the program considering there are no current end users.
Vehicle Parking	The applicant is proposing 37 parking spaces which meets the 37 parking spaces required by Code. There is no available on-street parking in the vicinity of the site.



VIEW - SOUTHEAST



Phase -1 & 2  
Meadows on The Parkway  
Boulder, Colorado

CONCEPT-B rev.4  
04/28/2025





VIEW - SOUTHEAST



Phase -1 & 2  
Meadows on The Parkway  
Boulder, Colorado

CONCEPT-B rev.4  
04/28/2025





VIEW - SOUTHWEST



Phase -1 & 2  
Meadows on The Parkway  
Boulder, Colorado

CONCEPT-B rev.4  
04/28/2025





VIEW - SOUTH



Phase -1 & 2  
Meadows on The Parkway  
Boulder, Colorado

CONCEPT-B rev.4  
04/28/2025





VIEW - NORTHWEST



Phase -1 & 2  
Meadows on The Parkway  
Boulder, Colorado

CONCEPT-B rev.4  
04/28/2025





VIEW - NORTH



Phase -1 & 2  
Meadows on The Parkway  
Boulder, Colorado

CONCEPT-B rev.4  
04/28/2025





VIEW - NORTHEAST



Phase -1 & 2  
Meadows on The Parkway  
Boulder, Colorado

CONCEPT-B rev.4  
04/28/2025





SOUTH ELEVATION



Phase -1 & 2  
Meadows on The Parkway  
Boulder, Colorado



WEST ELEVATION ( ELEVATION BANK )



Phase -1 & 2  
Meadows on The Parkway  
Boulder, Colorado

CONCEPT-B rev.4  
04/28/2025





NORTH ELEVATION



Phase -1 & 2  
Meadows on The Parkway  
Boulder, Colorado

CONCEPT-B rev.4  
04/28/2025





EAST ELEVATION ( RETAIL SHOPS )



Phase -1 & 2  
Meadows on The Parkway  
Boulder, Colorado

CONCEPT-B rev.4  
04/28/2025

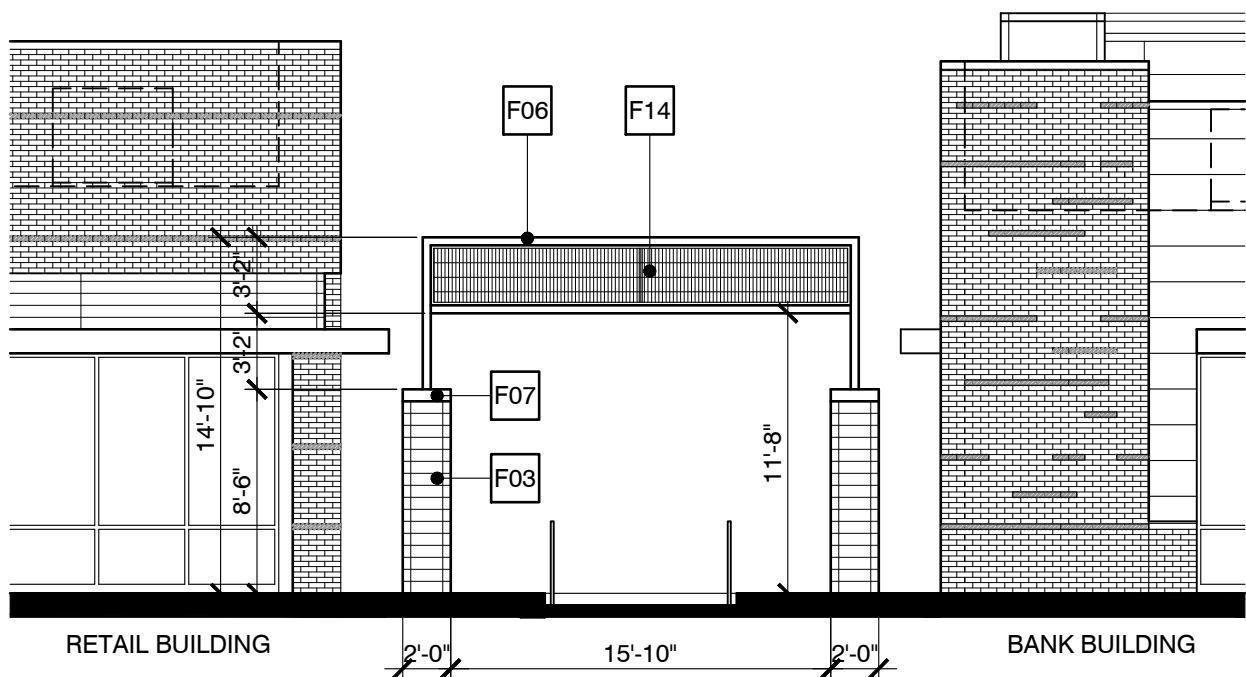




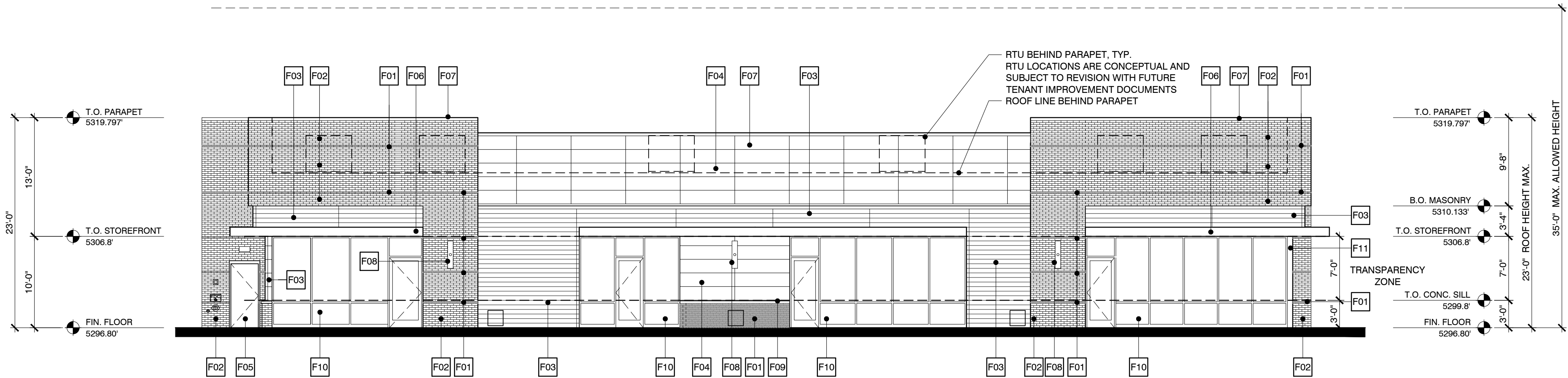
# LOT 2, THE MEADOWS ON THE PARKWAY

## SITE REVIEW

LOT 2, THE MEADOWS ON THE PARKWAY,  
NE 1/4 OF THE NW ¼ OF SECTION 4, TOWNSHIP 1 SOUTH, RANGE 70 WEST,  
CITY AND COUNTY OF BOULDER, STATE OF COLORADO

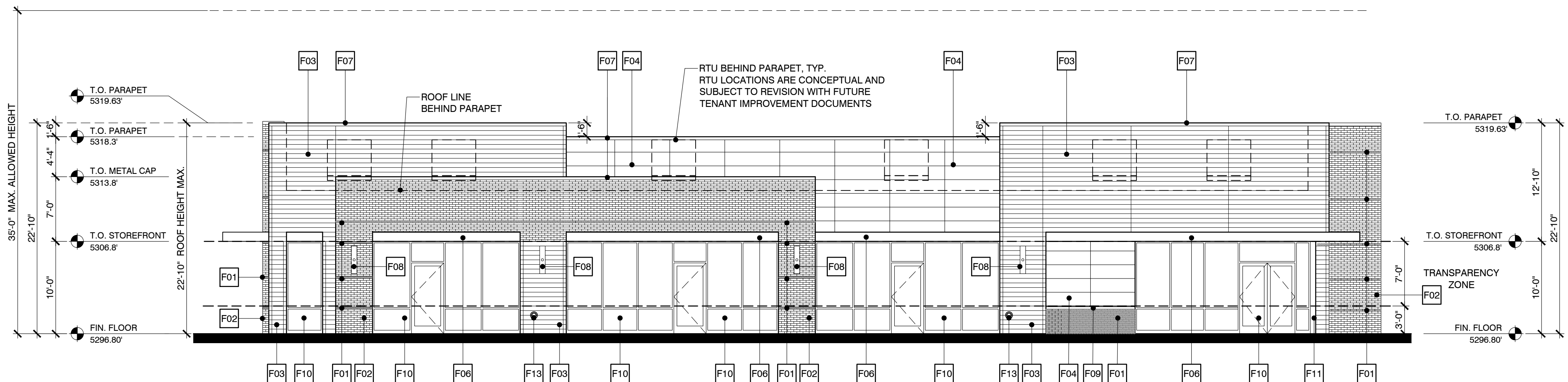


3 SITE ENTRY SIGN  
SCALE: 1/8" = 1' - 0"



2 NORTH ELEVATION  
SCALE: 1/8" = 1' - 0"

TRANSPARENCY AREA  
1. TRANSPARENCY ZONE AREA: 800 SF  
2. GLAZING AREA IN TRANSPARENCY ZONE: 115.5 + 77 + 135.3 + 154.6 = 482.4 SF  
3. GLAZING PERCENTAGE: 482.4 SF/800 SF = 60%



1 SOUTH ELEVATION  
SCALE: 1/8" = 1' - 0"

TRANSPARENCY AREA  
1. TRANSPARENCY ZONE AREA: 805 SF  
2. GLAZING AREA IN TRANSPARENCY ZONE: 27 + 112 + 161 + 140 + 133 = 573 SF  
3. GLAZING PERCENTAGE: 573 SF/805 SF = 71%

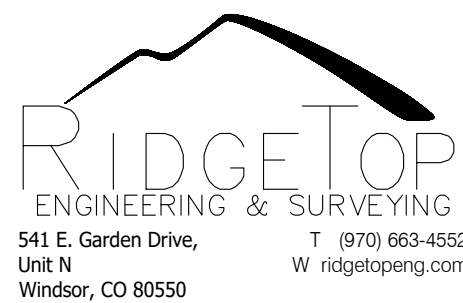
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### MATERIAL KEY NOTES:

	DESCRIPTION	MANUF./COLOR
F01	BRICK	SUMMIT BRICK CO, MODULAR SIZE FACE BRICK, "ONYX" (BLACK)
F02	BRICK	SUMMIT BRICK CO, MODULAR SIZE FACE BRICK, "ALASKAN" (WHITE)
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F11	ALUMINUM BREAK METAL	CLEAR ANODIZED ALUMINUM
F12	ELEC. GEAR AND PANEL(S)	PAINT: COLOR TO MATCH ADJACENT FINISH COLOR. FIELD VERIFY.
F13	LAMBS TONGUE DRAIN (DOWNSPOUT NOZZLE)	BRASS
F14	METAL WIRE MESH	MCNICHOLS; DESIGNER MESH, HALO 2156 COPPER/STAINLESS STEEL IN STEEL ANGLE FRAME

### FOUNDATION GRADE NOTE:

RE: CIVIL DRAWING FOR GRADING. WHERE IT OCCURS, EXPOSED FOUNDATION TO BE PAINTED TO MATCH COLOR ABOVE



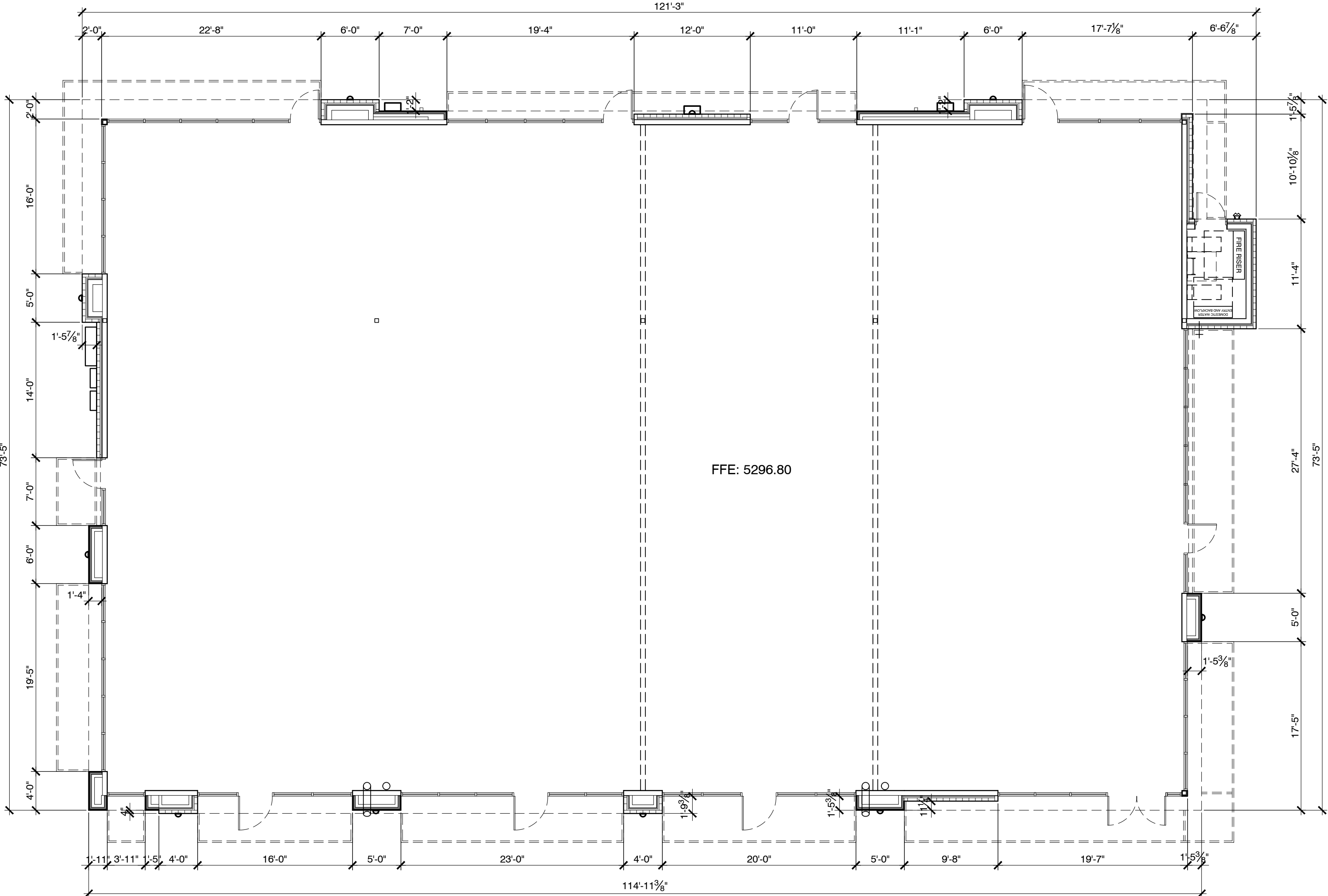
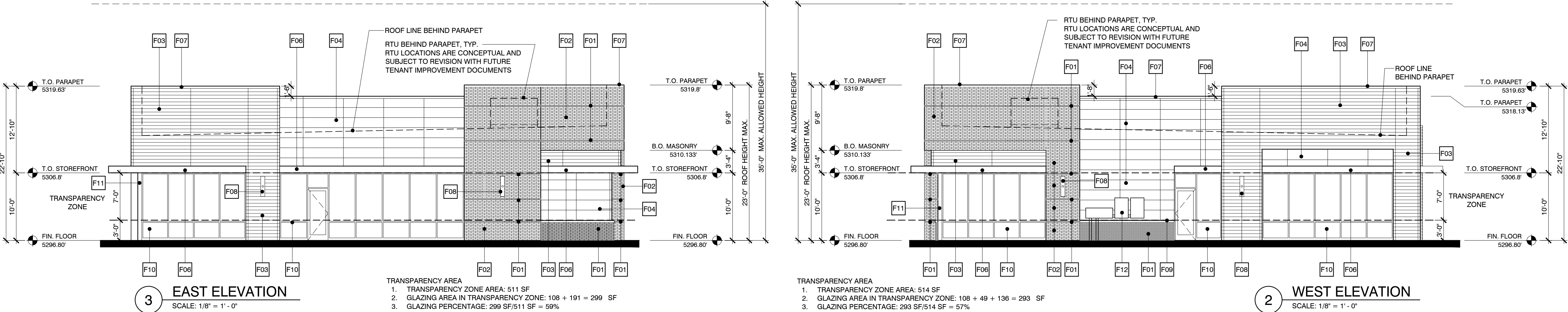
SHEET TITLE  
**RETAIL BUILDING ELEVATIONS**



# LOT 2, THE MEADOWS ON THE PARKWAY

## SITE REVIEW

LOT 2, THE MEADOWS ON THE PARKWAY,  
NE 1/4 OF THE NW 1/4 OF SECTION 4, TOWNSHIP 1 SOUTH, RANGE 70 WEST,  
CITY AND COUNTY OF BOULDER, STATE OF COLORADO



**1 RETAIL FLOOR PLAN**  
SCALE: 1/8" = 1' - 0"

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F04	FIBER CEMENT PANEL	NICHIHA FIBER CEMENT, PANEL ARCHITECTURAL BLOCK. COLOR: GRAY
F05	PAINT FOR H.M. DOOR	COLOR TO MATCH F04: GRAY
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F11	ALUMINUM BREAK METAL	CLEAR ANODIZED ALUMINUM
F12	ELEC. GEAR AND PANEL(S)	PAINT: COLOR TO MATCH ADJACENT FINISH COLOR. FIELD VERIFY.
F13	LAMBS TONGUE DRAIN (DOWNSPOUT NOZZLE)	BRASS

**FOUNDATION GRADE NOTE:**  
RE: CIVIL DRAWING FOR GRADING. WHERE IT OCCURS, EXPOSED FOUNDATION TO BE PAINTED TO MATCH COLOR ABOVE

**RETAIL BUILDING FLOOR PLAN AND ELEVATIONS**

SHEET TITLE

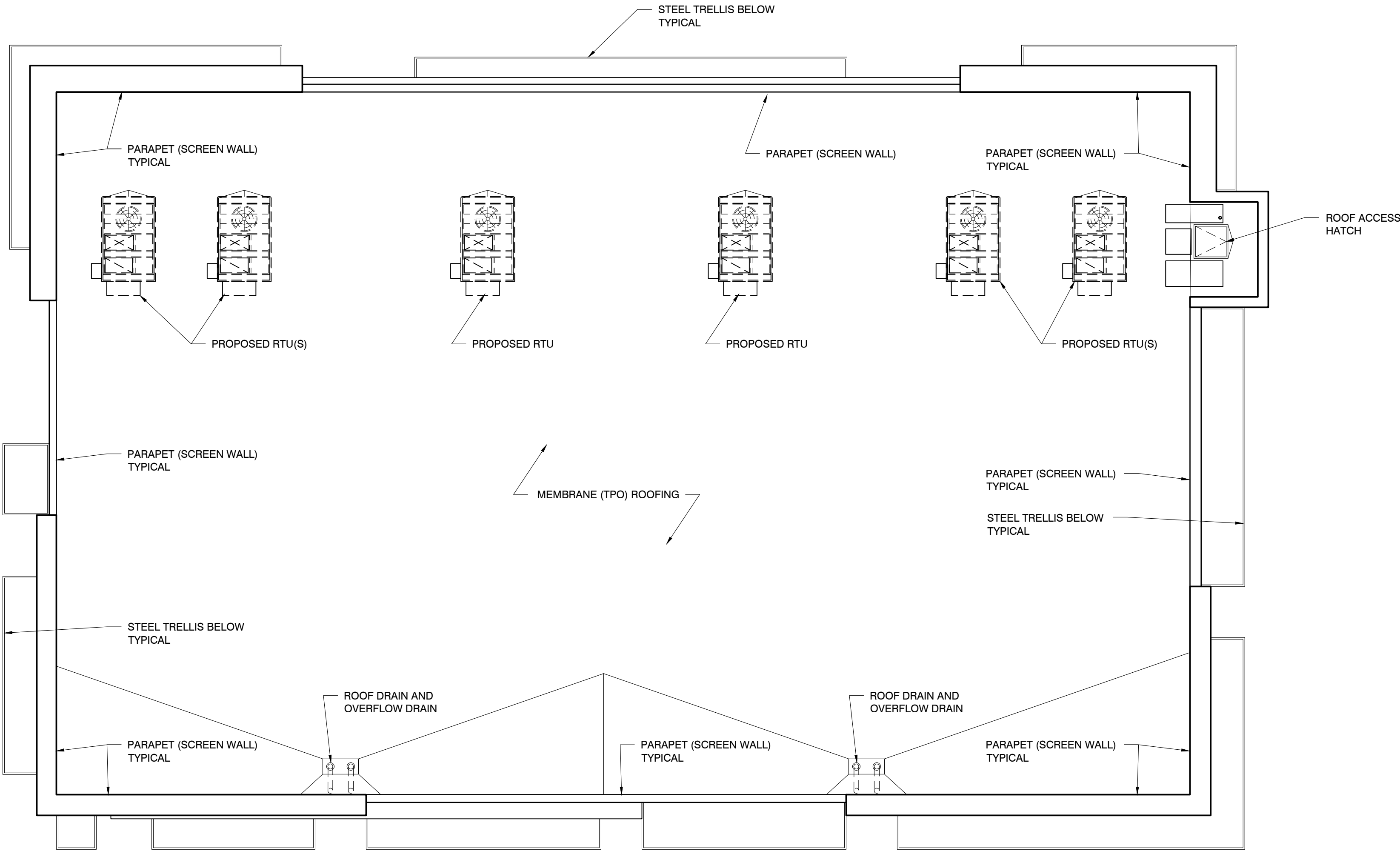
541 E. Garden Drive,  
Unit N  
Windsor, CO 80550

T (970) 863-4552  
W ridgetopeng.com

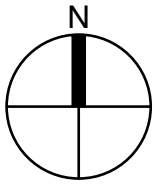
# LOT 2, THE MEADOWS ON THE PARKWAY

## SITE REVIEW

LOT 2, THE MEADOWS ON THE PARKWAY,  
NE 1/4 OF THE NW ¼ OF SECTION 4, TOWNSHIP 1 SOUTH, RANGE 70 WEST,  
CITY AND COUNTY OF BOULDER, STATE OF COLORADO



1 RETAIL ROOF PLAN  
SCALE: 1/8" = 1' - 0"

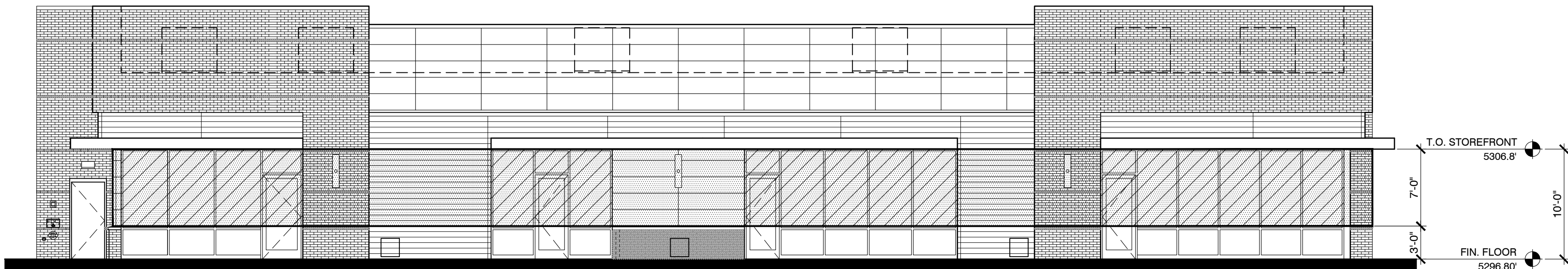


SHEET TITLE  
**RETAIL BUILDING  
ROOF PLAN**

# LOT 2, THE MEADOWS ON THE PARKWAY

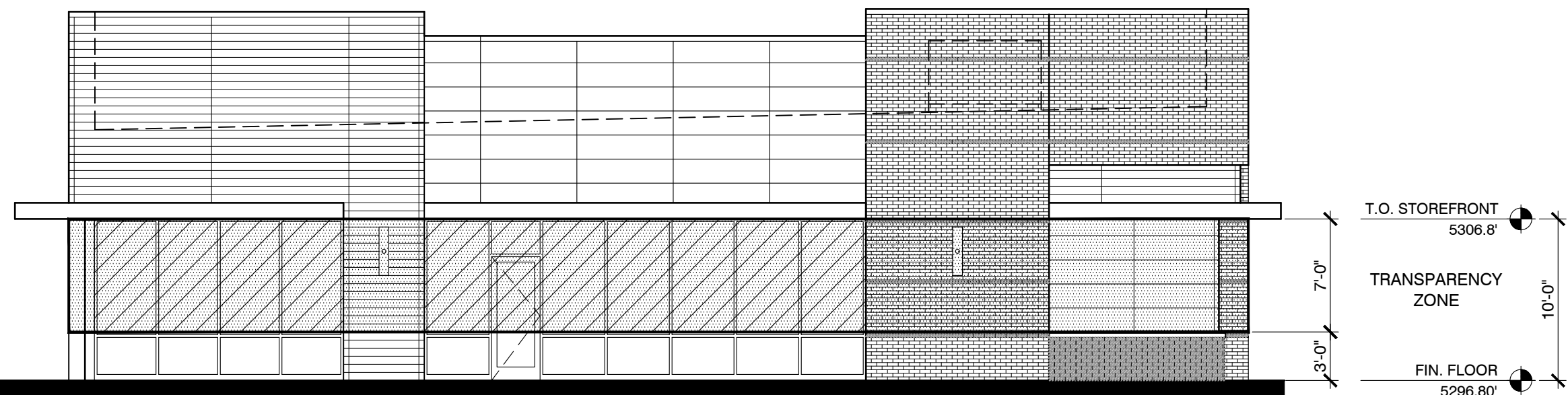
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LOT 2, THE MEADOWS ON THE PARKWAY,  
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CITY AND COUNTY OF BOULDER, STATE OF COLORADO



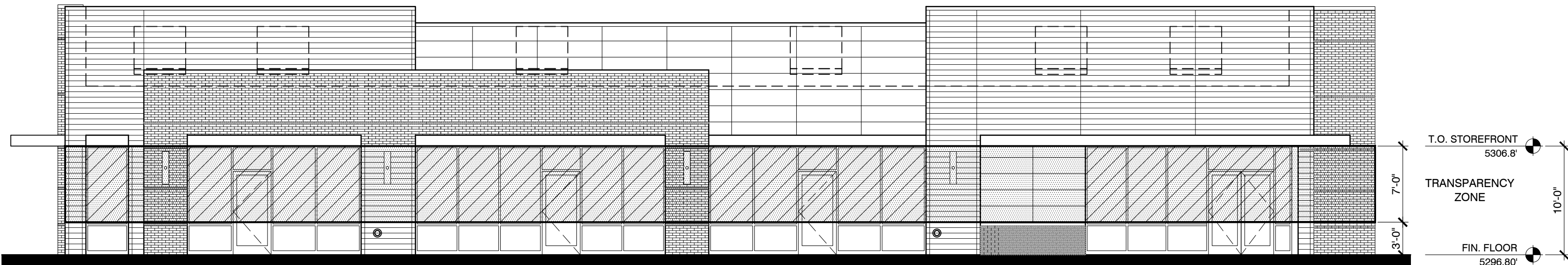
TRANSPARENCY DIAGRAM  
1. TRANSPARENCY ZONE AREA: 800 SF  
2. GLAZING AREA IN TRANSPARENCY ZONE: 115.5 + 77 + 135.3 + 154.6 = 482.4 SF  
3. GLAZING PERCENTAGE: 482.4 SF/800 SF = 60%

4 NORTH ELEVATION  
SCALE: 1/8" = 1' - 0"



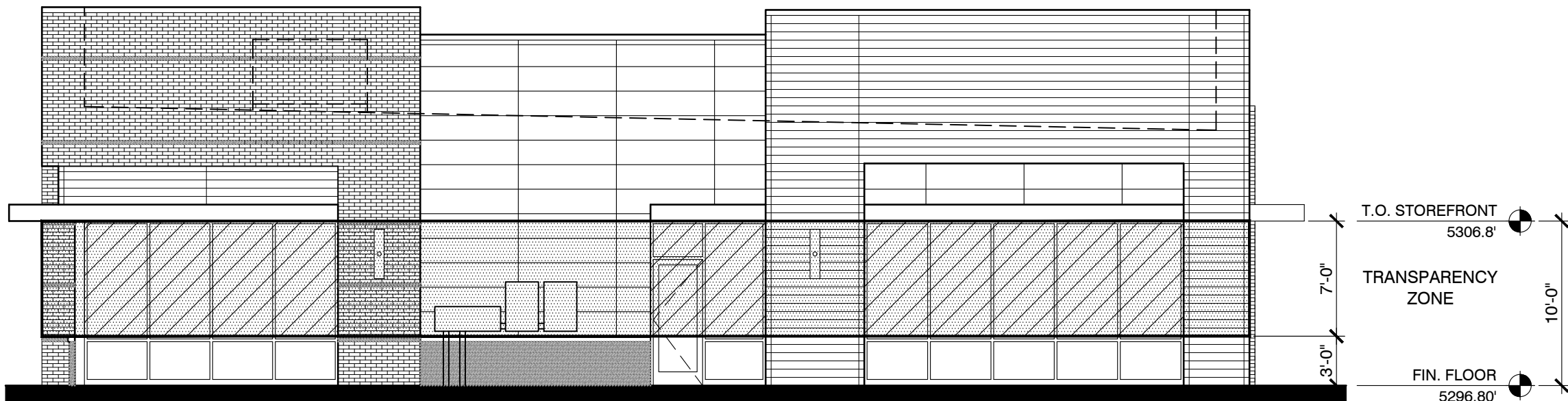
TRANSPARENCY DIAGRAM  
1. TRANSPARENCY ZONE AREA: 511 SF  
2. GLAZING AREA IN TRANSPARENCY ZONE: 108 + 191 = 299 SF  
3. GLAZING PERCENTAGE: 299 SF/511 SF = 59%

2 EAST ELEVATION  
SCALE: 1/8" = 1' - 0"



TRANSPARENCY DIAGRAM  
1. TRANSPARENCY ZONE AREA: 805 SF  
2. GLAZING AREA IN TRANSPARENCY ZONE: 27 + 112 + 161 + 140 + 133 = 573 SF  
3. GLAZING PERCENTAGE: 573 SF/805 SF = 71%

3 SOUTH ELEVATION  
SCALE: 1/8" = 1' - 0"



TRANSPARENCY DIAGRAM  
1. TRANSPARENCY ZONE AREA: 514 SF  
2. GLAZING AREA IN TRANSPARENCY ZONE: 108 + 49 + 136 = 293 SF  
3. GLAZING PERCENTAGE: 293 SF/514 SF = 57%

1 WEST ELEVATION  
SCALE: 1/8" = 1' - 0"



SHEET TITLE
RETAIL BUILDING TRANSPARENCY DIAGRAM

# LOT 2, THE MEADOWS ON THE PARKWAY

## SITE REVIEW

LOT 2, THE MEADOWS ON THE PARKWAY,  
NE 1/4 OF THE NW 1/4 OF SECTION 4, TOWNSHIP 1 SOUTH, RANGE 70 WEST,  
CITY AND COUNTY OF BOULDER, STATE OF COLORADO

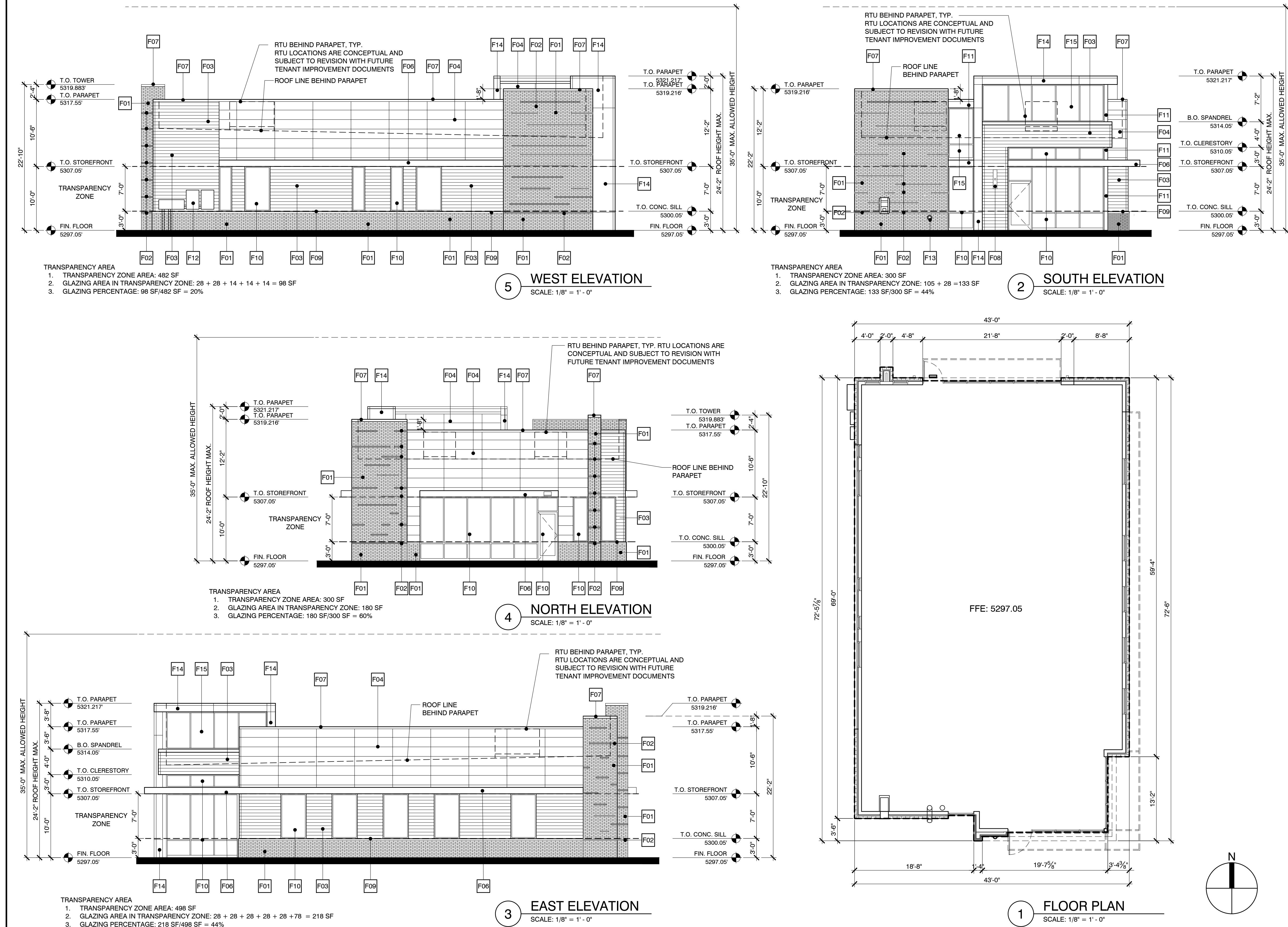
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### MATERIAL KEY NOTES:

	DESCRIPTION	MANUF./COLOR
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F02	BRICK	SUMMIT BRICK CO, MODULAR SIZE FACE BRICK, "ALASKAN" (WHITE)
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F04	FIBER CEMENT PANEL	NICHIHA FIBER CEMENT, PANEL. ARCHITECTURAL BLOCK. COLOR: GRAY
F05	PAINT FOR H.M. DOOR	COLOR TO MATCH F04: GRAY
F06	PAINT FOR EYEBROW CANOPY	SW 7076 "CYBERSPACE"
F07	PARAPET METAL COPING OR WALL FLASHING	BERRIDGE MANUFACTURING, "CITYSCAPE"
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F13	LAMBS TONGUE DRAIN (DOWNSPOUT NOZZLE)	BRASS
F14	METAL PANEL	LAMINATOR, INC. OMEGA-LITE, TIGHT FIT MOLDING COLOR: BRIGHT SILVER
F15	SPANDREL GLAZING	CLEAR ANODIZED ALUMINUM STOREFRONT WITH SPANDREL GLAZING. COLOR: WHITE

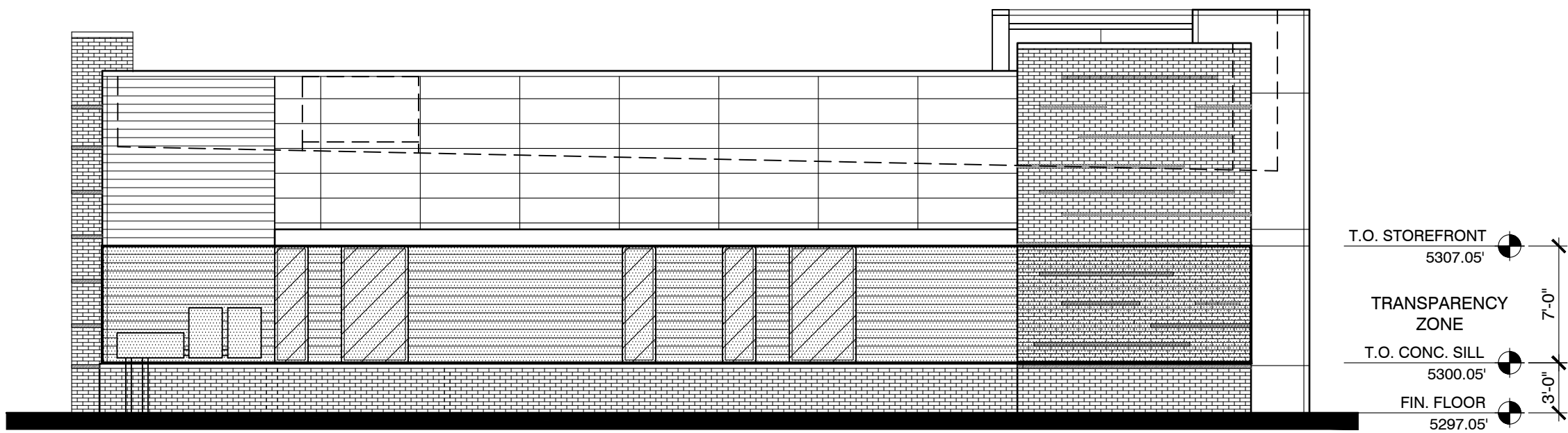
### FOUNDATION GRADE NOTE:

RE: CIVIL DRAWING FOR GRADING. WHERE IT OCCURS, EXPOSED FOUNDATION TO BE PAINTED TO MATCH COLOR ABOVE



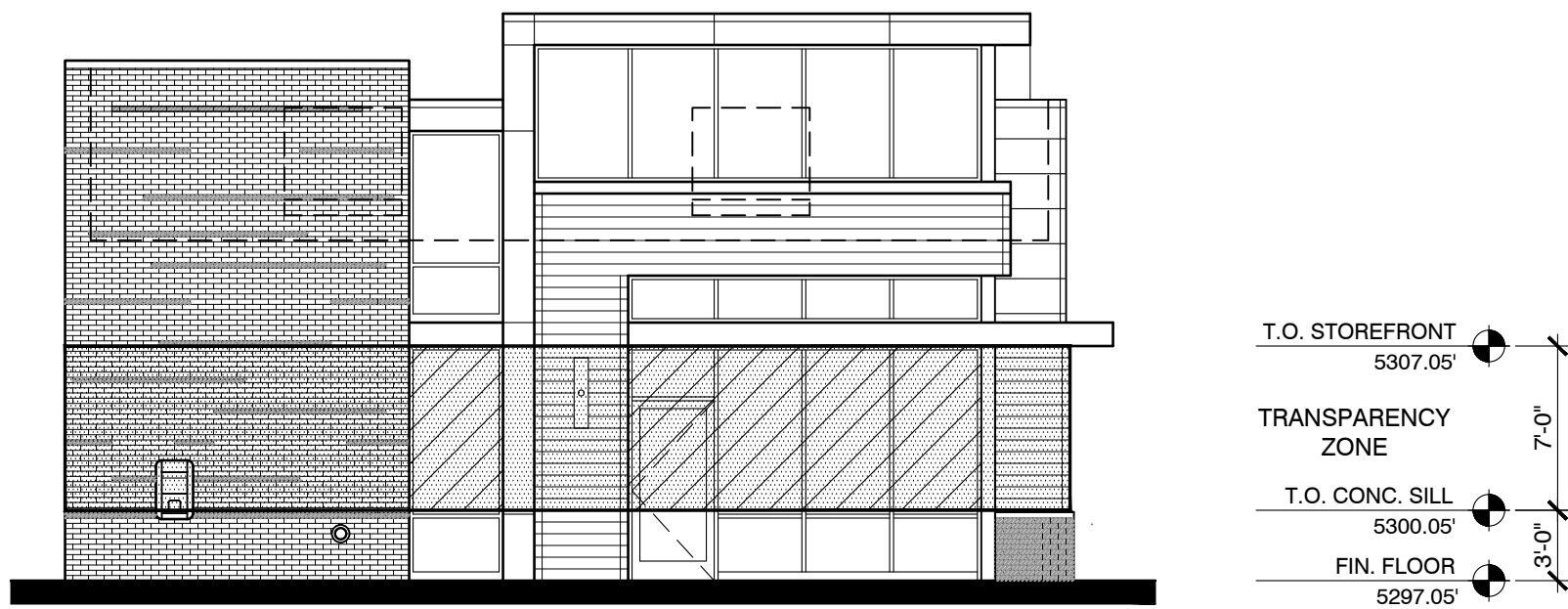
# LOT 2, THE MEADOWS ON THE PARKWAY SITE REVIEW

LOT 2, THE MEADOWS ON THE PARKWAY,  
NE 1/4 OF THE NW ¼ OF SECTION 4, TOWNSHIP 1 SOUTH, RANGE 70 WEST,  
CITY AND COUNTY OF BOULDER, STATE OF COLORADO



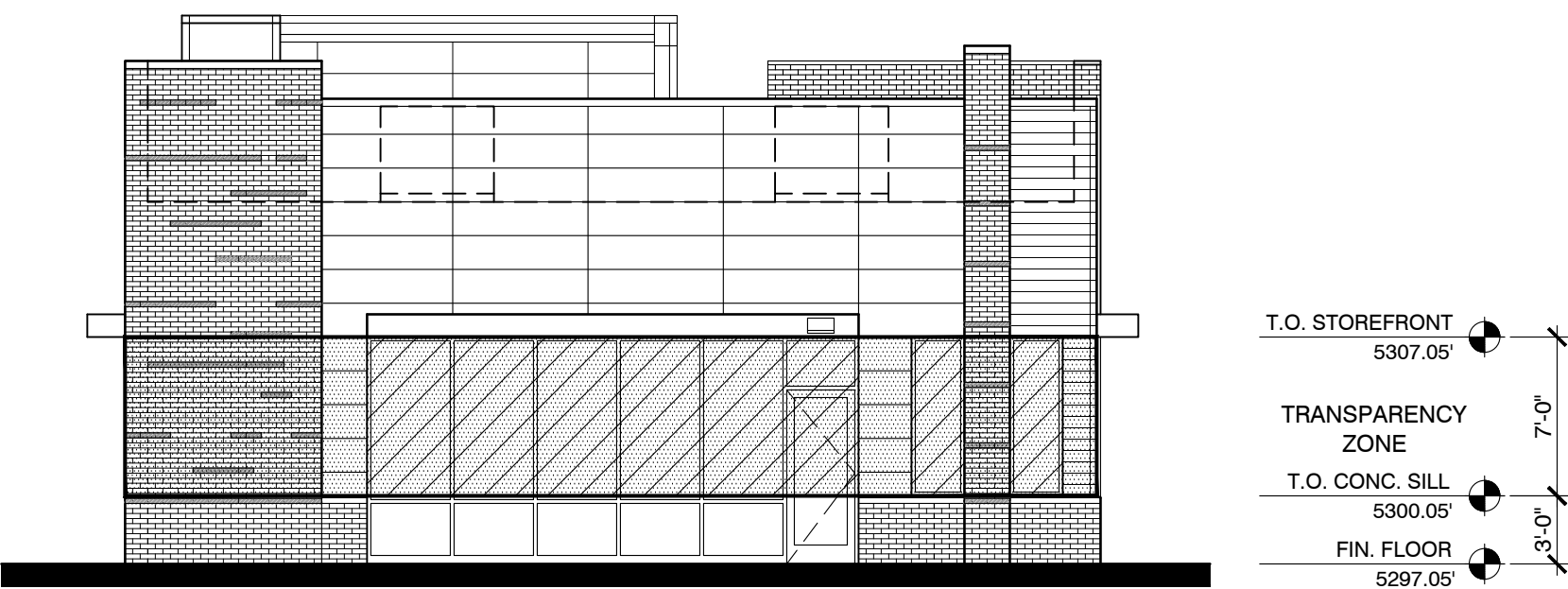
- TRANSPARENCY DIAGRAM
1. TRANSPARENCY ZONE AREA: 482 SF
  2. GLAZING AREA IN TRANSPARENCY ZONE: 28 + 28 + 14 + 14 = 98 SF
  3. GLAZING PERCENTAGE: 98 SF/482 SF = 20%

5 WEST ELEVATION  
SCALE: 1/8" = 1' - 0"



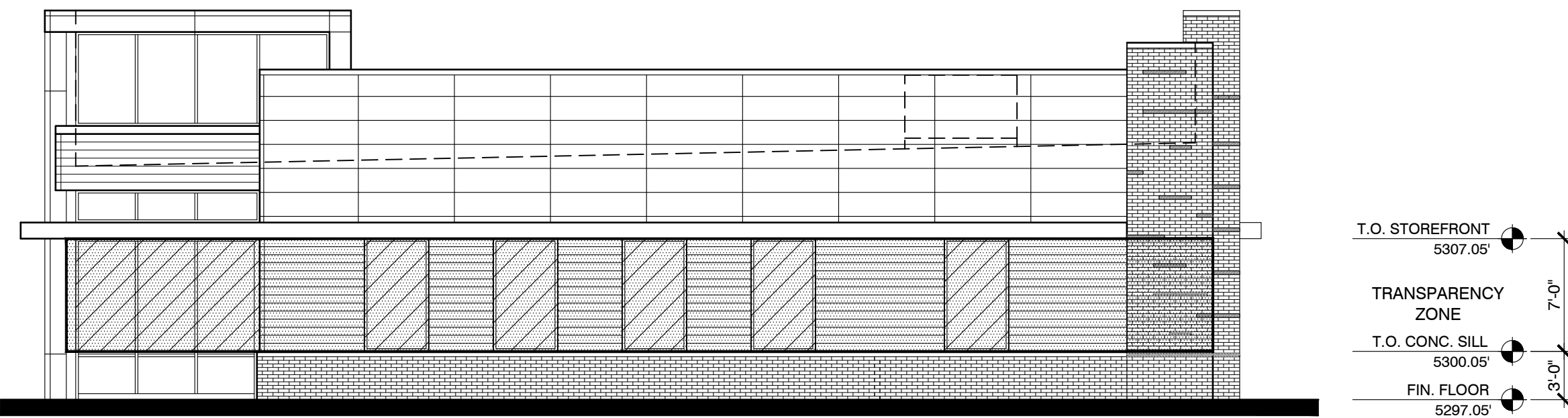
- TRANSPARENCY DIAGRAM
1. TRANSPARENCY ZONE AREA: 300 SF
  2. GLAZING AREA IN TRANSPARENCY ZONE: 105 + 28 = 133 SF
  3. GLAZING PERCENTAGE: 133 SF/300 SF = 44%

2 SOUTH ELEVATION  
SCALE: 1/8" = 1' - 0"



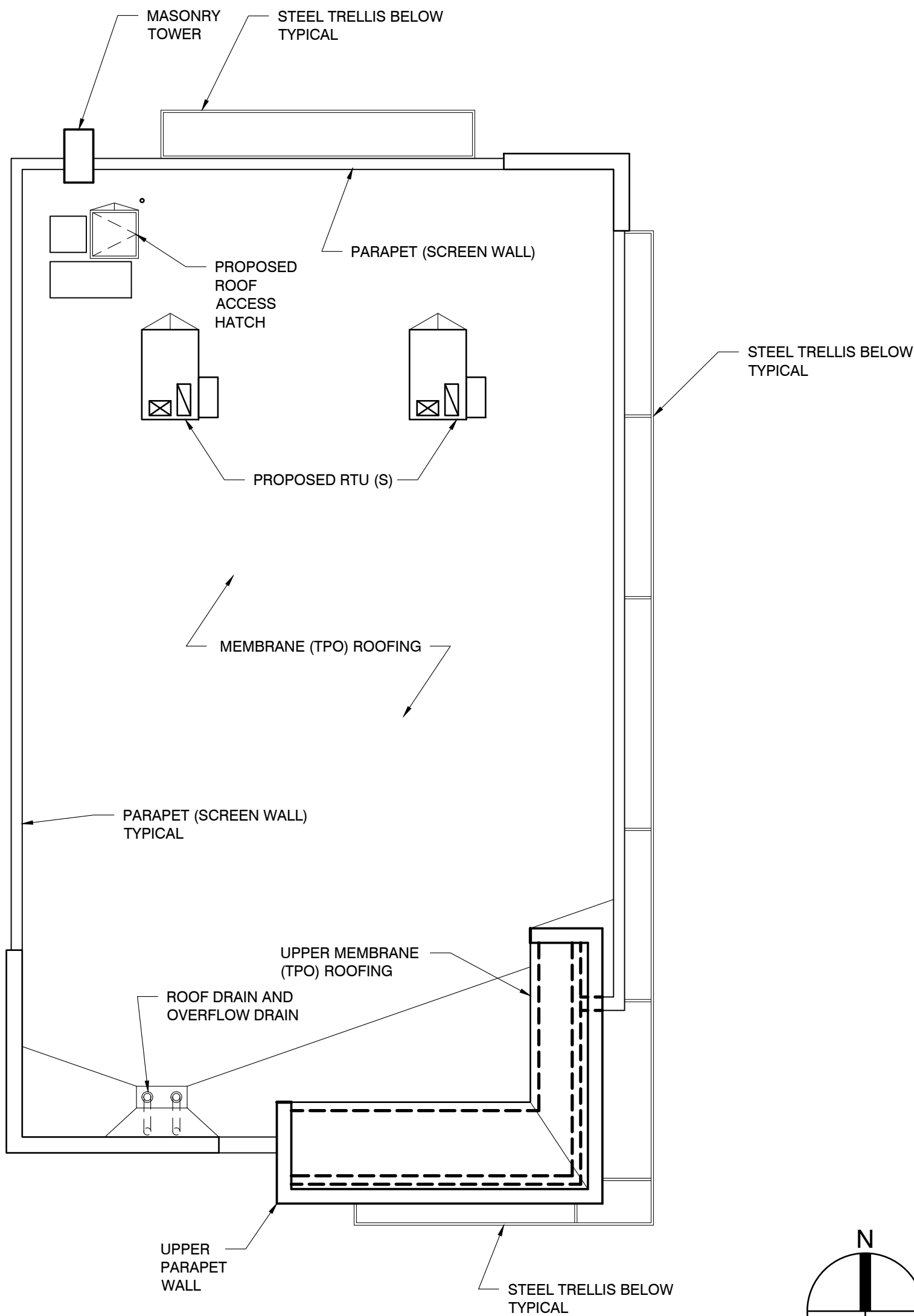
- TRANSPARENCY DIAGRAM
1. TRANSPARENCY ZONE AREA: 300 SF
  2. GLAZING AREA IN TRANSPARENCY ZONE: 180 SF
  3. GLAZING PERCENTAGE: 180 SF/300 SF = 60%

4 NORTH ELEVATION  
SCALE: 1/8" = 1' - 0"

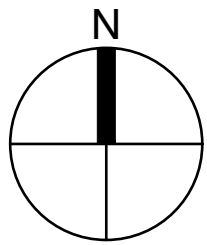


- TRANSPARENCY DIAGRAM
1. TRANSPARENCY ZONE AREA: 498 SF
  2. GLAZING AREA IN TRANSPARENCY ZONE: 28 + 28 + 28 + 28 + 28 + 78 = 218 SF
  3. GLAZING PERCENTAGE: 218 SF/498 SF = 44%

3 EAST ELEVATION  
SCALE: 1/8" = 1' - 0"



1 ROOF PLAN  
SCALE: 1/8" = 1' - 0"



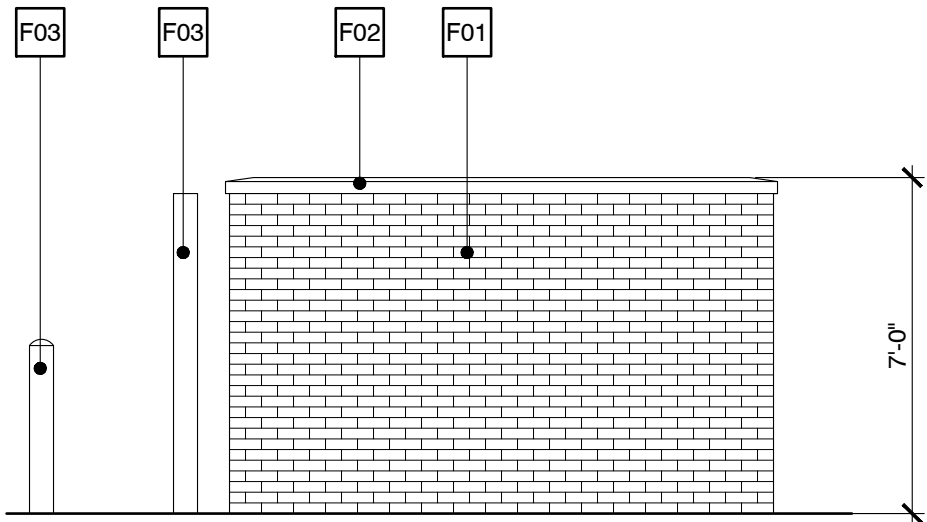
SHEET TITLE  
**BANK  
ROOF PLAN &  
TRANSPARENCY**



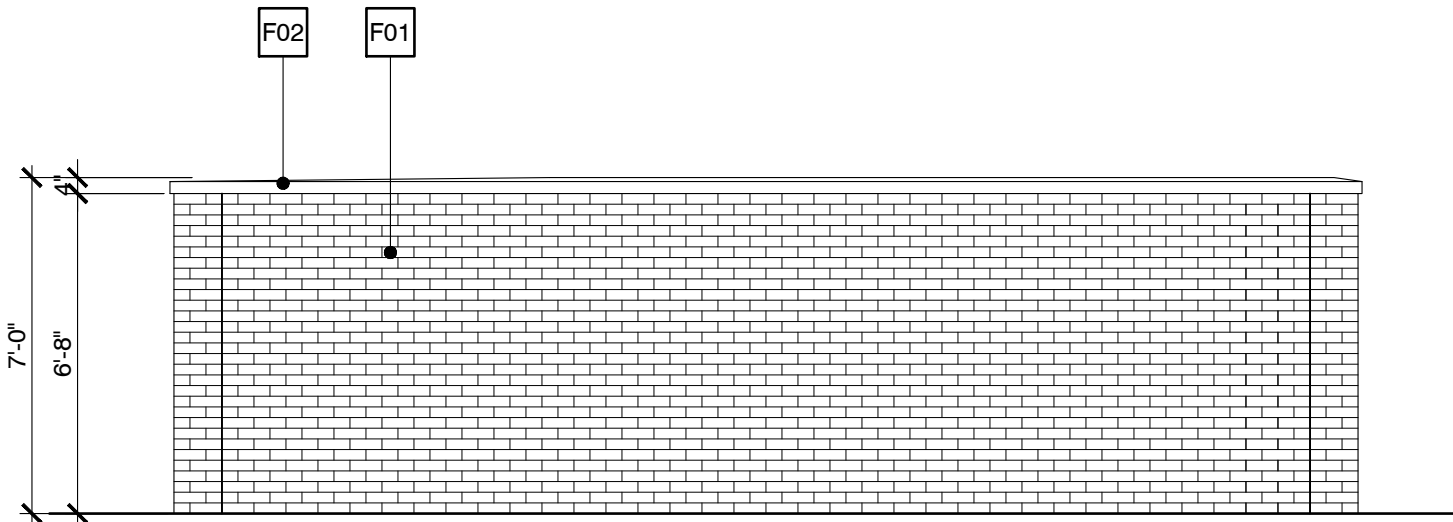
# LOT 2, THE MEADOWS ON THE PARKWAY

## SITE REVIEW

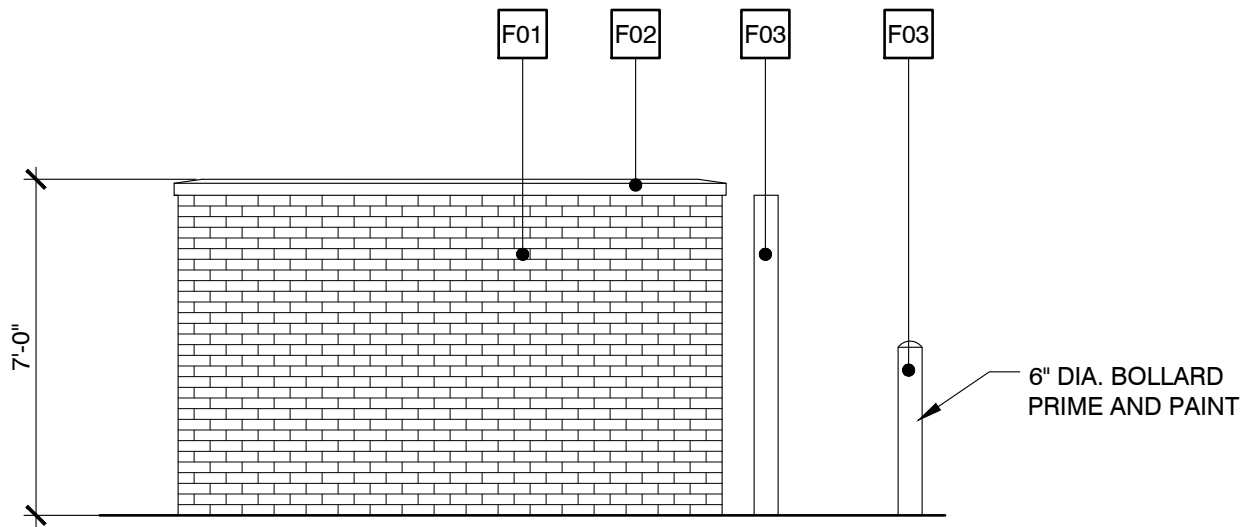
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CITY AND COUNTY OF BOULDER, STATE OF COLORADO



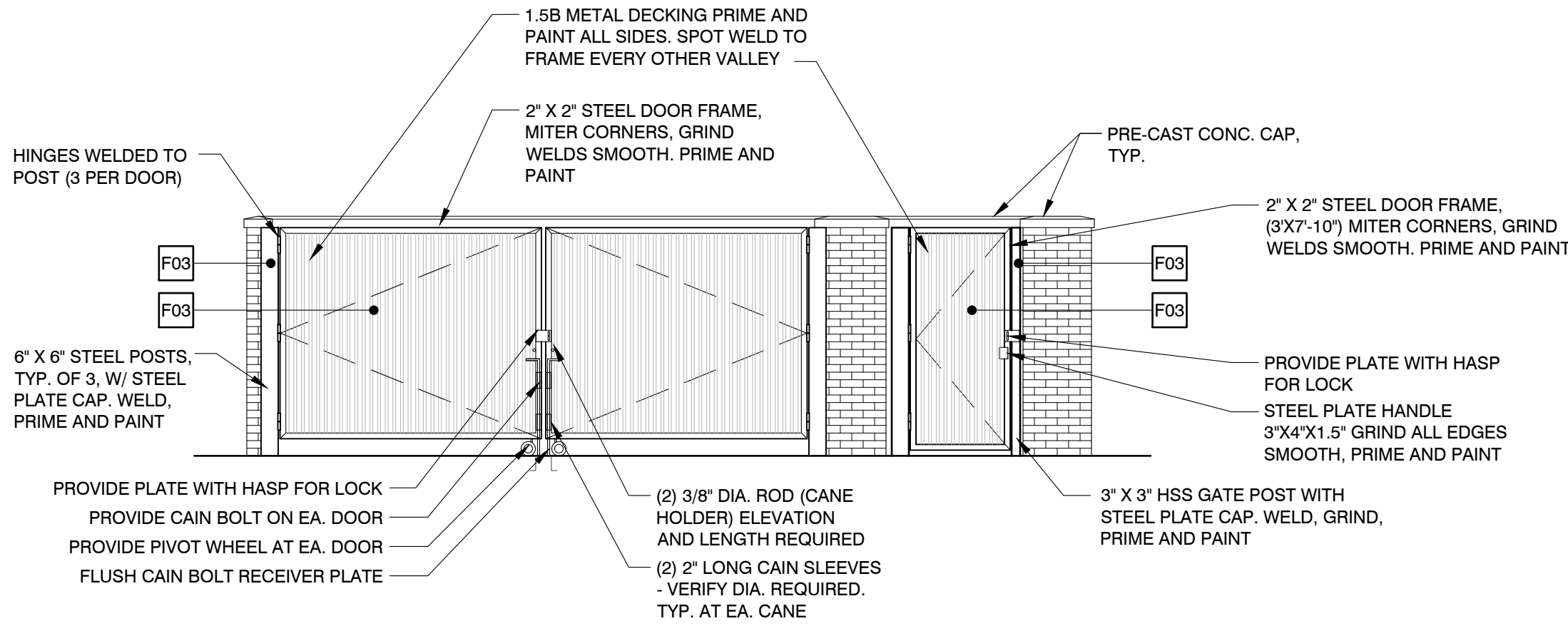
5 SOUTH ELEVATION  
SCALE: 1/4" = 1' - 0"



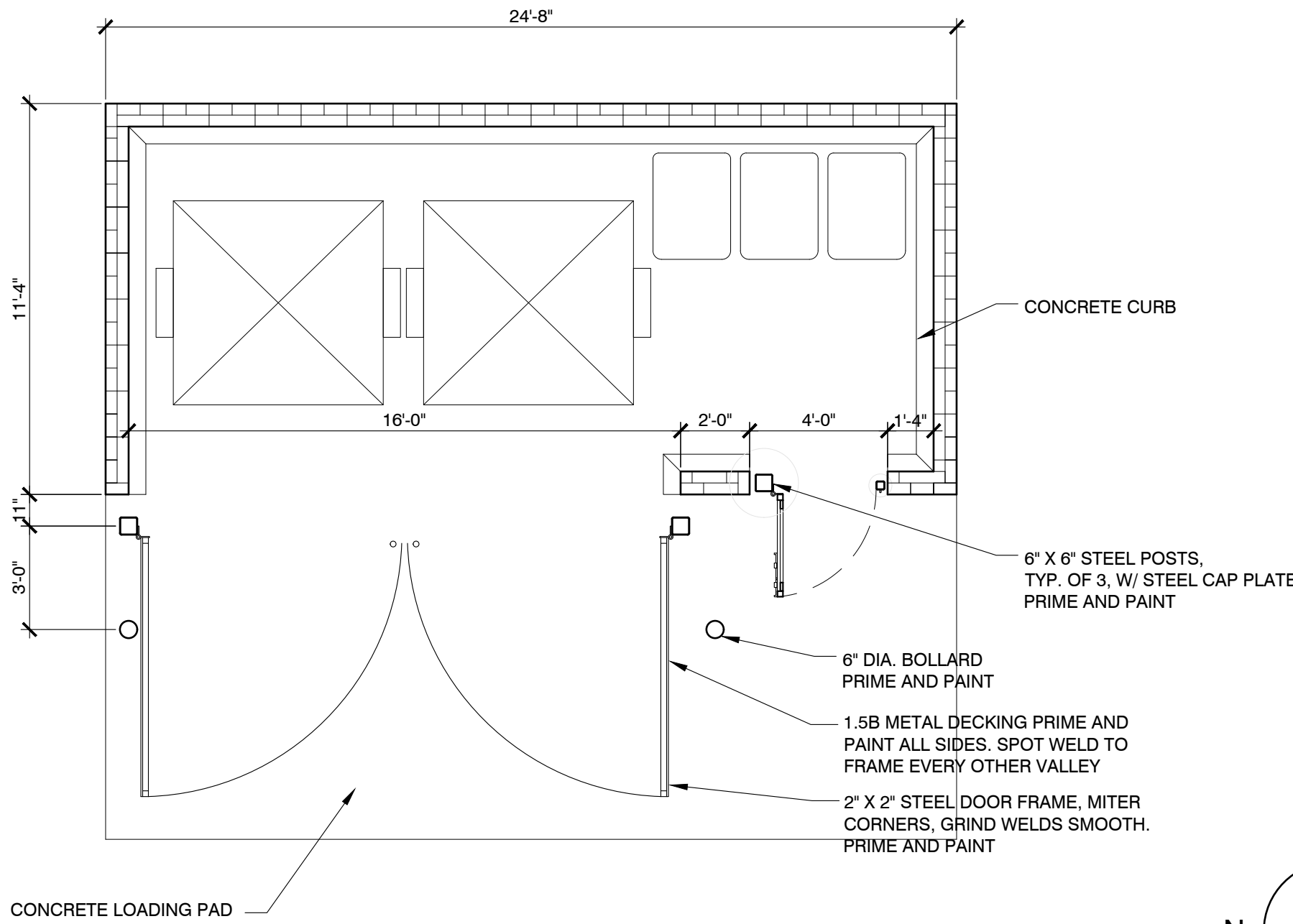
3 EAST ELEVATION  
SCALE: 1/4" = 1' - 0"



4 NORTH ELEVATION  
SCALE: 1/4" = 1' - 0"



2 WEST ELEVATION  
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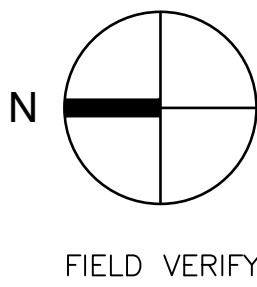


1 TRASH ENCLOSURE PLAN  
SCALE: 1/4" = 1' - 0"

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F03	PAINT - STEEL	SW 7076 "CYBERSPACE"

**FOUNDATION GRADE NOTE:**  
RE: CIVIL DRAWING FOR GRADING. WHERE IT OCCURS, EXPOSED FOUNDATION TO BE PAINTED TO MATCH COLOR ABOVE



SHEET TITLE
TRASH ENCLOSURE PLAN AND ELEVATIONS



# LOT 2, THE MEADOWS ON THE PARKWAY SITE REVIEW

LOT 2, THE MEADOWS ON THE PARKWAY,  
NE 1/4 OF THE NW 1/4 OF SECTION 4, TOWNSHIP 1 SOUTH, RANGE 70 WEST,  
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F14	METAL PANEL	LAMINATOR, INC. OMEGA-LITE, TIGHT FIT MOLDING COLOR: BRIGHT SILVER
F15	SPANDREL GLAZING	CLEAR ANODIZED ALUMINUM STOREFRONT WITH SPANDREL GLAZING. COLOR: WHITE

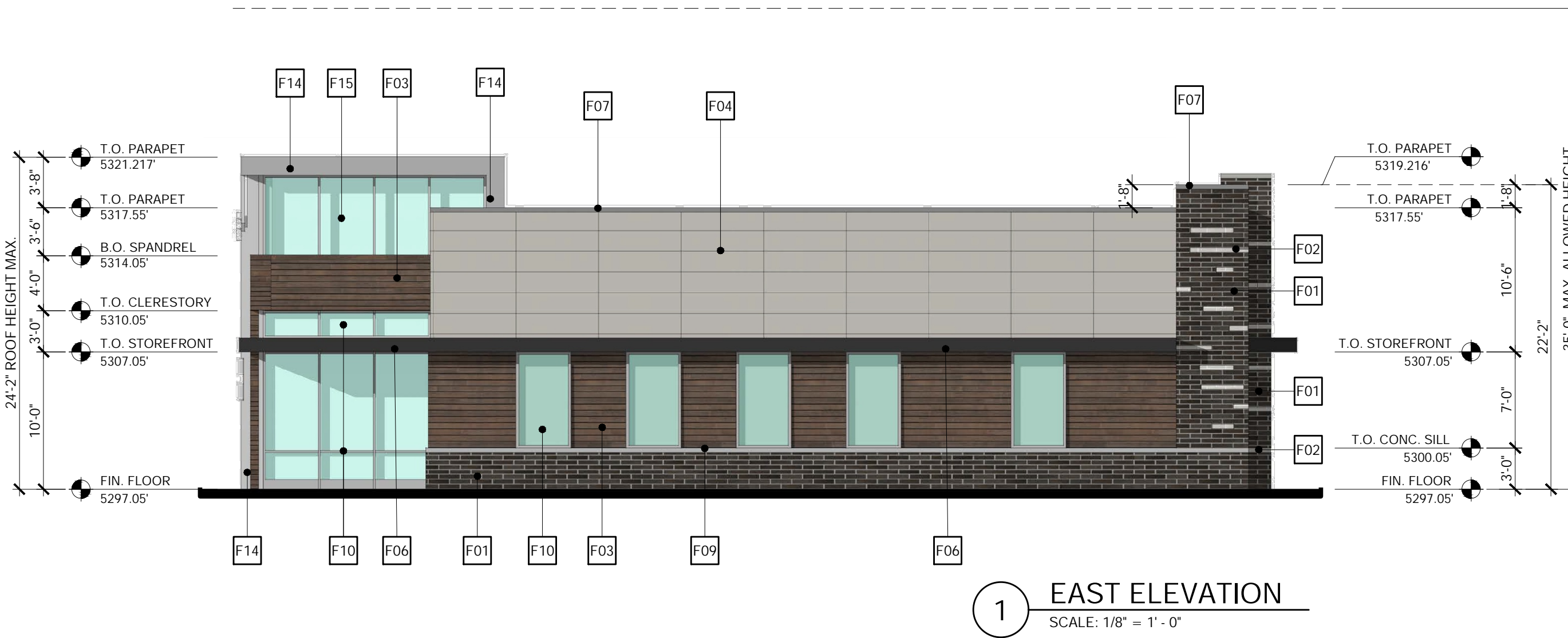
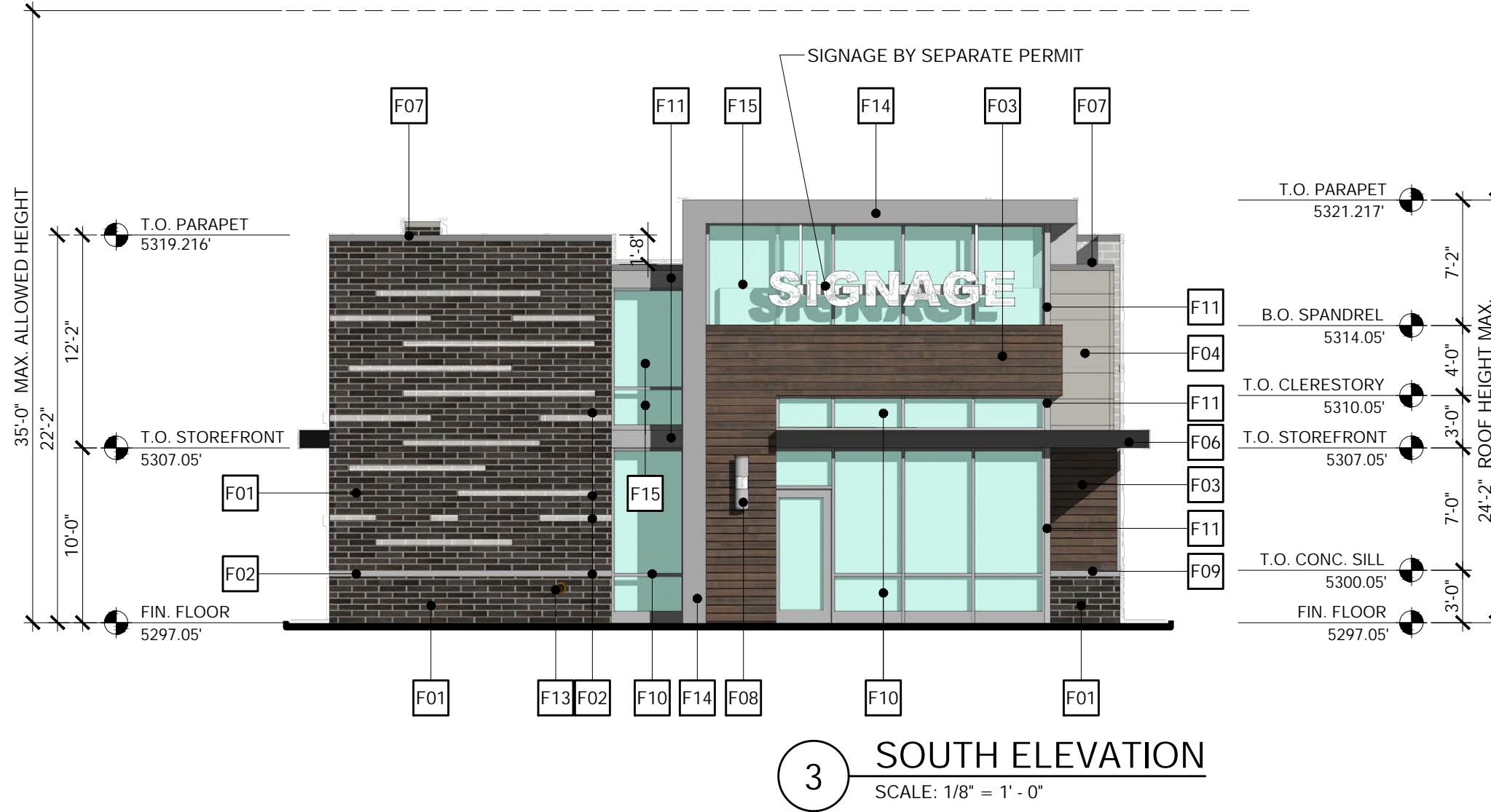
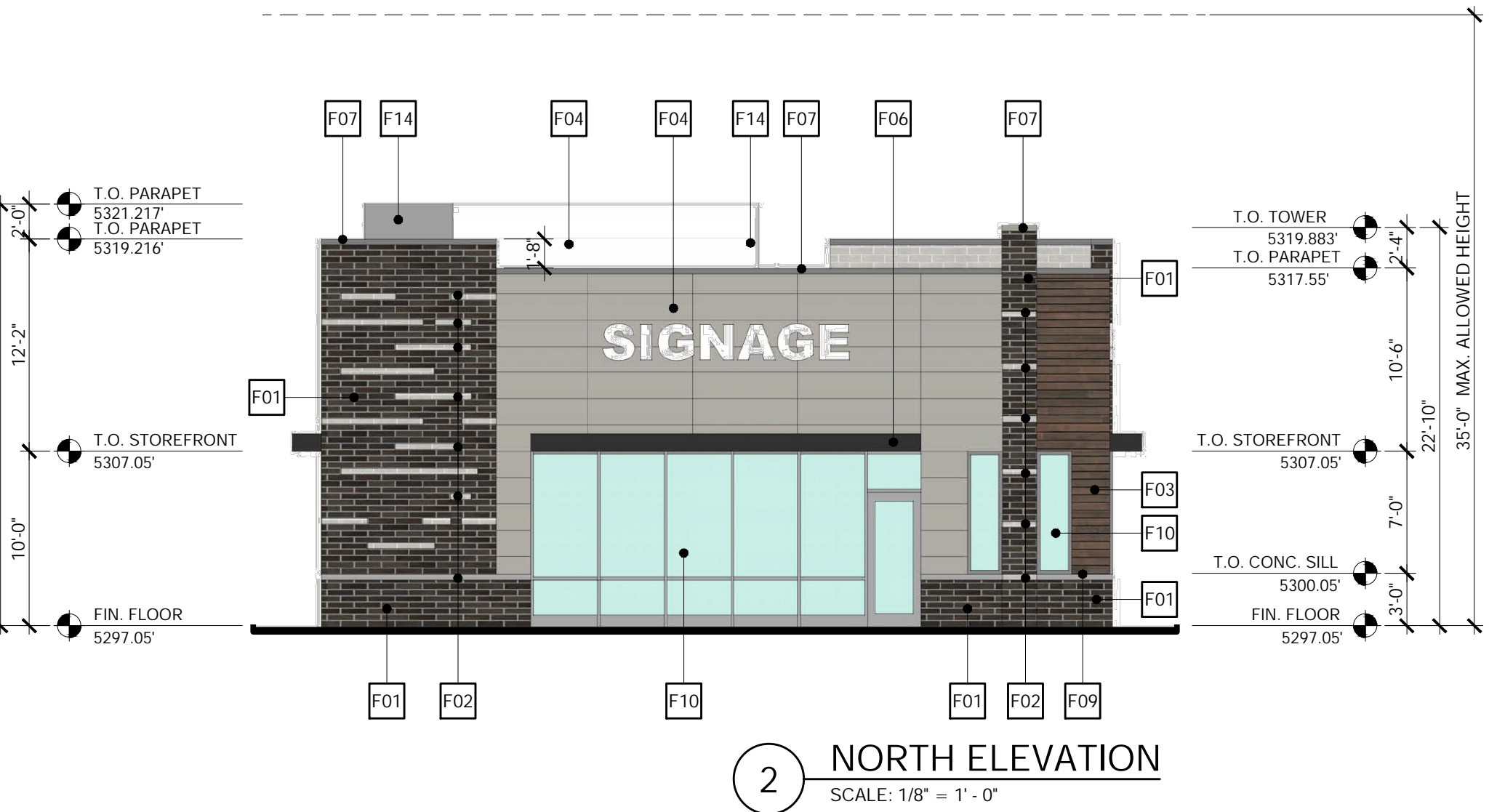
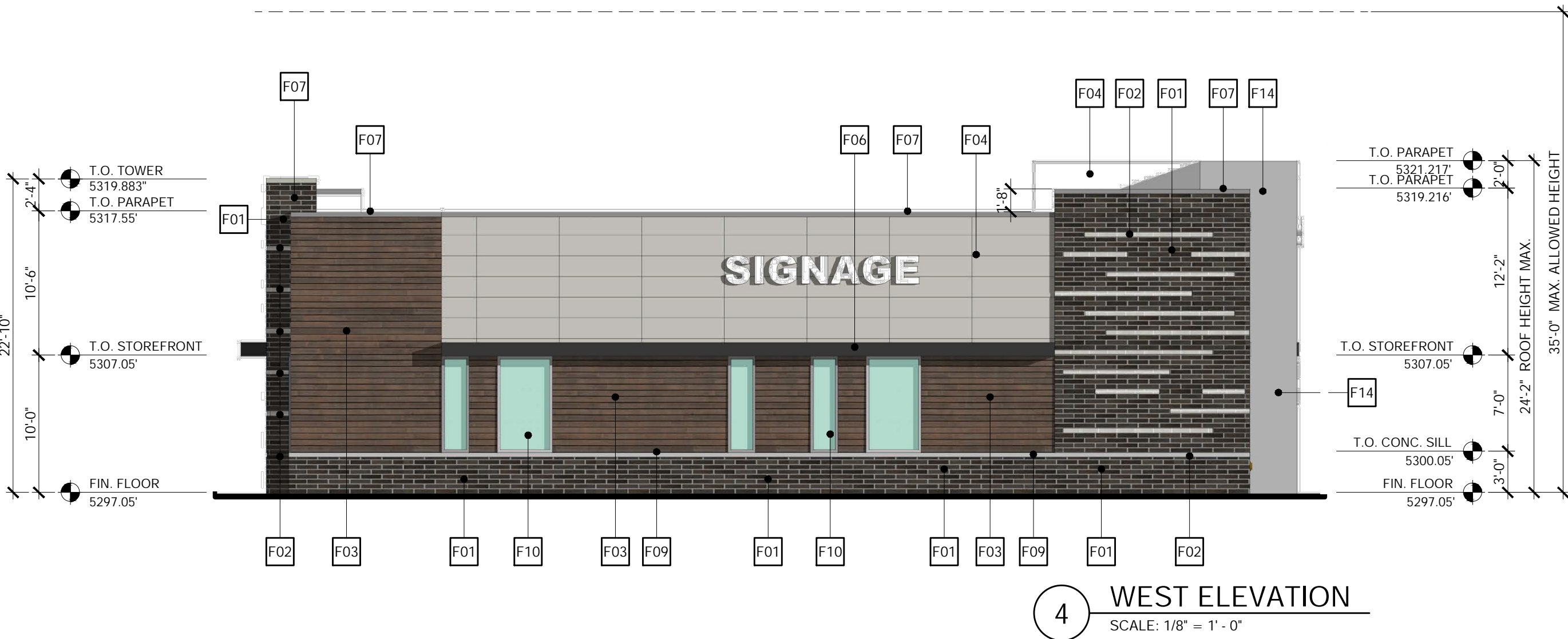
### FOUNDATION GRADE NOTE:

RE: CIVIL DRAWING FOR GRADING. WHERE IT OCCURS, EXPOSED FOUNDATION TO BE PAINTED TO MATCH COLOR ABOVE



SHEET TITLE  
**BANK  
RENDERED  
ELEVATIONS**

541 E. Garden Drive,  
Unit N  
Windsor, CO 80550  
T (970) 663-4552  
W ridgelineeng.com

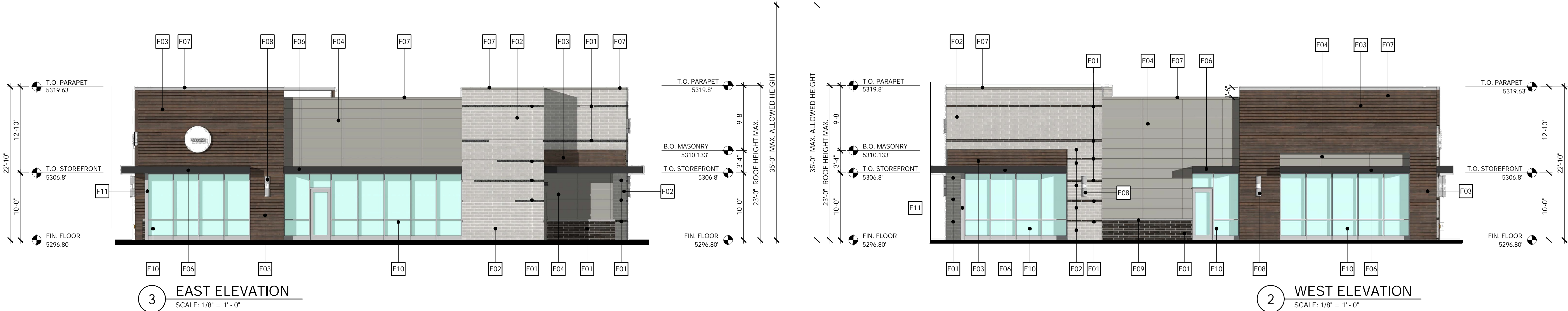




# LOT 2, THE MEADOWS ON THE PARKWAY

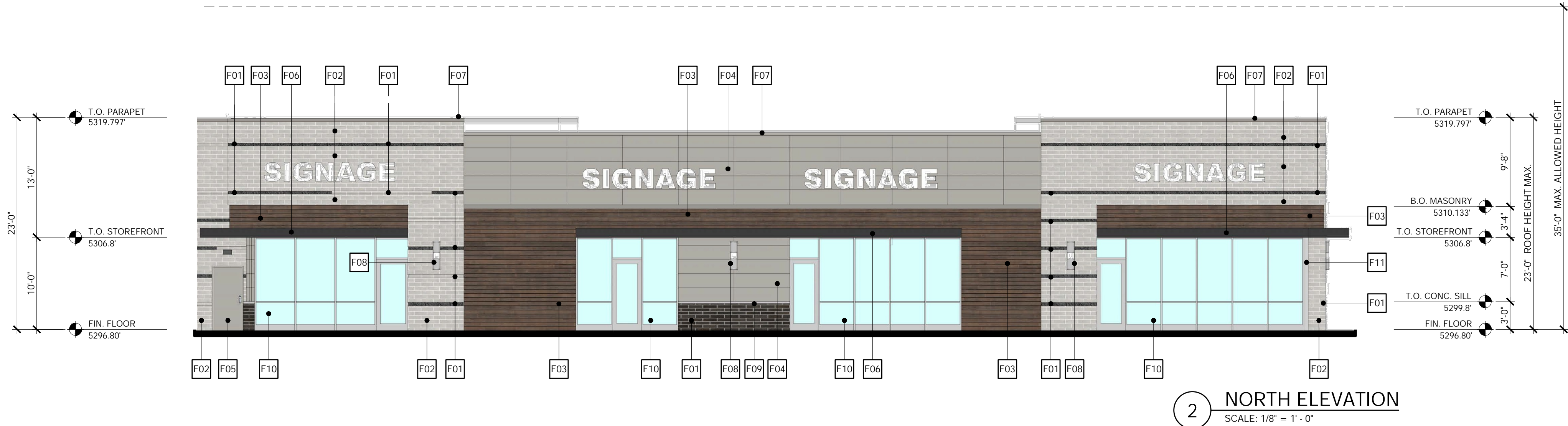
## SITE REVIEW

LOT 2, THE MEADOWS ON THE PARKWAY,  
NE 1/4 OF THE NW 1/4 OF SECTION 4, TOWNSHIP 1 SOUTH, RANGE 70 WEST,  
CITY AND COUNTY OF BOULDER, STATE OF COLORADO

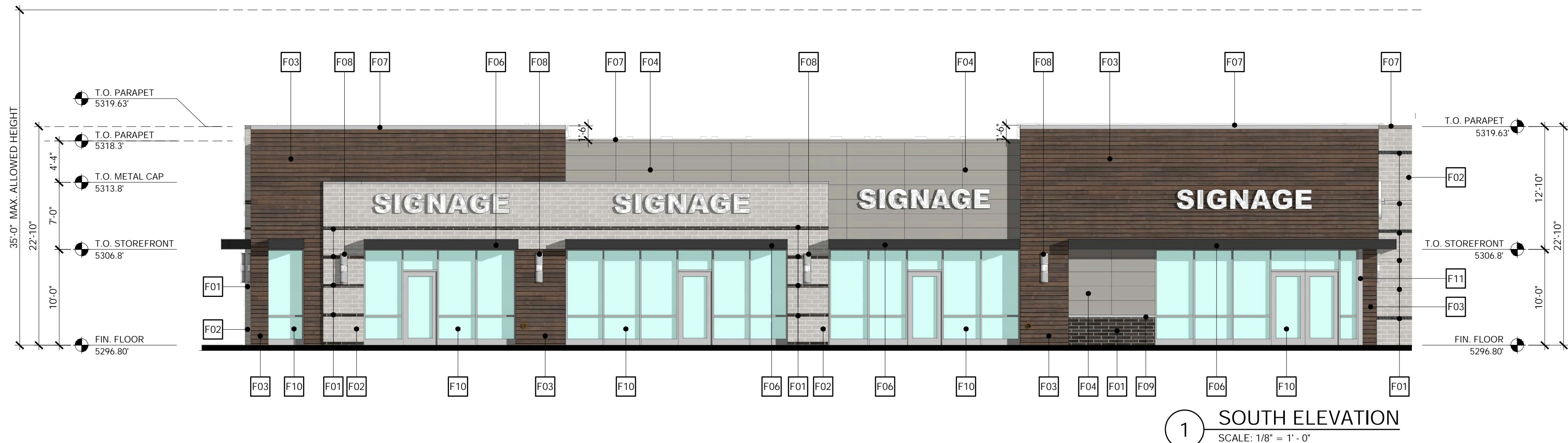


3 EAST ELEVATION  
SCALE: 1/8" = 1' - 0"

2 WEST ELEVATION  
SCALE: 1/8" = 1' - 0"



2 NORTH ELEVATION  
SCALE: 1/8" = 1' - 0"



1 SOUTH ELEVATION  
SCALE: 1/8" = 1' - 0"

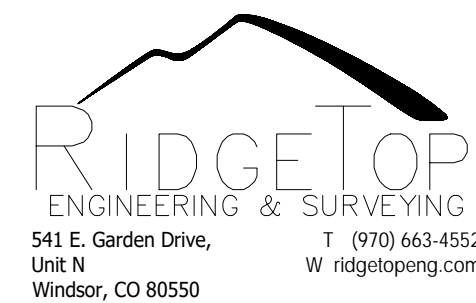
THE BUILDING ELEVATIONS SHOWN AND APPROVED HEREON ARE INTENDED TO DEMONSTRATE HOW ALL HVAC AND OTHER MECHANICAL EQUIPMENT SHALL BE SCREENED ACCORDING TO TOWN OF ERIE, UNIFIED DEVELOPMENT CODE REQUIREMENTS. IT IS THE APPLICATIONS RESPONSIBILITY TO ENSURE THAT THIS APPROVED SCREENING OCCURS IN THE FIELD AS DEMONSTRATED BY THESE PLANS, REGARDLESS OF CURB REQUIREMENTS, MECHANICAL PLAN CHANGES, OR OTHER CIRCUMSTANCES. FAILURE TO PROVIDE APPROVED SCREENING MAY RESULT IN DELAY OF FINAL INSPECTIONS AND/OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

### MATERIAL KEY NOTES:

	DESCRIPTION	MANUF./COLOR
F01	BRICK	SUMMIT BRICK CO, MODULAR SIZE FACE BRICK, "ONYX" (BLACK)
F02	BRICK	SUMMIT BRICK CO, MODULAR SIZE FACE BRICK, "ALASKAN" (WHITE)
F03	FIBER CEMENT SIDING	NICHIHA FIBER CEMENT, HORIZONTAL SIDING WOOD PANEL, VINTAGEWOOD, "CEDAR"
F04	FIBER CEMENT PANEL	NICHIHA FIBER CEMENT, PANEL, ARCHITECTURAL BLOCK, COLOR: GRAY
F05	PAINT FOR H.M. DOOR	COLOR TO MATCH F04: GRAY
F06	PAINT FOR EYEBROW CANOPY	SW 7076 "CYBERSPACE"
F07	PARAPET METAL COPING OR WALL FLASHING	BERRIDGE MANUFACTURING, "CITYSCAPE"
F08	DECORATIVE LIGHT FIXTURE	VISA LIGHTING, AVATAR PERFORATED ACCENT, OW 1335, 36" LENGTH
F09	PRECAST CONCRETE CAP	NATURAL GRAY FINISH
F10	ALUMINUM STOREFRONT	CLEAR ANODIZED ALUMINUM STOREFRONT WITH 1" INSULATED CLEAR GLAZING
F11	ALUMINUM BREAK METAL	CLEAR ANODIZED ALUMINUM
F12	ELEC. GEAR AND PANEL(S)	PAINT: COLOR TO MATCH ADJACENT FINISH COLOR. FIELD VERIFY.
F13	LAMBS TONGUE DRAIN (DOWNSPOUT NOZZLE)	BRASS

### FOUNDATION GRADE NOTE:

RE: CIVIL DRAWING FOR GRADING. WHERE IT OCCURS, EXPOSED FOUNDATION TO BE PAINTED TO MATCH COLOR ABOVE



SHEET TITLE  
**RETAIL BUILDING ELEVATIONS**



# LOT 2, THE MEADOWS ON THE PARKWAY

## SITE REVIEW

LOT 2, THE MEADOWS ON THE PARKWAY,  
NE 1/4 OF THE NW ¼ OF SECTION 4, TOWNSHIP 1 SOUTH, RANGE 70 WEST,  
CITY AND COUNTY OF BOULDER, STATE OF COLORADO

### PRIMARY MATERIALS



F02 - MODULAR BRICK  
SUMMIT "ALASKAN"  
GRAIN TEXTURE



F01 - MODULAR BRICK  
SUMMIT "ONYX"  
GRAIN TEXTURE



F03 - NICHHA  
VINTAGEWOOD SERIES  
"CEDAR"



F14 - METAL PANEL  
LAMINATOR INC.  
OMEGA-LITE  
"BRIGHT SILVER"



F04, F05 - NICHHA  
ARCHITECTURAL BLOCK  
"GRAY"

### ACCENT MATERIALS



F07 - METAL CAP  
BERRIDGE "CITYSCAPE"



F06 - PAINT/EYEBROW CANOPY  
SW 7076 "CYBERSPACE"



F09 - PRECAST CONCRETE CAP  
"NATURAL GRAY"



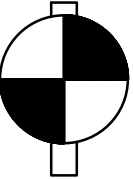
F11 - CLEAR ANODIZED ALUMINUM



ZONING

ZONING: BUSINESS COMMUNITY 1 (BC-1)

BENCHMARK DATA



VERTICAL DATUM

PROJECT BENCHMARK IS THE CITY OF BOULDER CONTROL BENCH MARK V3-5. BENCHMARK V3-5 DESCRIPTION: NORTHWEST CORNER OF MOHAWK AND BASELINE, "CUT BOX TOP CURB 0.5' EAST OF SE CORNER OF CATCH BASIN SLAB". PUBLISHED ELEVATION: 5295.95 (CITY OF BOULDER DATUM)

BASIS OF BEARING

PROJECT IS AT A MODIFIED NAD 83 STATE PLANE NORTH COORDINATE SYSTEM, A STATIC GPS OBSERVATION AND AN NGS OPUS SOLUTION WAS UTILIZED FOR THE HORIZONTAL LOCATION AND GRID TO GROUND SCALE FACTOR OF 1.000284441 AT CP 99.

LEGAL DESCRIPTION

LOT 2, MEADOWS ON THE PARKWAY, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 19, 1988 AT RECEPTION NO. 948401, COUNTY OF BOULDER, STATE OF COLORADO

CITY OF BOULDER STANDARD NOTES

- "ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE DESIGN AND CONSTRUCTION STANDARDS OF THE CITY OF BOULDER, AND SHALL BE COMPLETED TO THE SATISFACTION OF THE DIRECTOR OF PUBLIC WORKS. IN THE EVENT THAT A DESIGN ELEMENT DOES NOT REFLECT CITY STANDARDS, THE MATTER MUST BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER AND THE DIRECTOR OF PUBLIC WORKS.THE ENGINEER SHALL BE RESPONSIBLE FOR RECOMMENDING A SOLUTION OR ALTERNATIVE SOLUTIONS TO THE CITY FOR REVIEW AND APPROVAL."
- "THE APPROVAL OF A CONSTRUCTION PLAN DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF CONSTRUCTING WORKABLE PUBLIC IMPROVEMENTS. ALL REVISIONS AND/OR CORRECTIONS REQUIRED WILL BE SOLELY THE CONTRACTOR'S RESPONSIBILITY, AND AT THEIR EXPENSE."
- "THESE PLANS HAVE BEEN CHECKED BY THE CITY OF BOULDER ONLY FOR CONFORMANCE WITH THE DESIGN AND CONSTRUCTION STANDARDS, COMPLIANCE WITH DEVELOPMENT AGREEMENT CONDITIONS, AND FOR GENERAL CONCEPTUAL APPROVAL OF PUBLIC IMPROVEMENTS AS SHOWN. THE CITY'S REVIEW DOES NOT VERIFY OR ENSURE THE ACCURACY OF EXISTING OR PROPOSED DIMENSIONS, LINES, COORDINATES, OR GRADES SHOWN, INCLUDING ALL EXISTING UTILITIES SHOWN OR NOT SHOWN."
- "UTILITY LOCATIONS SHOWN REFLECT AVAILABLE RECORD DATA. THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT ALL UTILITY LINES SHOWN AND OTHER UTILITY LINES OTHERWISE LOCATED. THE CONTRACTOR SHALL CONTACT THE "UTILITY NOTIFICATION CENTER OF COLORADO" AT 1-800-922-1987 OR 811 FOR UTILITY LOCATES 24 HOURS PRIOR TO BEGINNING CONSTRUCTION."
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- "THE CONTRACTOR SHALL OBTAIN AND MAINTAIN A COMPLETE AND APPROVED SET OF CONSTRUCTION PLANS, THESE DRAWINGS, AND ANY REQUIRED PERMITS, SHALL BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES AND SHALL BE MADE AVAILABLE TO CITY STAFF UPON REQUEST. IF CONSTRUCTION PLANS ARE NOT READILY AVAILABLE AT THE PROJECT SITE, THE DIRECTOR OF PUBLIC WORKS MAY ISSUE A STOP WORK ORDER AND HALT ALL CONSTRUCTION ACTIVITIES PENDING COMPLIANCE BY THE CONTRACTOR."
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- "THE CONTRACTOR SHALL PROVIDE TREE AND LANDSCAPE PROTECTION AS SET FORTH IN CHAPTER 6-6, "PROTECTION OF TREES AND PLANTS," BOULDER REVISED CODE (B.R.C.) 1981 AND THE CITY OF BOULDER DESIGN AND CONSTRUCTION STANDARDS (DCS). ALL LANDSCAPING SHALL BE PROVIDED AND MAINTAINED IN COMPLIANCE WITH THE APPROVED LANDSCAPING PLAN, B.R.C. AND DCS."
- "THE CONTRACTOR IS REQUIRED TO PROVIDE AND MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE URBAN DRAINAGE AND FLOOD CONTROL DISTRICT URBAN STORM DRAINAGE CRITERIA MANUAL VOLUME 3, THE M-STANDARD PLANS OF THE COLORADO DEPARTMENT OF TRANSPORTATION, AND THE APPROVED STORMWATER MANAGEMENT PLAN. THE DIRECTOR OF PUBLIC WORKS MAY REQUIRE THE CONTRACTOR TO PROVIDE ADDITIONAL EROSION CONTROL MEASURES DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE PLANS DO NOT FUNCTION AS INTENDED."
- "THE CITY OF BOULDER REQUIRES THAT SIDEWALKS CONSTRUCTED HAVE A CROSS SLOPE OF LESS THAN 2%. SIDEWALKS SHALL BE DESIGNED AND CONSTRUCTED WITH CROSS SLOPES SUFFICIENTLY LESS THAN 2% TO ENSURE THAT THEY DO NOT EXCEED THE 2% MAXIMUM."

LOT 2, THE MEADOWS ON THE PARKWAY  
SITE PLAN REVIEW

LOT 2, THE MEADOWS ON THE PARKWAY,  
NE 1/4 OF THE NW 1/4 OF SECTION 4, TOWNSHIP 1 SOUTH, RANGE 70 WEST,  
CITY AND COUNTY OF BOULDER, STATE OF COLORADO



VICINITY MAP

SCALE: 1:500

ACKNOWLEDGEMENT OF OWNERSHIP INTEREST

MEADOWS ON THE PARKWAY STATION LLC  
A DELAWARE LIMITED LIABILITY COMPANY

BY: PHILLIPS EDISON GROCERY CENTER OPERATING PARTNERSHIP II L.P.  
A DELAWARE LIMITED PARTNERSHIP, ITS SOLE MEMBER

BY: PHILLIPS EDISON GROCERY CENTER OP GP II LLC,  
A DELAWARE LIMITED LIABILITY COMPANY, ITS GENERAL PARTNER

BY: \_\_\_\_\_

NAME: \_\_\_\_\_

TITLE: \_\_\_\_\_

COUNTY OF BOULDER }  
STATE OF COLORADO }SS:

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON \_\_\_\_\_, 202X, BY [NAME], [TITLE] OF PHILLIPS EDISON GROCERY CENTER OP GP II LLC, A DELAWARE LIMITED LIABILITY COMPANY THE GENERAL PARTNER OF PHILLIPS EDISON GROCERY CENTER OPERATING PARTNERSHIP II L.P., A DELAWARE LIMITED PARTNERSHIP THE SOLE MEMBER OF MEADOWS ON THE PARKWAY STATION LLC, A DELAWARE LIMITED LIABILITY COMPANY ON BEHALF OF THE COMPANIES.

IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY NOTARIAL SEAL ON THE DATE AND YEAR ABOVE-MENTIONED.

NOTARY PUBLIC

DRAWING INDEX		
SHEET	TITLE	#
CV-1.0	COVER SHEET	1
DM-1.0	DEMO PLAN	2
C-1.0	SITE PLAN	3
C-2.0	GRADING PLAN	4
C-3.0	UTILITY PLAN	5
EP100	PHOTOMETRICS PLAN	6
EP101	PHOTOMETRICS DETAILS	7
L1.0	LANDSCAPE PLAN	8
L2.0	LANDSCAPE DETAILS	9

PROJECT CONTACTS:

CIVIL ENGINEER  
RIDGETOP ENGINEERING  
541 E. GARDEN DRIVE, UNIT N  
WINDSOR, CO  
(970) 663-4552  
CONTACT: MIKE BEACH, P.E.

LANDSCAPE ARCHITECT  
PHEONYX LANDSCAPE ARCHITECTURE, LLC  
552 CARNELIAN CT  
LOVELAND, CO 80537  
(970) 420-9555  
CONTACT: JASON OLDHAM, RLA, CLARB

APPLICANT/DEVELOPER:  
PHILLIPS EDISON & COMPANY  
3247 SANTA FE ROAD  
PARK CITY, UT 84098  
(801) 415-4364  
CONTACT: NEIL MADEWELL

SURVEYOR  
RIDGETOP ENGINEERING  
541 E. GARDEN DRIVE, UNIT N  
WINDSOR, CO 80550  
(970) 663-4552  
CONTACT: MICHAEL LANG

LOGO



SEAL

PROJECT TITLE

MEADOWS ON  
THE PARKWAY

SW CORNER OF  
BASELINE RD AND  
THE MEADOWS ST

PREPARED FOR

PHILLIPS EDISON &  
COMPANY

3247 SANTA FE ROAD  
PARK CITY, UT 84098

SUBMITTAL

SITE PLAN REVIEW

DRAWN BY: AUS

CHECKED BY: MRB

PROJECT NO.: 24-138-004

REVISIONS

RESUBMITTAL 05/05/25  
RESUBMITTAL 06/23/25

DATE

02/12/2025

SHEET TITLE

COVER SHEET

SHEET INFORMATION

CV-1.0

1 of 9

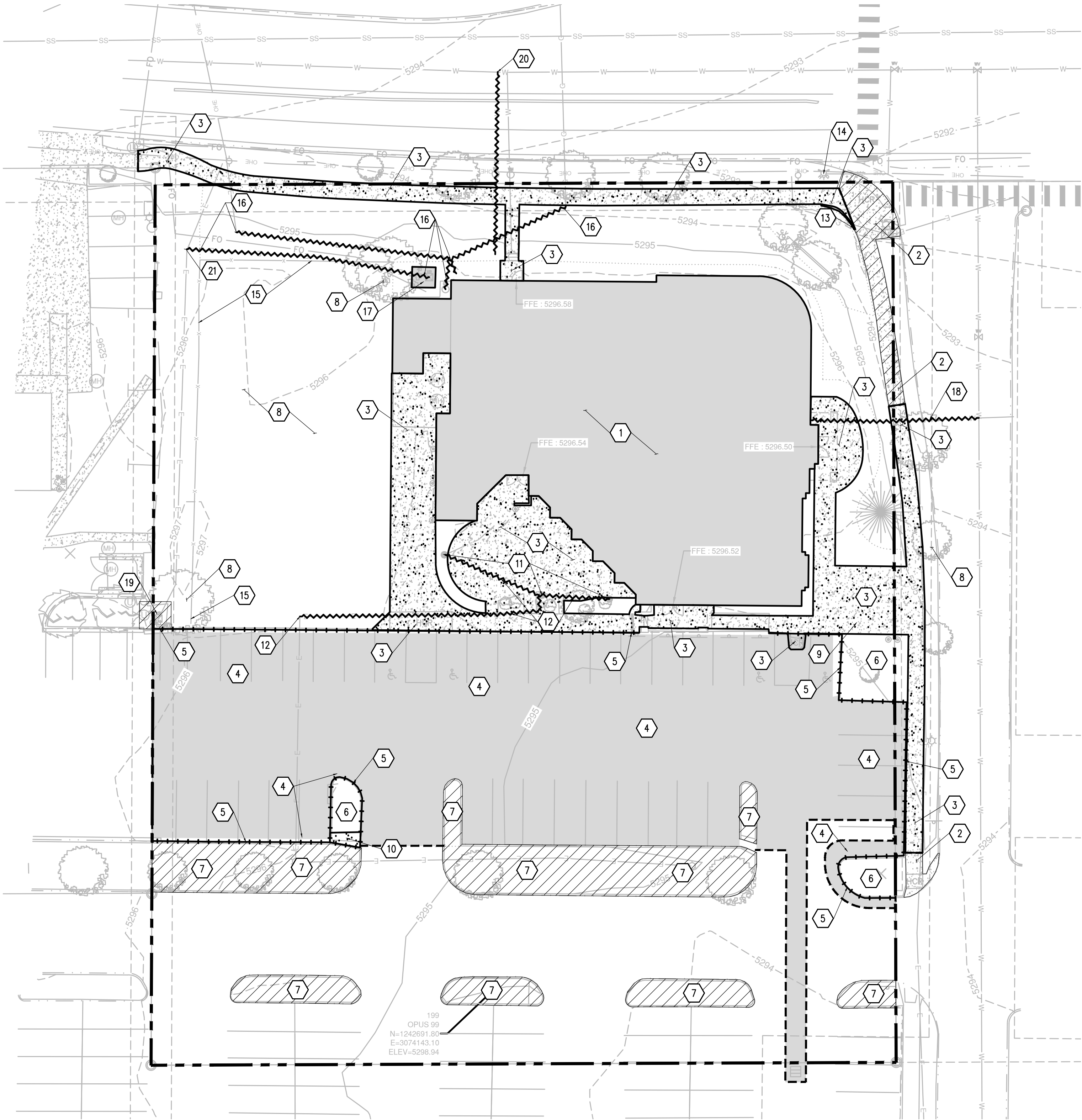


Know what's below.  
Call before you dig.



# LOT 2, THE MEADOWS ON THE PARKWAY SITE PLAN REVIEW

LOT 2, THE MEADOWS ON THE PARKWAY,  
NE 1/4 OF THE NW 1/4 OF SECTION 4, TOWNSHIP 1 SOUTH, RANGE 70 WEST,  
CITY AND COUNTY OF BOULDER, STATE OF COLORADO



## LEGEND

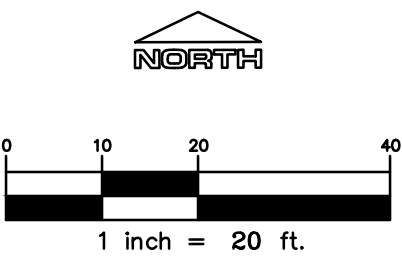
- REMOVE/REPLACE EX. PAVEMENT HARDSCAPE
- PROTECT EXISTING
- REMOVE/REPLACE EXISTING CONCRETE/SIDEWALK
- CURB REMOVAL
- SAW CUT
- UTILITIES TO BE DEMOED

## GENERAL DEMOLITION NOTES

- DEMOLITION NOTES ARE FOR CLARIFICATION ONLY AND ARE SHOWN FOR THE CONTRACTOR'S BENEFIT. THESE NOTES ARE NOT INTENDED TO BE COMPREHENSIVE. THE CONTRACTOR SHALL REMOVE OR RELOCATE ALL EXISTING ON-SITE IMPROVEMENTS NECESSARY TO ACCOMMODATE THE PROPOSED CONSTRUCTION.
- THE DESIGN SHOWN IS BASED UPON THE ENGINEER'S UNDERSTANDING OF THE EXISTING CONDITIONS. THE PLAN DOES NOT REPRESENT A DETAILED FIELD SURVEY. THE EXISTING CONDITIONS SHOWN ON THIS PLAN SHEET ARE BASED UPON THE SURVEY PREPARED BY RIDGETOP ENGINEERING AND SURVEYING, DATED 08/08/2024. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FIELD CONDITIONS PRIOR TO BIDDING THE PROPOSED SITEWORK IMPROVEMENTS. IF CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITEWORK WHICH WOULD BE AFFECTED. IF CONTRACTOR DOES NOT ACCEPT EXISTING SURVEY, INCLUDING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- CAUTION - NOTICE TO CONTRACTOR**  
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES AND EXISTING IMPROVEMENTS WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS ON THE PLANS.
- CONTRACTOR IS TO REMOVE ALL EXISTING SURFACE IMPROVEMENTS AND DEBRIS WITHIN THE LIMITS OF WORK UNLESS OTHERWISE NOTED. ALL DEBRIS FOUND ON SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE STATE CODES.
- CONTRACTOR TO PROTECT EXISTING FEATURES WHICH ARE TO REMAIN.
- REMOVE EXISTING PIPES LOCATED OUTSIDE PROPOSED BUILDING PAD LIMITS.
- CONTRACTOR SHALL ADJUST ALL EXISTING MANHOLE RIMS, DRAINAGE STRUCTURES, VALVE BOXES, VAULT LIDS AND UTILITY ACCESS STRUCTURES TO FINISH GRADE WITHIN AREAS AFFECTED BY PROPOSED CONSTRUCTION.
- SOME EXISTING UTILITY SERVICE LINE LOCATIONS ARE UNKNOWN. CONTRACTOR SHALL LOCATE AND REMOVE PER THE CITY OF BOULDER REQUIREMENTS PRIOR TO STARTING NEW CONSTRUCTION. THIS IS TO INCLUDE CAPPING, REMOVAL TO MAIN, AND PAVEMENT REPLACEMENT (INCLUDING CURB AND GUTTER).

## DEMOLITION KEY

- 1 ENSURE BUILDING AND FOUNDATION HAVE BEEN FULLY DEMOLISHED.
- 2 PROTECT EXISTING SIDEWALK AND CONCRETE PATIO SLAB.
- 3 REMOVE EXISTING SIDEWALKS, PATHWAYS AND RAMPS.
- 4 DEMOLISH AND REMOVE EXISTING ASPHALT PAVEMENT/CONCRETE TO DEPTH SUFFICIENT TO CONSTRUCT NEW PAVING AND IMPROVEMENTS.
- 5 DEMOLISH EXISTING CONCRETE CURB.
- 6 DEMOLISH AND REMOVE LANDSCAPE ISLANDS.
- 7 PROTECT EXISTING LANDSCAPE ISLANDS.
- 8 CLEAR AND GRUB AREA OF ANY EXISTING IMPROVEMENTS IN THE WAY OF THE PROPOSED BUILDING AND SITE IMPROVEMENTS.
- 9 REMOVE EXISTING BICYCLE PARKING. TO BE RELOCATED.
- 10 REMOVE EXISTING DRAIN PAN.
- 11 REMOVE EXISTING LIGHT POSTS.
- 12 REMOVE EXISTING ELECTRIC LINE UP TO POINT.
- 13 REMOVE EXISTING RAISED CURB AROUND LANDSCAPING UP TO REQUESTED POINT (TO BE TIED INTO PROPOSED WALL)
- 14 PROTECT EXISTING HYDRANT. TO REMAIN.
- 15 REMOVE EXISTING FENCE.
- 16 REMOVE EXISTING DRY UTILITY AND ASSOCIATED CONNECTIONS TO POINT SUITABLE FOR NEW CONNECTION. CONTRACTOR TO COORDINATE WITH CITY OF BOULDER AND UTILITY PROVIDER.
- 17 REMOVE EXISTING TRANSFORMER AND CONCRETE PAD.
- 18 REMOVE EXISTING WATER LINE UP TO MAIN.
- 19 PROTECT EXISTING DRY UTILITIES. TO REMAIN.
- 20 REMOVE WATER SUBMETER AND ASSOCIATED LINE TO MAIN.
- 21 RELOCATE EXISTING ELECTRIC LINES AS NECESSARY TO ALLOW FOR ORIGINAL FUNCTION TO CONTINUE.



### PROJECT TITLE

MEADOWS ON THE PARKWAY

SW CORNER OF  
BASELINE RD AND  
THE MEADOWS ST

### PREPARED FOR

PHILIPS EDISON &  
COMPANY

3247 SANTA FE ROAD  
PARK CITY, UT 84098

### SUBMITTAL

SITE PLAN REVIEW

DRAWN BY: AUS  
CHECKED BY: MRB  
PROJECT NO.: 24-138-004  
REVISIONS  
RESUBMITTAL 05/05/25  
RESUBMITTAL 06/23/25

### DATE

02/12/2025

### SHEET TITLE

DEMO PLAN

### SHEET INFORMATION

DM-1.0

2 of 9





SEAL

PROJECT TITLE

MEADOWS ON THE PARKWAY

SW CORNER OF BASELINE RD AND THE MEADOWS ST

PREPARED FOR

PHILIPS EDISON & COMPANY

3247 SANTA FE ROAD  
PARK CITY, UT 84098

SUBMITTAL

SITE PLAN REVIEW

DRAWN BY:

AUS

CHECKED BY:

MRB

PROJECT NO.:

24-138-004

REVISIONS

RESUBMITTAL 05/05/25

RESUBMITTAL 06/23/25

DATE

02/12/2025

SHEET TITLE

SITE PLAN

SHEET INFORMATION

C-1.0

3

of

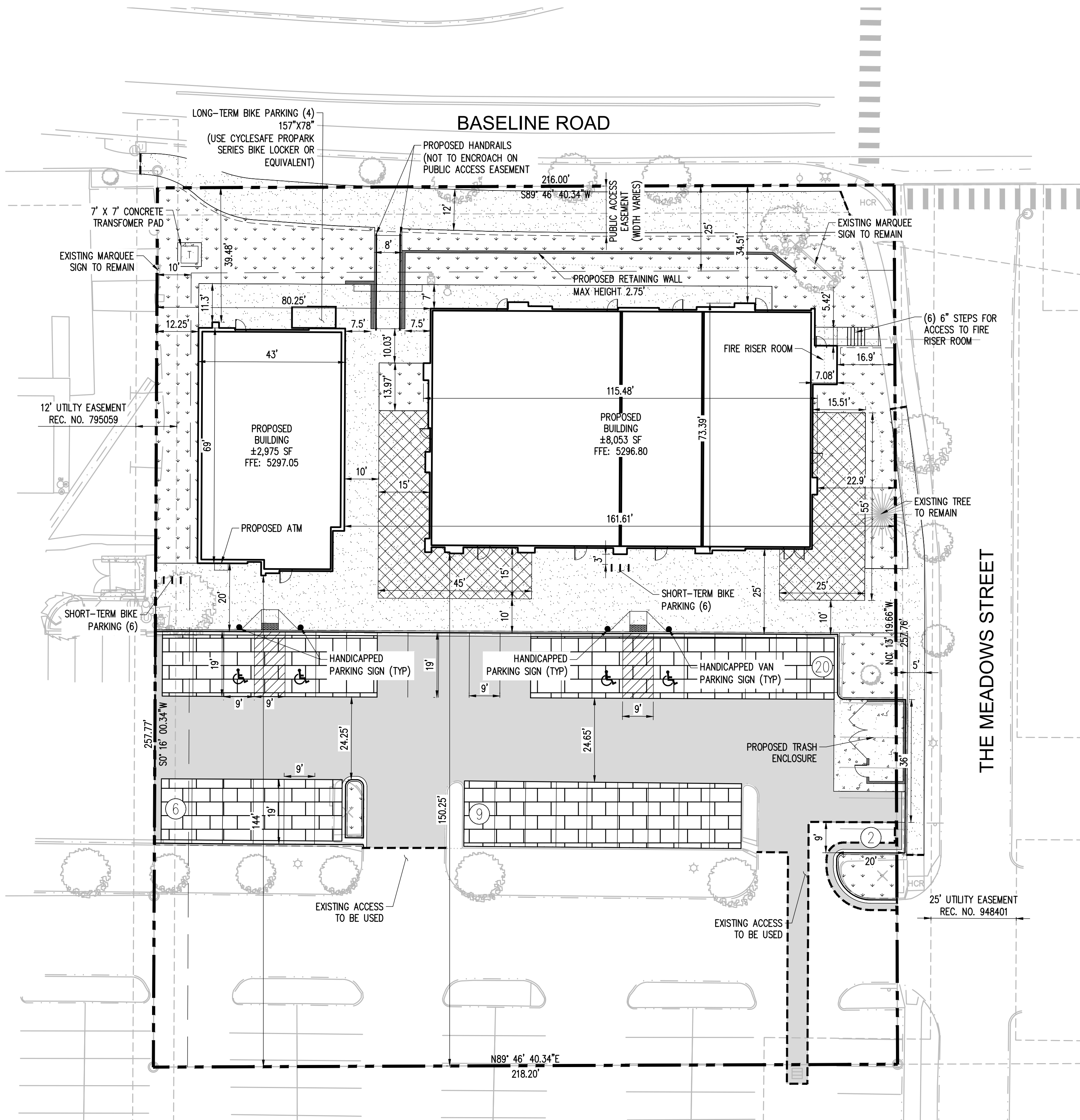
9

# LOT 2, THE MEADOWS ON THE PARKWAY SITE PLAN REVIEW

LOT 2, THE MEADOWS ON THE PARKWAY,  
NE 1/4 OF THE NW 1/4 OF SECTION 4, TOWNSHIP 1 SOUTH, RANGE 70 WEST,  
CITY AND COUNTY OF BOULDER, STATE OF COLORADO

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- "ALL SURPLUS MATERIALS, TOOLS, AND TEMPORARY STRUCTURES, FURNISHED BY THE CONTRACTOR, SHALL BE REMOVED FROM THE PROJECT SITE BY THE CONTRACTOR. ALL DEBRIS AND RUBBISH CAUSED BY THE OPERATIONS OF THE CONTRACTOR SHALL BE REMOVED, AND THE AREA OCCUPIED DURING CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO ITS ORIGINAL CONDITION, WITHIN 48 HOURS OF PROJECT COMPLETION, UNLESS OTHERWISE DIRECTED BY THE DIRECTOR OF PUBLIC WORKS."
- "THE CONTRACTOR SHALL PROVIDE TREE AND LANDSCAPE PROTECTION AS SET FORTH IN CHAPTER 6-6, PROTECTION OF TREES AND PLANTS, BOULDER REVISED CODE (B.R.C.) 1981 AND THE CITY OF BOULDER DESIGN AND CONSTRUCTION STANDARDS (DCS). ALL LANDSCAPING SHALL BE PROVIDED AND MAINTAINED IN COMPLIANCE WITH THE APPROVED LANDSCAPING PLAN, B.R.C. AND DCS."
- "THE CONTRACTOR IS REQUIRED TO PROVIDE AND MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE URBAN DRAINAGE AND FLOOD CONTROL DISTRICT URBAN STORM DRAINAGE CRITERIA MANUAL VOLUME 3, THE M-STANDARD PLANS OF THE COLORADO DEPARTMENT OF TRANSPORTATION, AND THE APPROVED STORMWATER MANAGEMENT PLAN. THE DIRECTOR OF PUBLIC WORKS MAY REQUIRE THE CONTRACTOR TO PROVIDE ADDITIONAL EROSION CONTROL MEASURES DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE PLANS DO NOT FUNCTION AS INTENDED."
- "THE CITY OF BOULDER REQUIRES THAT SIDEWALKS CONSTRUCTED HAVE A GROSS SLOPE OF LESS THAN 2%. SIDEWALKS SHALL BE DESIGNED AND CONSTRUCTED WITH GROSS SLOPES SUFFICIENTLY LESS THAN 2% TO ENSURE THAT THEY DO NOT EXCEED THE 2% MAXIMUM."



## LEGEND

	ASPHALTIC CONCRETE PAVEMENT
	PORTLAND CEMENT CONCRETE PAVEMENT
	PERMEABLE PAVEMENT SYSTEM
	CONCRETE SIDEWALK
	PATIO
	LANDSCAPE
	PROPERTY LINE
	SETBACK
	EDGE OF PAVEMENT
	CURB AND GUTTER
	SAW CUT
	BUILDING
	WALL

## SITE DATA (TOTAL SITE)

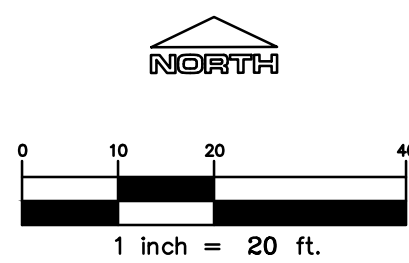
ZONING: BUSINESS COMMUNITY 1 (BC-1)		
BUILDING AREA:	11,028 SF	0.25 ACRES [19.71%]
LANDSCAPE AREA:	9,123 SF	0.21 ACRES [16.30%]
CONCRETE:	619 SF	0.01 ACRES [1.11%]
ASPHALT:	23,357 SF	0.54 ACRES [41.74%]
SIDEWALK:	11,246 SF	0.26 ACRES [20.09%]
TOTAL SITE AREA:	55,960 SF	1.28 ACRES [100.00%]
TOTAL IMPERVIOUS AREA:	46,250 SF	1.06 ACRES [82.65%]
TOTAL DISTURBED AREA:	43,160 SF	0.99 ACRES [66.67%]

## PARKING

REQUIRED: BUSINESS COMMUNITY (BC-1) (1 PER 300 SF) (11,028/300 = 36.76) = 37 STALLS	
TOTAL REQUIRED	= 37 STALLS
PROVIDED:	
STANDARD	= 33 STALLS
HANDICAPPED	= 3 CAR = 1 VAN
PARKING PROVIDED	= 37 STALLS
STALL DIMENSIONS:	= 19' X 9'
DRIVE AISLE WIDTH:	= 24' - 25'

## BIKE PARKING

REQUIRED: 1 PER 750 SF (75% SHORT TERM, 25% LONG TERM)	
SHORT TERM: ((11,028/750) * .75 = 11.028)	= 12 SPACES
LONG TERM: (((11,028/750) * .25 = 3.68)	= 4 SPACES
TOTAL REQUIRED	= 16 SPACES
PROVIDED:	
SHORT TERM:	= 12 SPACES
LONG TERM:	= 4 SPACES
TOTAL PROVIDED	= 16 SPACES



Know what's below.  
Call before you dig.

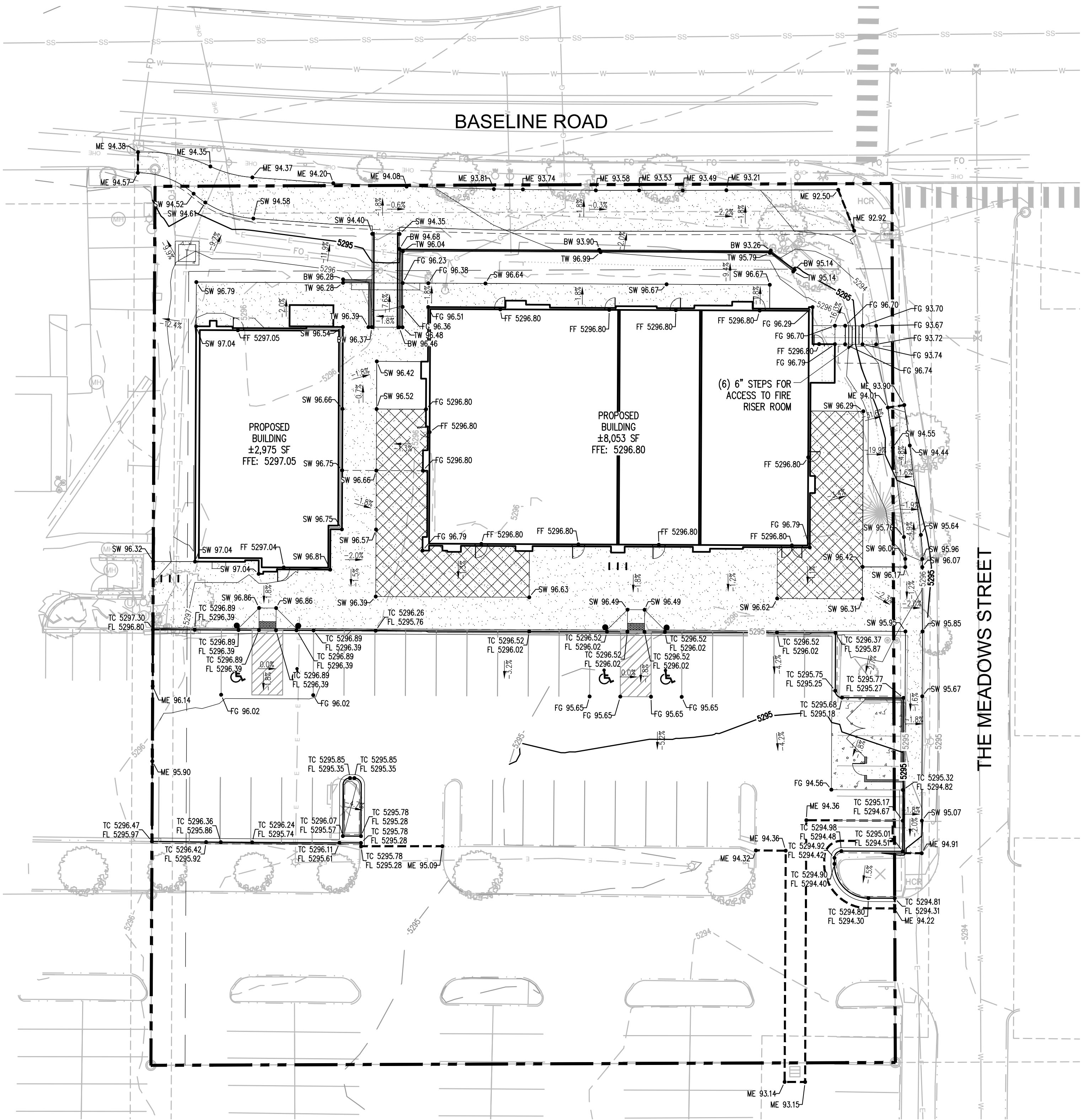


# LOT 2, THE MEADOWS ON THE PARKWAY SITE PLAN REVIEW

LOT 2, THE MEADOWS ON THE PARKWAY,  
NE 1/4 OF THE NW 1/4 OF SECTION 4, TOWNSHIP 1 SOUTH, RANGE 70 WEST,  
CITY AND COUNTY OF BOULDER, STATE OF COLORADO

## GRADING NOTES

1. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY UNLESS SPECIFIED OTHERWISE.
2. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS WITH GRASS IN ACCORDANCE WITH LOCAL SPECIFICATION UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
3. ALL CUT AND FILL SLOPES SHALL BE CONSTRUCTED PER THE IBC CODE AND APPLICABLE LOCAL REGULATION. ALL CUT AND FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
4. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS AND SHALL GRADE ALL AREAS TO PRECLUDE PONDING OF WATER.
5. ALL POLLUTANTS OTHER THAN SEDIMENT ON-SITE DURING CONSTRUCTION SHALL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORMWATER. THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
6. PROPERTIES AND WATERWAYS DOWNSTREAM OF THE SITE SHALL BE PROTECTED FROM EROSION DUE TO INCREASES IN THE VOLUME, VELOCITY AND PEAK FLOW RATE OF STORMWATER RUNOFF FROM PROJECT SITE.
7. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
8. CONTRACTOR TO REMOVE UNSUITABLE SOILS LOCATED WITHIN THE BUILDINGS SPLAY LINE OF THE FOOTINGS.
9. FOR BOUNDARY AND TOPOGRAPHIC INFORMATION REFER TO PROJECT SURVEY.
10. REUSE OF NATIVE MATERIAL PERMITTED IF PLACED IN 8" LIFTS AND COMPACTED TO 95% MODIFIED PROCTOR.



## LEGEND

EX. CONTOUR	-24-
PROPOSED CONTOUR	322
PROPERTY LINE	---
SAWCUT	---
RIDGE LINE	---
SLOPE ARROW	-1.4%
SPOT ELEVATION	4653
TOP OF CURB	TC
FINISHED GRADE	FG
FINISHED FLOOR	FF
SIDEWALK	SW
MATCH EXISTING	ME
TOP OF WALL	TW
BOTTOM OF WALL	BW
FLOW LINE	FL

NOTE:  
CONTRACTOR SHALL POTHOLE ALL NEW AND/OR EXISTING  
UTILITY CROSSINGS AND POINTS OF CONNECTION TO CONFIRM  
DEPTH AND LOCATION AS FIRST ORDER OF WORK.

## PROJECT TITLE

MEADOWS ON  
THE PARKWAY

SW CORNER OF  
BASELINE RD AND  
THE MEADOWS ST

## PREPARED FOR

PHILIPS EDISON &  
COMPANY

3247 SANTA FE ROAD  
PARK CITY, UT 84098

## SUBMITTAL

## SITE PLAN REVIEW

DRAWN BY: AUS  
CHECKED BY: MRB  
PROJECT NO.: 24-138-004  
REVISIONS  
RESUBMITTAL 05/05/25  
RESUBMITTAL 06/23/25

## DATE

02/12/2025

## SHEET TITLE

GRADING  
PLAN

## SHEET INFORMATION

C-2.0

4 of 9



# LOT 2, THE MEADOWS ON THE PARKWAY SITE PLAN REVIEW

LOT 2, THE MEADOWS ON THE PARKWAY,  
NE 1/4 OF THE NW 1/4 OF SECTION 4, TOWNSHIP 1 SOUTH, RANGE 70 WEST,  
CITY AND COUNTY OF BOULDER, STATE OF COLORADO



VICINITY MAP

SCALE: 1:500

## GENERAL UTILITY NOTES

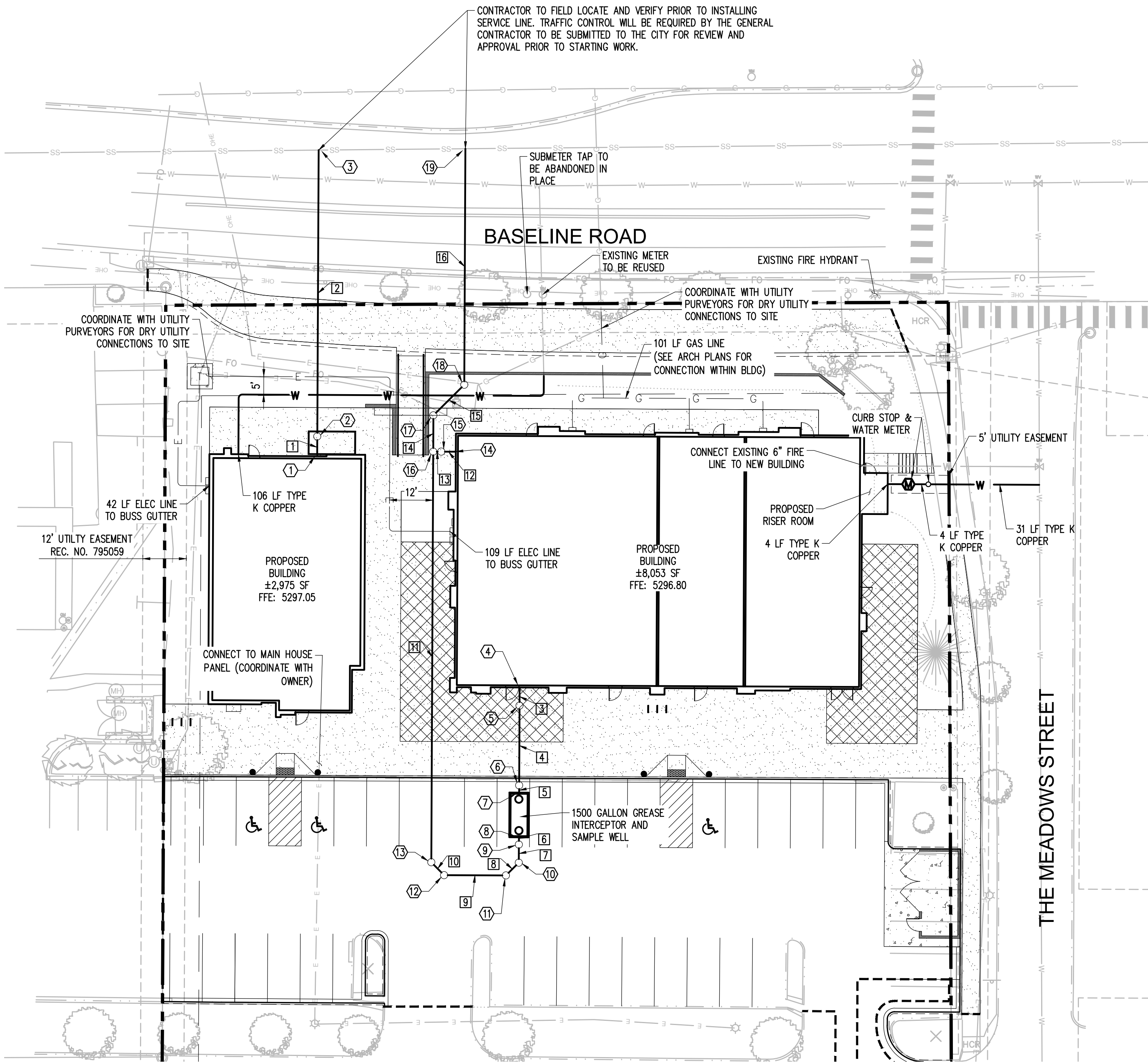
1. ALL IMPROVEMENTS SHALL MEET LOCAL, STATE DOT AND A.P.W.A. STANDARD SPECIFICATIONS.
2. REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
3. ALL FILL MATERIAL SHALL BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
4. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
5. MINIMUM WATER AND SANITARY SEWER TRENCH WIDTH SHALL BE 2 FEET.
6. ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
7. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINE (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING. THE WATERLINE SHALL BE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE, MEETING REQUIREMENTS OF ANSI A21.10 AND ANSI A21.11 (AWWA C-151) (CLASS 50).
8. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
9. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE LOCAL AUTHORITIES WITH REGARD TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
10. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
11. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
12. CONTRACTOR TO PROVIDE TRENCHING, BACKFILL, 2 - 4" PVC SCHEDULE 40 CONDUITS, AND PULLING WIRES FOR UNDERGROUND TELEPHONE SERVICE FROM EXISTING FACILITIES AS SHOWN ON PLANS. CONTRACTOR TO COORDINATE INSTALLATION AND POINT OF CONNECTION WITH UTILITY PROVIDER.
13. CONTRACTOR IS TO PROVIDE TRENCHING, CONDUIT, AND BACKFILL FOR ALL UNDERGROUND POWER LINE AND VAULTS AS REQUIRED BY UTILITY PROVIDER. POWER LINES AND POLES TO BE INSTALLED BY UTILITY PROVIDER. SEE SITE ELECTRICAL PLAN FOR SITE LIGHTING AND FOR PRIMARY ELECTRIC SERVICE LOCATIONS.
14. GAS PIPING SHOWN FOR COORDINATION ONLY. INSTALLATION OF THE GAS MAIN AND METER TO BE ACCOMPLISHED BY UTILITY PROVIDER.
15. BACKFLOW PREVENTION DEVICES SHALL BE INSTALLED INSIDE THE BUILDING FOR EACH APPLICABLE USE INCLUDING DOMESTIC, FIRE, AND IRRIGATION SYSTEMS. CONTRACTOR SHALL COORDINATE AND SUPPLY A BACKFLOW TEST REPORT TO THE WATER AND SEWER DEPARTMENT UPON INSTALLATION. OWNER IS REQUIRED TO SUPPLY AN ANNUAL BACKFLOW TEST REPORT TO THE WATER AND SEWER DEPARTMENT.

## WATER NOTES

1. ALL CONSTRUCTION/INSTALLATION OF WATER MAINS SHALL BE DONE IN A SAFE, NEAT AND WORKMANLIKE MANNER, AND UNDER SUPERVISION BY UTILITY PROVIDER FORCES AT ALL TIMES. ALL SAFETY REQUIREMENTS FROM OSHA AND OTHER STATE REGULATING AGENCIES MUST BE MET.
2. WATER MAIN PIPE LESS THAN OR EQUAL TO 12" IN DIAMETER SHALL BE C900 PVC PIPE MEETING LOCAL REQUIREMENTS. POLYETHYLENE WRAP IS REQUIRED ON ALL METALS.
3. AN 24-INCH MINIMUM SEPARATION IS REQUIRED ON SERVICE TAPS ON A MAIN LINE.
4. 1" - 1.5" TYPE K COPPER SERVICE LINE SHALL BE INSTALLED WITH A TAPPING SADDLE.
5. ALL ELBOWS/BENDS ON WATER MAINS SHALL HAVE THRUST BLOCKS.
6. A MINIMUM DEPTH OF 60" (5') FROM FINISHED GRADE TO THE TOP OF THE WATER MAIN IS REQUIRED. PLACING WATER LINES SHALLOWER THAN 60" (5') OR DEEPER THAN 72" (6') IS PROHIBITED.
7. ALL NEW PIPES MUST BE PROPERLY FLUSHED, PRESSURE TESTED, AND CHLORINATED BY THE CONTRACTOR, AND INSPECTED BY UTILITY PROVIDER AND GOVERNMENTAL AGENCIES WITH JURISDICTION.
8. ALL BACKFLOW PREVENTION DEVICES (DOUBLE CHECK BACKFLOW PREVENTORS, REDUCED PRESSURE BACKFLOW PREVENTORS, PRESSURE AND ATMOSPHERIC VACUUM BREAKERS, ETC.) MUST BE APPROVED BY THE UTILITY PROVIDER AND GOVERNMENTAL AGENCIES WITH JURISDICTION.
9. ALL NEW CONNECTIONS TO EXISTING WATER MAINS REQUIRE ISSUANCE OF A PUBLIC WORKS PERMIT AND INSPECTION BY THE CITY OR GOVERNMENTAL AGENCIES WITH JURISDICTION PRIOR TO BACKFILLING.
10. BACKFLOW PREVENTION DEVICES SHALL BE CONSTRUCTED OF CORROSION RESISTANT MATERIALS.
11. AS PART OF THE BASE BID, THE CONTRACTOR SHALL INCLUDE VERTICAL BENDS AND THRUST BLOCKS, AS NECESSARY, TO ACCOMMODATE PROPOSED UTILITY CROSSINGS.

## SANITARY SEWER NOTES

1. ALL CONSTRUCTION/INSTALLATION OF SANITARY SEWER MAINS SHALL BE DONE IN A SAFE, NEAT AND PROFESSIONAL MANNER, AND UNDER SUPERVISION OF CITY FORCES AT ALL TIMES. ALL SAFETY REQUIREMENTS FROM OSHA AND OTHER STATE REGULATORY AGENCIES MUST BE MET.
2. THE MINIMUM SIZE FOR PUBLIC SEWER MAINS SHALL BE 8" DIAMETER. ALL SANITARY SEWER PIPING SHALL BE SCHEDULE D3034 PVC OR EQUAL. MINIMUM PIPE DIAMETER FOR PRIVATE LATERALS IS 4" AND OF SCHEDULE D3034 PVC OR EQUAL. ALL SANITARY SEWER LATERALS MUST BE PROPERLY MARKED AT ENDS.
3. CONNECTIONS INTO THE EXISTING SANITARY SEWER MAINS REQUIRE ISSUANCE OF PUBLIC WORKS PERMIT AND INSPECTION BY THE LOCAL JURISDICTION PRIOR TO BACKFILLING.
4. ALL NEW SANITARY SEWER PIPES AND MANHOLES MUST BE THOROUGHLY CLEANED, INSPECTED AND PRESSURE/VACUUM TESTED AS REQUIRED BY UTILITY PROVIDER AND GOVERNMENTAL AGENCIES WITH JURISDICTION. ALL TESTS MUST BE WITNESSED AND PASSED BY THE UTILITY PROVIDER AND GOVERNMENTAL AGENCIES WITH JURISDICTION PRIOR TO PLACING INTO OPERATION.
5. THE CONTRACTOR SHALL PROVIDE TO THE UTILITY PROVIDER ANY GUARANTEE OR WARRANTY NORMALLY FURNISHED WITH THE PURCHASE OF ANY MATERIALS USED IN CONNECTION WITH THE PROJECT AT HAND.



## LEGEND

- PROPERTY LINE
- CURB AND GUTTER
- BUILDING SETBACK
- EASEMENT
- PROPOSED BUILDING
- W --- WATER LINE
- SS --- SEWER LINE
- G --- GAS LINE
- E --- ELECTRIC LINE
- T --- COMMUNICATIONS LINE

## DEMAND EVALUATION PER USE TYPE AND AREA

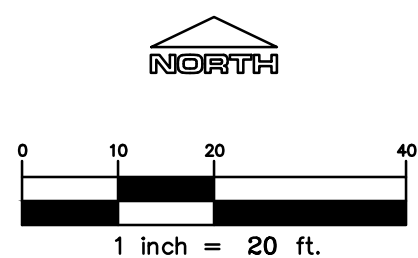
EXISTING WATER DEMAND:	±2,025 GPD
EXISTING SANITARY DEMAND:	±1,012 GPD
TOTAL EXISTING DEMAND:	±3,037 GPD
PROPOSED WATER DEMAND (MULTI-TENANT):	±1,849 GPD
PROPOSED SANITARY DEMAND (MULTI-TENANT):	±924 GPD
TOTAL PROPOSED DEMAND (MULTI-TENANT):	±2,773 GPD
PROPOSED WATER DEMAND (SINGLE-TENANT):	±683 GPD
PROPOSED SANITARY DEMAND (SINGLE-TENANT):	±341 GPD
TOTAL PROPOSED DEMAND (SINGLE-TENANT):	±1,024 GPD
TOTAL PROPOSED DEMAND (COMBINED):	±3,797 GPD

STRUCTURE TABLE				
#	TYPE	RIM	INVERT	
1	CONNECT TO BLDG		IE OUT: 5293.50 6"	
2	6" CLEANOUT	RIM = 5294.42	IE IN: 5292.90 6" IE OUT: 5292.90 6"	
3	CONNECT TO EX. 12" SANITARY		IE IN: 5283.50 6"	
4	CONNECT TO BLDG		IE OUT: 5293.50 6"	
5	6" CLEANOUT	RIM = 5294.65	IE IN: 5293.14 6" IE OUT: 5293.14 6"	
6	6" CLEANOUT	RIM = 5293.05	IE IN: 5291.54 6" IE OUT: 5291.54 6"	
7	GI CONNECTION		IE IN: 5291.39 6"	
8	GI CONNECTION		IE OUT: 5291.19 6"	
9	6" CLEANOUT	RIM = 5292.69	IE IN: 5291.17 6" IE OUT: 5291.17 6"	
10	45° BEND		IE IN: 5291.12 6" IE OUT: 5291.12 6"	
11	45° BEND		IE IN: 5291.07 6" IE OUT: 5291.07 6"	

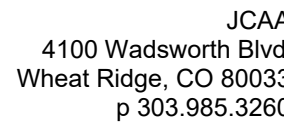
STRUCTURE TABLE				
#	TYPE	RIM	INVERT	
12	45° BEND		IE IN: 5290.90 6" IE OUT: 5290.90 6"	
13	45° BEND		IE IN: 5290.85 6" IE OUT: 5290.85 6"	
14	CONNECT TO BLDG		IE OUT: 5289.78 6"	
15	6" CLEANOUT	RIM = 5291.26	IE IN: 5289.74 6" IE OUT: 5289.74 6"	
16	6" CLEANOUT	RIM = 5554.92	IE IN: 5289.72 6" IE IN: 5289.72 6" IE OUT: 5289.72 6"	
17	45° BEND		IE IN: 5289.62 6" IE OUT: 5289.62 6"	
18	6" CLEANOUT	RIM = 5291.01	IE IN: 5289.50 6" IE OUT: 5289.50 6"	
19	CONNECT TO EX. 12" SANITARY		IE IN: 5282.69 6"	

PIPE TABLE				
#	SIZE	LENGTH	MATERIAL	SLOPE
1	6"	5'	PVC	11.90%
2	6"	79'	PVC	11.91%
3	6"	5'	PVC	7.28%
4	6"	22'	PVC	7.27%
5	6"	2'	PVC	7.30%
6	6"	2'	PVC	1.00%
7	6"	5'	PVC	1.00%
8	6"	5'	PVC	1.00%

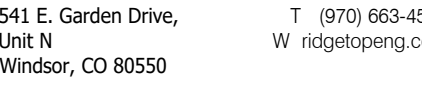
PIPE TABLE				
#	SIZE	LENGTH	MATERIAL	SLOPE
9	6"	17'	PVC	1.00%
10	6"	5'	PVC	1.00%
11	6"	113'	PVC	1.00%
12	6"	4'	PVC	1.00%
13	6"	2'	PVC	1.00%
14	6"	10'	PVC	1.00%
15	6"	12'	PVC	1.00%
16	6"	65'	PVC	10.46%







#25015



SEAL

LOT 2, THE MEADOWS ON THE PARKWAY,  
NE 1/4 OF THE NW 1/4 OF SECTION 4, TOWNSHIP 1 SOUTH, RANGE 70 WEST  
CITY AND COUNTY OF BOULDER, STATE OF COLORADO



①

NOTE:

1. ALL FIXTURES TO BE FULL CUT-OFF FIXTURES.

GENERAL LIGHTING PLAN STANDARD NOTES:

1. ALL BUILDING MOUNTED FIXTURES FOR SAFETY AND EGRESS. ALL POLE MOUNTED FIXTURES ARE FOR PARKING AREA AND DRIVING A/E/ESS PATHWAY.
2. ALL FIXTURES TO BE CONTROLLED VIA TIMECLOCK.
3. PROVIDE HOUSE SIDE SHIELD TO POLE MOUNTED FIXTURES ALONG ADJAC NT PROPERTIES.
4. THE FOLLOWING LIGHTING TYPES ARE PROHIBITED: POLE-MOUNTED LIGHTS AIMED AT A BUILDING'S FACADE AND UNSHIELDED WALL PACKS.



Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
OVERALL SITE	Illuminance	Fc	2.08	8.1	0.0	N.A.	N.A.
PAST PROPERTY LINE	Illuminance	Fc	0.69	3.6	0.0	N.A.	N.A.
PROPERTY LINE	Illuminance	Fc	1.23	3.4	0.0	N.A.	N.A.



PROJECT TITLE

# MEADOWS ON THE PARKWAY

SW CORNER OF  
BASELINE RD AND  
THE MEADOWS ST

PREPARED FOR

PHILIPS EDISON &  
COMPANY

3247 SANTA FE ROAD  
PARK CITY, UT 84098

SUBMITTAL

## USE REVIEW

DRAWN BY:

CHECKED BY

PROJECT N

## REVISIONS

DATE \_\_\_\_\_

02/12/2025

SHEET TITLE

## PHOTOMETRIC PLAN

SHEET INFORMATION

# EP100

6 Of 9



File: 25.015\_EP101.dwg Path: P:\JCAA\2025\25.015 - Meadows on The Parkway - Boulder, CO\DRAWINGS\JCAA\ELECTRICAL\PTB\2025-04-30\_Ver 2\ Plotted by: colson Date: 30-Apr-25 4:16:00pm Item 4B - 4760 Baseline Site and Use Review

# LOT 2, THE MEADOWS ON THE PARKWAY SITE PLAN REVIEW

LOT 2, THE MEADOWS ON THE PARKWAY,  
NE 1/4 OF THE NW 1/4 OF SECTION 4, TOWNSHIP 1 SOUTH, RANGE 70 WEST,  
CITY AND COUNTY OF BOULDER, STATE OF COLORADO

EXISTING LIGHT TYPE 'E-1', 'E-2'

NV-1

AREA, SITE & ROADWAY

FORM AND FUNCTION

- Sleek, low profile housing
- Spec grade performance
- Engineered for optimum thermal management
- Low depreciation rate
- Reduces energy consumption and costs up to 65%
- Exceeds IES foot candle levels utilizing the least number of poles and fixtures per project
- Optical system designed for:
  - Parking Lots
  - Auto Dealerships
  - General Area Lighting

CONSTRUCTION

- Die Cast Aluminum
- Corrosion resistant external hardware
- One-piece silicone gasket ensures IP65 seal for electronics compartment
- One-piece Optics Plate™ mounting silicone Micro Optics
- Two-piece silicone Micro Optic system ensures IP67 level seal around each PCB
- Grade 2 Clear Anodized Optics Plate™ standard

LED WATTAGE CHART

Area	11L	31L	41L	61L
100 sq ft	100W	100W	100W	100W
200 sq ft	200W	200W	200W	200W
300 sq ft	300W	300W	300W	300W
400 sq ft	400W	400W	400W	400W
500 sq ft	500W	500W	500W	500W

FINISH

- 3-5 mils electrostatic powder coat
- NLS' standard high-quality finishes prevent corrosion, protects against extreme environmental conditions

WARRANTY

Five-year limited warranty for drivers and LEDs.

BUY AMERICAN

To ensure the latest BAA/TAA/BABA Standards are being met, please select BAA, TAA, or BABA in the options section. Please contact the factory before placing an order for any NLS products requesting BAA (Buy American Act), TAA (Trade American Act), or BABA (Build America, Buy America).

USA

EXISTING LIGHT TYPE 'E-1', 'E-2'

NV-1 ORDERING GUIDE

Cat#	Light Dist.	# of LEDs	Drive Current	CCT	Voltage
NV-1 (E-1)	Type 1 (T1)	24 (14L)	600 (AMERICAN) 600 (E-1)	4000K (4000K) 4000K (E-1)	120-277V (120-277V) 120-277V (E-1)
NV-1 (E-2)	Type 2 (T2)	24 (14L)	600 (AMERICAN) 600 (E-2)	4000K (4000K) 4000K (E-2)	120-277V (120-277V) 120-277V (E-2)
NV-1 (E-3)	Type 3 (T3)	24 (14L)	600 (AMERICAN) 600 (E-3)	4000K (4000K) 4000K (E-3)	120-277V (120-277V) 120-277V (E-3)
NV-1 (E-4)	Type 4 (T4)	24 (14L)	600 (AMERICAN) 600 (E-4)	4000K (4000K) 4000K (E-4)	120-277V (120-277V) 120-277V (E-4)
NV-1 (E-5)	Type 5 (T5)	24 (14L)	600 (AMERICAN) 600 (E-5)	4000K (4000K) 4000K (E-5)	120-277V (120-277V) 120-277V (E-5)
NV-1 (E-6)	Type 6 (T6)	24 (14L)	600 (AMERICAN) 600 (E-6)	4000K (4000K) 4000K (E-6)	120-277V (120-277V) 120-277V (E-6)
NV-1 (E-7)	Type 7 (T7)	24 (14L)	600 (AMERICAN) 600 (E-7)	4000K (4000K) 4000K (E-7)	120-277V (120-277V) 120-277V (E-7)
NV-1 (E-8)	Type 8 (T8)	24 (14L)	600 (AMERICAN) 600 (E-8)	4000K (4000K) 4000K (E-8)	120-277V (120-277V) 120-277V (E-8)
NV-1 (E-9)	Type 9 (T9)	24 (14L)	600 (AMERICAN) 600 (E-9)	4000K (4000K) 4000K (E-9)	120-277V (120-277V) 120-277V (E-9)
NV-1 (E-10)	Type 10 (T10)	24 (14L)	600 (AMERICAN) 600 (E-10)	4000K (4000K) 4000K (E-10)	120-277V (120-277V) 120-277V (E-10)
NV-1 (E-11)	Type 11 (T11)	24 (14L)	600 (AMERICAN) 600 (E-11)	4000K (4000K) 4000K (E-11)	120-277V (120-277V) 120-277V (E-11)
NV-1 (E-12)	Type 12 (T12)	24 (14L)	600 (AMERICAN) 600 (E-12)	4000K (4000K) 4000K (E-12)	120-277V (120-277V) 120-277V (E-12)
NV-1 (E-13)	Type 13 (T13)	24 (14L)	600 (AMERICAN) 600 (E-13)	4000K (4000K) 4000K (E-13)	120-277V (120-277V) 120-277V (E-13)
NV-1 (E-14)	Type 14 (T14)	24 (14L)	600 (AMERICAN) 600 (E-14)	4000K (4000K) 4000K (E-14)	120-277V (120-277V) 120-277V (E-14)
NV-1 (E-15)	Type 15 (T15)	24 (14L)	600 (AMERICAN) 600 (E-15)	4000K (4000K) 4000K (E-15)	120-277V (120-277V) 120-277V (E-15)
NV-1 (E-16)	Type 16 (T16)	24 (14L)	600 (AMERICAN) 600 (E-16)	4000K (4000K) 4000K (E-16)	120-277V (120-277V) 120-277V (E-16)
NV-1 (E-17)	Type 17 (T17)	24 (14L)	600 (AMERICAN) 600 (E-17)	4000K (4000K) 4000K (E-17)	120-277V (120-277V) 120-277V (E-17)
NV-1 (E-18)	Type 18 (T18)	24 (14L)	600 (AMERICAN) 600 (E-18)	4000K (4000K) 4000K (E-18)	120-277V (120-277V) 120-277V (E-18)
NV-1 (E-19)	Type 19 (T19)	24 (14L)	600 (AMERICAN) 600 (E-19)	4000K (4000K) 4000K (E-19)	120-277V (120-277V) 120-277V (E-19)
NV-1 (E-20)	Type 20 (T20)	24 (14L)	600 (AMERICAN) 600 (E-20)	4000K (4000K) 4000K (E-20)	120-277V (120-277V) 120-277V (E-20)
NV-1 (E-21)	Type 21 (T21)	24 (14L)	600 (AMERICAN) 600 (E-21)	4000K (4000K) 4000K (E-21)	120-277V (120-277V) 120-277V (E-21)
NV-1 (E-22)	Type 22 (T22)	24 (14L)	600 (AMERICAN) 600 (E-22)	4000K (4000K) 4000K (E-22)	120-277V (120-277V) 120-277V (E-22)
NV-1 (E-23)	Type 23 (T23)	24 (14L)	600 (AMERICAN) 600 (E-23)	4000K (4000K) 4000K (E-23)	120-277V (120-277V) 120-277V (E-23)
NV-1 (E-24)	Type 24 (T24)	24 (14L)	600 (AMERICAN) 600 (E-24)	4000K (4000K) 4000K (E-24)	120-277V (120-277V) 120-277V (E-24)
NV-1 (E-25)	Type 25 (T25)	24 (14L)	600 (AMERICAN) 600 (E-25)	4000K (4000K) 4000K (E-25)	120-277V (120-277V) 120-277V (E-25)
NV-1 (E-26)	Type 26 (T26)	24 (14L)	600 (AMERICAN) 600 (E-26)	4000K (4000K) 4000K (E-26)	120-277V (120-277V) 120-277V (E-26)
NV-1 (E-27)	Type 27 (T27)	24 (14L)	600 (AMERICAN) 600 (E-27)	4000K (4000K) 4000K (E-27)	120-277V (120-277V) 120-277V (E-27)
NV-1 (E-28)	Type 28 (T28)	24 (14L)	600 (AMERICAN) 600 (E-28)	4000K (4000K) 4000K (E-28)	120-277V (120-277V) 120-277V (E-28)
NV-1 (E-29)	Type 29 (T29)	24 (14L)	600 (AMERICAN) 600 (E-29)	4000K (4000K) 4000K (E-29)	120-277V (120-277V) 120-277V (E-29)
NV-1 (E-30)	Type 30 (T30)	24 (14L)	600 (AMERICAN) 600 (E-30)	4000K (4000K) 4000K (E-30)	120-277V (120-277V) 120-277V (E-30)
NV-1 (E-31)	Type 31 (T31)	24 (14L)	600 (AMERICAN) 600 (E-31)	4000K (4000K) 4000K (E-31)	120-277V (120-277V) 120-277V (E-31)
NV-1 (E-32)	Type 32 (T32)	24 (14L)	600 (AMERICAN) 600 (E-32)	4000K (4000K) 4000K (E-32)	120-277V (120-277V) 120-277V (E-32)
NV-1 (E-33)	Type 33 (T33)	24 (14L)	600 (AMERICAN) 600 (E-33)	4000K (4000K) 4000K (E-33)	120-277V (120-277V) 120-277V (E-33)
NV-1 (E-34)	Type 34 (T34)	24 (14L)	600 (AMERICAN) 600 (E-34)	4000K (4000K) 4000K (E-34)	120-277V (120-277V) 120-277V (E-34)
NV-1 (E-35)	Type 35 (T35)	24 (14L)	600 (AMERICAN) 600 (E-35)	4000K (4000K) 4000K (E-35)	120-277V (120-277V) 120-277V (E-35)
NV-1 (E-36)	Type 36 (T36)	24 (14L)	600 (AMERICAN) 600 (E-36)	4000K (4000K) 4000K (E-36)	120-277V (120-277V) 120-277V (E-36)
NV-1 (E-37)	Type 37 (T37)	24 (14L)	600 (AMERICAN) 600 (E-37)	4000K (4000K) 4000K (E-37)	120-277V (120-277V) 120-277V (E-37)
NV-1 (E-38)	Type 38 (T38)	24 (14L)	600 (AMERICAN) 600 (E-38)	4000K (4000K) 4000K (E-38)	120-277V (120-277V) 120-277V (E-38)
NV-1 (E-39)	Type 39 (T39)	24 (14L)	600 (AMERICAN) 600 (E-39)	4000K (4000K) 4000K (E-39)	120-277V (120-277V) 120-277V (E-39)
NV-1 (E-40)	Type 40 (T40)	24 (14L)	600 (AMERICAN) 600 (E-40)	4000K (4000K) 4000K (E-40)	120-277V (120-277V) 120-277V (E-40)
NV-1 (E-41)	Type 41 (T41)	24 (14L)	600 (AMERICAN) 600 (E-41)	4000K (4000K) 4000K (E-41)	120-277V (120-277V) 120-277V (E-41)
NV-1 (E-42)	Type 42 (T42)	24 (14L)	600 (AMERICAN) 600 (E-42)	4000K (4000K) 4000K (E-42)	120-277V (120-277V) 120-277V (E-42)
NV-1 (E-43)	Type 43 (T43)	24 (14L)	600 (AMERICAN) 600 (E-43)	4000K (4000K) 4000K (E-43)	120-277V (120-277V) 120-277V (E-43)
NV-1 (E-44)	Type 44 (T44)	24 (14L)	600 (AMERICAN) 600 (E-44)	4000K (4000K) 4000K (E-44)	120-277V (120-277V) 120-277V (E-44)
NV-1 (E-45)	Type 45 (T45)	24 (14L)	600 (AMERICAN) 600 (E-45)	4000K (4000K) 4000K (E-45)	120-277V (120-277V) 120-277V (E-45)
NV-1 (E-46)	Type 46 (T46)	24 (14L)	600 (AMERICAN) 600 (E-46)	4000K (4000K) 4000K (E-46)	120-277V (120-277V) 120-277V (E-46)
NV-1 (E-47)	Type 47 (T47)	24 (14L)	600 (AMERICAN) 600 (E-47)	4000K (4000K) 4000K (E-47)	120-277V (120-277V) 120-277V (E-47)
NV-1 (E-48)	Type 48 (T48)	24 (14L)	600 (AMERICAN) 600 (E-48)	4000K (4000K) 4000K (E-48)	120-277V (120-277V) 120-277V (E-48)
NV-1 (E-49)	Type 49 (T49)	24 (14L)	600 (AMERICAN) 600 (E-49)	4000K (4000K) 4000K (E-49)	120-277V (120-277V) 120-277V (E-49)
NV-1 (E-50)	Type 50 (T50)	24 (14L)	600 (AMERICAN) 600 (E-50)	4000K (4000K) 4000K (E-50)	120-277V (120-277V) 120-277V (E-50)
NV-1 (E-51)	Type 51 (T51)	24 (14L)	600 (AMERICAN) 600 (E-51)	4000K (4000K) 4000K (E-51)	120-277V (120-277V) 120-277V (E-51)
NV-1 (E-52)	Type 52 (T52)	24 (14L)	600 (AMERICAN) 600 (E-52)	4000K (4000K) 4000K (E-52)	120-277V (120-277V) 120-277V (E-52)
NV-1 (E-53)	Type 53 (T53)	24 (14L)	600 (AMERICAN) 600 (E-53)	4000K (4000K) 4000K (E-53)	120-277V (120-277V) 120-277V (E-53)
NV-1 (E-54)	Type 54 (T54)	24 (14L)	600 (AMERICAN) 600 (E-54)	4000K (4000K) 4000K (E-54)	120-277V (120-277V) 120-277V (E-54)
NV-1 (E-55)	Type 55 (T55)	24 (14L)	600 (AMERICAN) 600 (E-55)	4000K (4000K) 4000K (E-55)	120-277V (120-277V) 120-277V (E-55)
NV-1 (E-56)	Type 56 (T56)	24 (14L)	600 (AMERICAN) 600 (E-56)	4000K (4000K) 4000K (E-56)	120-277V (120-277V) 120-277V (E-56)
NV-1 (E-57)	Type 57 (T57)	24 (14L)	600 (AMERICAN) 600 (E-57)	4000K (4000K) 4000K (E-57)	120-277V (120-277V) 120-277V (E-57)
NV-1 (E-58)	Type 58 (T58)	24 (14L)	600 (AMERICAN) 600 (E-58)	4000K (4000K) 4000K (E-58)	120-277V (120-277V) 120-277V (E-58)
NV-1 (E-59)	Type 59 (T59)	24 (14L)	600 (AMERICAN) 600 (E-59)	4000K (4000K) 4000K (E-59)	120-277V (120-277V) 120-277V (E-59)
NV-1 (E-60)	Type 60 (T60)	24 (14L)	600 (AMERICAN) 600 (E-60)	4000K (4000K) 4000K (E-60)	120-277V (120-277V) 120-277V (E-60)
NV-1 (E-61)	Type 61 (T61)	24 (14L)	600 (AMERICAN) 600 (E-61)	4000K (4000K) 4000K (E-61)	120-277V (120-277V) 120-277V (E-61)
NV-1 (E-62)	Type 62 (T62)	24 (14L)	600 (AMERICAN) 600 (E-62)	4000K (4000K) 4000K (E-62)	120-277V (120-277V) 120-277V (E-62)
NV-1 (E-63)	Type 63 (T63)	24 (14L)	600 (AMERICAN) 600 (E-63)	4000K (4000K) 4000K (E-63)	120-277V (120-277V) 120-277V (E-63)
NV-1 (E-64)	Type 64 (T64)	24 (14L)	600 (AMERICAN) 600 (E-64)	4000K (4000K) 4000K (E-64)	120-277V (120-277V) 120-277V (E-64)
NV-1 (E-65)	Type 65 (T65)	24 (14L)	600 (AMERICAN) 600 (E-65)	4000K (4000K) 4000K (E-65)	120-277V (120-277V) 120-277V (E-65)
NV-1 (E-66)	Type 66 (T66)	24 (14L)	600 (AMERICAN) 600 (E-66)	4000K (4000K) 4000K (E-66)	120-277V (120-277V) 120-277V (E-66)
NV-1 (E-67)	Type 67 (T67)	24 (14L)	600 (AMERICAN) 600 (E-67)	4000K (4000K) 4000K (E-67)	120-277V (120-277V) 120-277V (E-67)
NV-1 (E-68)	Type 68 (T68)	24 (14L)	600 (AMERICAN) 600 (E-68)	4000K (4000K) 4000K (E-68)	120-277V (120-277V) 120-277V (E-68)
NV-1 (E-69)	Type 69 (T69)	24 (14L)	600 (AMERICAN) 600 (E-69)	4000K (4000K) 4000K (E-69)	120-277V (120-277V) 120-277V (E-69)
NV-1 (E-70)	Type 70 (T70)	24 (14L)	600 (AMERICAN) 600 (E-70)	4000K (4000K) 4000K (E-70)	120-277V (120-277V) 120-277V (E-70)
NV-1 (E-71)	Type 71 (T71)	24 (14L)	600 (AMERICAN) 600 (E-71)	4000K (4000K) 4000K (E-71)	120-277V (120-277V) 120-277V (E-71)
NV-1 (E-72)	Type 72 (T72)	24 (14L)	600 (AMERICAN) 600 (E-72)	4000K (4000K) 4000K (E-72)	120-277V (120-277V) 120-277V (E-72)
NV-1 (E-73)	Type 73 (T73)	24 (14L)	600 (AMERICAN) 600 (E-73)	4000K (4000K) 4000K (E-73)	120-277V (120-277V) 120-277V (E-73)
NV-1 (E-74)	Type 74 (T74)	24 (14L)	600 (AMERICAN) 600 (E-74)	4000K (4000K) 4000K (E-74)	120-277V (120-277V) 120-277V (E-74)
NV-1 (E-75)	Type 75 (T75)	24 (14L)	600 (AMERICAN) 600 (E-75)	4000K (4000K) 4000K (E-75)	120-277V (120-277V) 120-277V (E-75)
NV-1 (E-76)	Type 76 (T76)	24 (14L)	600 (AMERICAN) 600 (E-76)	4000K (4000K) 4000K (E-76)	120-277V (120-277V) 120-277V (E-76)
NV-1 (E-77)	Type 77 (T77)	24 (14L)	600 (AMERICAN) 600 (E-77)	4000K (4000K) 4000K (E-77)	120-277V (120-277V) 120-277V (E-77)
NV-1 (E-78)	Type 78 (T78)	24 (14L)	600 (AMERICAN) 600 (E-78)	4000K (4000K) 4000K (E-78)	120-277V (120-277V) 120-277V (E-78)
NV-1 (E-79)	Type 79 (T79)	24 (14L)	600 (AMERICAN) 600 (E-79)	4000K (4000K) 4000K (E-79)	120-277V (120-277V) 120-277V (E-79)
NV-1 (E-80)	Type 80 (T80)	24 (14L)	600 (AMERICAN) 600 (E-80)	4000K (4000K) 4000K (E-80)	120-277V (120-277V) 120-277V (E-80)
NV-1 (E-81)	Type 81 (T81)	24 (14L)	600 (AMERICAN) 600 (E-81)	4000K (4000K) 4000K (E-81)	120-277V (120-277V) 120-277V (E-81)
NV-1 (E-82)	Type 82 (T82)	24 (14L)	600 (AMERICAN) 600 (E-82)	4000K (4000K) 4000K (E-82)	120-277V (120-277V) 120-277V (E-82)
NV-1 (E-83)	Type 83 (T83)	24 (14L)	600 (AMERICAN) 600 (E-83)	4000K (4000K) 4000K (E-83)	120-277V (120-277V) 120-277V (E-83)
NV-1 (E-84)	Type 84 (T84)	24 (14L)	600 (AMERICAN) 600 (E-84)	4000K (4000K) 4000K (E-84)	120-277V (120-277V) 120-277V (E-84)
NV-1 (E-85)	Type 85 (T85)	24 (14L)	600 (AMERICAN) 600 (E-85)	4000K (4000K) 4000K (E-85)	120-277V (120-277V) 120-277V (E-85)
NV-1 (E-86)	Type 86 (T86)	24 (14L)	600 (AMERICAN) 600 (E-86)	4000K (4000K) 4000K (E-86)	120-277V (120-277V) 120-277V (E-86)
NV-1 (E-87)	Type 87 (T87)	24 (14L)	600 (AMERICAN) 600 (E-87)	4000K (4000K) 4000K (E-87)	120-277V (120-277V) 120-277V (E-87)
NV-1 (E-88)	Type 88 (T88)	24 (14L)	600 (AMERICAN) 600 (E-88)	4000K (4000K) 4000K (E-88)	120-277V (120-277V) 120-277V (E-88)
NV-1 (E-89)	Type 89 (T89)	24 (14L)	600 (AMERICAN) 600 (E-89)	4000K (4000K) 4000K (E-89)	



LOGO

**RIDGE TOP**  
ENGINEERING & SURVEYING  
541 E. Garden Drive,  
Unit W Windsor, CO 80550  
(870) 663-4552  
w\_ridgepeng.com

SEAL

PROJECT TITLE

**MEADOWS ON  
THE PARKWAY**

SW CORNER OF  
BASELINE RD AND  
THE MEADOWS ST

PREPARED FOR

**PHILIPS EDISON &  
COMPANY**

3247 SANTA FE ROAD  
PARK CITY, UT 84098

SUBMITTAL

SITE PLAN REVIEW

DRAWN BY:

CHECKED BY:

MRB

PROJECT NO.:

24-138-004

REVISIONS


DATE

02/12/2025

SHEET TITLE

**FINAL LANDSCAPE  
PLAN**

SHEET INFORMATION

L1.0

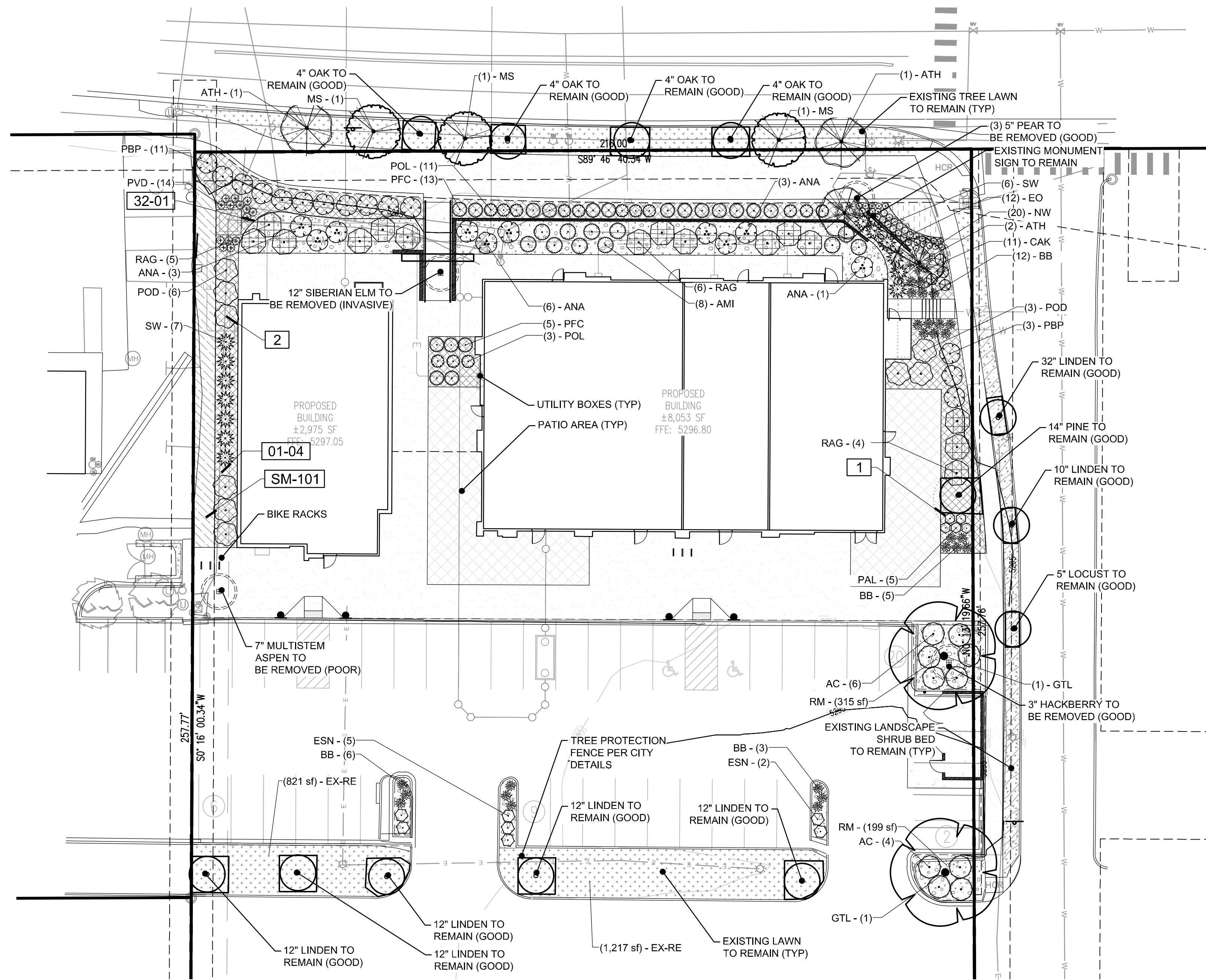
8

or

9

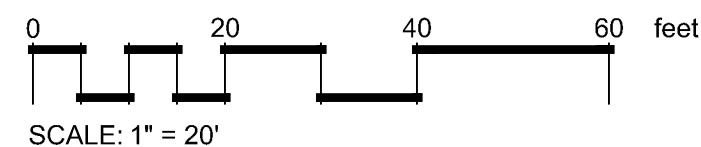
# LOT 2, THE MEADOWS ON THE PARKWAY SITE PLAN REVIEW

LOT 2, THE MEADOWS ON THE PARKWAY,  
NE 1/4 OF THE NW 1/4 OF SECTION 4, TOWNSHIP 1 SOUTH, RANGE 70 WEST,  
CITY AND COUNTY OF BOULDER, STATE OF COLORADO



## LANDSCAPE PLAN

SCALE: 1" = 20'



### LANDSCAPING REQUIREMENTS

LANDSCAPE SETBACKS (or Double Frontage Lot Streetscapes)	Designation LS
Street Name or Zone Boundary (elev.) Baseline Rd	Street Classification Major Arterial
Width (in ft.) 25 / 25	Linear Footage 216
Tree/Foot Required 1 / 25	No. of Trees Req./Prov. 9 / 9 (4 existing)*
*Utility conflicts exist	
MOTOR VEHICLE LOTS MV	Designation MV
No. of Vehicle Spaces Provided 36 - 12,870 sf	Interior Parking Lsp Required / Provided 5% - 644 sf / 2700 sf
Frontage Screening Provided (LF)	Evergreen LF Req.(50%) / Prov. 3 / 7 (5 existing)
	Parking Space Frontage (sf)
	Length of Frontage (ft.) (excluding driveways)
	2/3 Length of Frontage (ft.)
NO PUBLIC ROW PARKING FRONTAGE EXISTS AS PROPOSED	
OVERALL LANDSCAPING	Designation
Landscape Area (total sf on site) 6,707	Trees (1 / 1500 SF) Required / Provided 5 / 5 (5 existing)
	Overall Shrubs Req/Prov 23 / 23 + cover
	Percent Ground Plane Veg. Req. / Provided 75% / 86 %
	High Water Use Lawn Area 24.24% proposed

TREES SHALL MAINTAIN A 10-FOOT MINIMUM  
SEPARATION FROM WATER AND WASTEWATER MAINS AND A 6-FOOT  
MINIMUM SEPARATION FROM ELECTRIC AND GAS DISTRIBUTION LINES

EXISTING LAWN AREAS TO RECEIVE SPRAY / ROTARY OVERHEAD  
IRRIGATION

SHRUB BED AREAS TO RECEIVE DRIP IRRIGATION

TREE PROTECTION FOR CONSTRUCTION  
SITES - for standard tree protection procedures. An  
applicant for construction approval shall provide  
maintenance and care for existing trees required to  
be protected on site and in the public right-of-way  
adjacent to any project or construction site during  
construction activities and the public improvement  
warranty period to ensure that existing trees survive  
and are not damaged. Protection fencing must be in  
place prior to the commencement of construction  
activities or any site disturbance (stockpiling,  
vehicle tracking, demolition, utility work, etc.).

Low Grow Native Seed Mix
PBSI Low Grow Native Mix: Sandberg Bluegrass Rocky Mountain Fescue Canby Bluegrass
Rate: 5 lbs/1000 sf (PLS)

Turf Type Tall Fescue
Buffalo Brand Emerald III TTTF
Rate: 8-12 lbs/1000 sf (PLS)

### REFERENCE NOTES SCHEDULE

CODE	DESCRIPTION
1	PLACE SHREDDED CEDAR MULCH AROUND BASE OF ALL PERENNIALS AND GRASSES IN LARGE COBBLE AREAS. MASSSED PERENNIALS TO RECEIVE LARGE RING AROUND ENTIRE GROUP (TYP).
2	MINIMUM 3' ROOTBALL OFFSET FROM BUILDING, TYP.
01-04	SEED ALL DISTURBED AREAS WITH NATIVE LOW GROW MIX UNLESS OTHERWISE NOTED.

#### 32 LANDSCAPE IMPROVEMENTS

32-01	14 G ROLL TOP STEEL EDGING, STAKED 30" OC MAX.
SM-101	ALL SEEDED AREAS TO BE AMENDED AND HYDROSEEDDED. PLACE EROSION CONTROL MAT ON ALL SLOPES EXCEEDING 4:1.

### PLANT SCHEDULE

QTY FOR REFERENCE ONLY.  
VERIFY ALL COUNTS PER PLAN

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	MATURE SIZE H x W (feet)
TREES					
	EX-REM	6	REMOVE AS INDICATED / EXISTING TREE TO BE REMOVED	EX	
	EX-RET	13	TO REMAIN- PROTECT DURING CONSTRUCTION / EXISTING TREE TO REMAIN	EX	
ORNAMENTAL TREES					
	ATH	4	ACER TATARICUM 'HOT WINGS' / HOT WINGS TATARIAN MAPLE	1.5" B&B	20 X 20
	MS	3	MALUS X 'SPRING SNOW' / SPRING SNOW CRAB APPLE - FRUITLESS	1" B&B	20 X 20
SHADE TREES					
	GTL	2	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER' TM / SHADEMASTER LOCUST	2" B&B	30 X 50
SHRUBS					
	ANA	10	AMELANCHIER ALNIFOLIA 'REGENT' / REGENT SERVICEBERRY	4' HT	6 X 6
	AC	10	ARCTOSTAPHYLOS X COLORADOENSIS 'CHIEFTAIN' / MANZANITA	5 GAL	1.5 X 6
	AMI	11	ARONIA MELANOCARPA 'IROQUIS BEAUTY' / DWARF CHOKEBERRY	5 GAL	4 X 4
	CD	4	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SHRUB	5 GAL	3 X 3
	ESN	7	ERICAMERIA NAUSEOSA SPECIOSA / DWARF BLUE RABBITBRUSH	5 GAL	3 X 3
	PAL	5	PEROVSKIA ATRIPPLICIFOLIA 'LITTLE SPIRE' / DWARF RUSSIAN SAGE	5 GAL	3 X 3
	POD	9	PHYSOCARPUS OPULIFOLIUS 'DIABLO' / DIABLO NINEBARK	5 GAL	7 X 7
	POL	14	PHYSOCARPUS OPULIFOLIUS 'LITTLE DEVIL' / DWARF PURPLE NINEBARK	5 GAL	3.5 X 3.5
	PFC	18	POTENTILLA FRUTICOSA 'MCKAY'S WHITE' / WHITE POTENTILLA	5 GAL	3.5 X 3.5
	PBP	14	PRUNUS BESSEYI 'PAWNEE BUTTES' / SAND CHERRY	5 GAL	1.5 X 6
	RAG	16	RHUS AROMATICA 'AUTUMN AMBER' / LOW GRO SUMAC	5 GAL	1 X 7
GRASSES					
	BB	26	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLUE GRAMA	1 GAL	3 X 3
	CAK	11	CALAMAGROSTIS X ACUTIFLORA / FEATHER REED GRASS	1 GAL	5 X 2.5
	PVD	14	PANICUM VIRGATUM 'DALLAS BLUES' / DALLAS BLUES SWITCH GRASS	1 GAL	5 X 2.5
	SW	13	SPOROBOLUS WRIGHTII / BIG SACATON	1 GAL	5 X 5
PERENNIALS					
	EO	12	EPILOBIUM CANUM 'ORANGE CARPET' / CALIFORNIA FUSCHIA	1 GAL	1 X 2
	NW	20	NEPETA X FAASSENII 'LITTLE TRUDY' / DWARF CATMINT	1 GAL	1 X 2

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT
GROUND COVERS				
	ANN	97 SF	ANNUAL PLANTING	NONE
	EX-RE	2,038 SF	EX TURF TO REMAIN / ON-SITE, EXISTING TURF	21% OF ON-SITE LANDSCAPE
	EXT-RE	1,680 SF	EX TURF TO REMAIN - OFF SITE / PROTECT DURING CONSTRUCTION	EX
	SHTR	640 SF	EXISTING SHRUB BED TO REMAIN / OFF-SITE	EX
MULCHES				
	RM	2,580 SF	ROCK MULCH / RIVER ROCK 1"-2"	MULCH
	WM	2,969 SF	SHREDDED CEDAR MULCH / WOOD MULCH	MULCH
SOD/SEED				
	LGNS	603 SF	PBSI LOW GROW NATIVE	SEED



**PHOENIX  
LANDSCAPE  
ARCHITECTURE**  
Professional  
Landscape  
Architects



Know what's below.  
Call before you dig.



GENERAL NOTES

(Note: All references to "Contractor" are specific to "Landscape Contractor" unless notified as "General or other type of Contractor")

- CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF MATERIALS NEEDED TO COMPLETE THIS PLAN IN THE FIELD. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND CONDITIONS IN THE FIELD. SUBSTITUTIONS OF PLANT MATERIAL ARE NOT ALLOWED WITHOUT APPROVAL FROM LANDSCAPE ARCHITECT GIVEN PRIOR TO INSTALLATION. GRAPHIC QTY'S PREVAIL OVER WRITTEN QTY'S. PRIOR TO COMMENCEMENT OF WORK THE LANDSCAPE CONTRACTOR SHALL CONTACT OWNERS REPRESENTATIVE FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING AND SCOPE OF WORK.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEFICIENCIES OR DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. ANY CHANGES FROM THE APPROVED PLANS MAY REQUIRE APPROVAL FROM THE CITY OR COUNTY PLANNING DEPARTMENTS. LANDSCAPE CONTRACTOR TO PROVIDE ALL LABOR AND MATERIALS NECESSARY TO FURNISH SCOPE OF WORK AS SHOWN PER PLAN.
- EXISTING TOPSOIL IS TO BE STOCKPILED AND USED TO ESTABLISH FINAL GRADES WITHIN LANDSCAPE AREAS. ALL STOCKPILED SOIL MUST BE CLEAR OF WEEDS, ROCKS AND DEBRIS BEFORE REUSE. ALL BERMED PLANTING BEDS TO BE CREATED WITH IMPORTED TOPSOIL.
- GENERAL CONTRACTOR TO RE-SPREAD STOCKPILED SOIL AND ESTABLISH ROUGH GRADE CONDITIONS TO THE FOLLOWING SPECIFICATIONS:  
A. 1" BELOW CURB FOR ALL SEEDED AREAS.  
B. 2.5" BELOW CURB FOR ALL SODDED AREAS.  
C. 4" BELOW CURB FOR ALL PLANTING, ROCK AND MULCH BEDS.
- CONTRACTOR TO TILL PARKING LOT ISLANDS TO A DEPTH OF 30".
- AMEND ALL PLANTING BEDS WITH CLASS 1 COMPOST. APPLY AT RATE OF 4 CYDS. PER 1000 SQUARE FEET TO ALL PLANTING BEDS AND MANICURED LAWN AREAS, AND 2 CYDS. PER 1000 SQUARE FEET FOR SEEDDED AREAS. TILL, MIXING THOROUGHLY, INTO THE UPPER 8" OF SOIL.
- FINE GRADE TO BE ESTABLISHED BY LANDSCAPE CONTRACTOR. FINE GRADE SHALL BE FREE OF ROCKS AND DEBRIS. FINE GRADE IN SEED AREAS SHALL BE FREE FROM ROCKS AND DEBRIS ½" AND GREATER. FINE GRADE IN SODDED AREAS SHALL BE FREE FROM ROCKS AND DEBRIS ¼"AND GREATER. CONTRACTOR TO REPORT ANY POOR DRAINAGE CONDITIONS PRIOR TO CONSTRUCTION.
- CONTRACTOR IS TO PROVIDE VERIFICATION THAT ALL SOD AND SEED IS OF THE SPECIES SHOWN ON THIS PLAN. NO SUBSTITUTIONS WILL BE ALLOWED. SOD TO BE LAID WITH TIGHT STAGGERED EDGES AND BE ROLLED AFTER INSTALLATION. SEEDDED AREAS CANNOT BE SUBSTITUTED WITH SOD.
- MULCHS: ALL PLANTING BEDS THAT CALL FOR WOOD MULCH TO RECEIVE 4" ORGANIC SHREDDED BARK MULCH. SHREDDED MULCH IS TO BE OF FIBROUS MATERIAL, NOT CHIPS OR CHUNKS. NO FABRIC IS TO BE PLACED UNDER WOOD/ORGANIC MULCH. ALL MULCHED BEDS ARE TO BE SPRAYED WITH WATER AFTER INSTALLATION TO HELP MULCH TO MAT DOWN.

ALL AREAS THAT CALL FOR COBBLE/ROCK MULCH TO RECEIVE MIN. 3" DEPTH, UNLESS NOTED OTHERWISE.

TREES IN COBBLE/ROCK MULCH, SOD AND SEEDDED AREAS TO RECEIVE 4" DIAMETER OF WOOD MULCH RING, 3" DEEP. SHRUBS AND GROUNDCOVERS IN COBBLE/ROCK MULCH SOD AND SEEDDED AREAS TO RECEIVE A WOOD MULCH RING AT 2X DIAMETER OF ROOT BALL, 3" DEPTH. NO FABRIC UNDERLAYMENT IN WOOD MULCH RINGS.

LOT 2, THE MEADOWS ON THE PARKWAY  
SITE PLAN REVIEW

LOT 2, THE MEADOWS ON THE PARKWAY,  
NE 1/4 OF THE NW 1/4 OF SECTION 4, TOWNSHIP 1 SOUTH, RANGE 70 WEST,  
CITY AND COUNTY OF BOULDER, STATE OF COLORADO

- SEED MIX INSTALLATION: CONTRACTOR TO DRILL SEED WITH BRILLION TYPE APPLICATOR AND APPLY 'SOIL GUARD' BONDED FIBER MATRIX (BFM), WHERE INDICATED PER PLAN AND SCHEDULES. APPLY SEED IN TWO DIRECTIONS (PERPENDICULAR OF THE OTHER) ADD SOIL GUARD BFM FOR DRILL SEEDING WHERE NOTED PER PLAN AND ON ALL SLOPES 5:1 TO 3:1. FOR AREAS WITH 3:1 SLOPES OR GREATER CONTRACTOR TO USE SOIL GUARD APPLICATION ONLY (IN LIEU OF HYDROMULCH) CONTRACTOR TO SPOT SEED NON-GERMINATING AREAS (3) MONTHS AFTER INITIAL SEED APPLICATION. CONTRACTOR TO RE-SEED ALL BARE AREAS (8"x6") AND GREATER AFTER (6) MONTHS FROM SEED GERMINATION OR AT THE BEGINNING OF THE FOLLOWING GROWING SEASON. PRIOR TO THE 11-MONTH WARRANTY INSPECTION RE-APPLY SOIL GUARD AND SEED MIX TO ALL BARE AREAS (8"x6" OR GREATER) AND TO ALL BARE AREAS (4"x4" OR GREATER) ON ALL SLOPES 3:1 AND GREATER.
- REMOVED DEAD TWIGS AND BRANCHES FROM ALL NEW AND EXISTING PLANT MATERIAL IN A MANNER THAT DOES NOT CHANGE THE NATURAL HABIT OF THE PLANT MATERIAL. SCARES OF 1" OR MORE SHALL BE PAINTED WITH ORGANIC TREE PAINT. CENTRAL LEADERS SHALL NOT BE REMOVED AT ANY TIME. NEWLY PLANTED TREES WITHOUT CENTRAL LEADERS WILL BE REJECTED.
- CONTRACTOR TO APPLY FERTILIZER IN SPRING & LATE SEPTEMBER. WATER THOROUGHLY AFTER APPLICATION OF FERTILIZERS.

ALL SEEDDED AND SODDED AREAS TO HAVE RECOMMEND FERTILIZER APPLICATIONS ADDED ONCE IN MID TO LATE JUNE AND ONCE IN LATE SEPTEMBER. WATER THOROUGHLY AFTER APPLICATION OF FERTILIZERS.

- ALL PLANT MATERIALS AND UTILITIES ARE SHOWN AT AN APPROXIMATE LOCATIONS. THE CONTRACTOR MAY NEED TO ADJUST LOCATIONS OF PLANT MATERIAL TO ADHERE TO SPECIFIC ON-SITE CONDITIONS AND CODE REQUIREMENTS. ALL TREES AND SHRUBS TO BE PLACES AT 2' MINIMUM BACK OF CURB. CONTRACTOR TO CALL FOR UTILITY LOCATES BEFORE PLANTING (TYP.) 1-800-922-1987, OR CALL 811 BEFORE YOU DIG!
- STEEL EDGING TO BE USED TO SEPARATE ALL TURF AND/OR SEEDDED AREAS FROM PLANTING BEDS. USE PERFORATED EDGING SEGMENTS TO OBTAIN POSITIVE DRAINAGE FOR ALL DRAINAGE SWALES OR AREAS OF STANDING WATER.
- CONTRACTOR TO PROVIDE COBBLE & UNDERLAYMENT FOR BUILDING DRAINS AND SWALES THROUGH LANDSCAPED AREAS.
- ALL REQUIRED LANDSCAPING TO BE INSTALLED PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- ALL NURSERY STOCK TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI z60.1) AND THE COLORADO NURSERY ACT.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING LANDSCAPE ARCHITECT FOR ALL REQUIRED INSPECTIONS. PROVIDE AT LEAST 48 HOURS NOTICE TO SCHEDULE AN INSPECTION. REQUIRED INSPECTIONS INCLUDE A LANDSCAPE LAYOUT AND PLANT MATERIAL VERIFICATION AND PLACEMENT INSPECTION, IRRIGATION MAIN LINE INSPECTION, LANDSCAPE AND IRRIGATION PUNCH LIST INSPECTION, AND A LANDSCAPE AND IRRIGATION FINAL INSPECTION.

- CONTRACTOR IS TO PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIAL, TURF, IRRIGATION COMPONENTS, AND WORKMANSHIP. REPLACEMENT PLANT MATERIALS SHALL BE OF THE SAME SPECIES AND SIZE AS THE DECAYED OR DEAD PLANT MATERIAL. WARRANTY IS VOID IF PLANT MATERIAL ARE UNDER OR OVER-WATERED/FERTILIZED, DAMAGED BY VANDALISM OR NEGLECTED BY OWNER AFTER FINAL MAINTENANCE PERIOD AND FINAL ACCEPTANCE IS PROVIDED.

REMOVE ALL TREE STAKING MATERIALS AT END OF WARRANTY, PRIOR TO FINAL ACCEPTANCE

- MAINTENANCE: THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE AND IRRIGATION MAINTENANCE OF THIS SITE AND ANY RIGHT OF WAY AREAS BETWEEN THE CURB AND PROPERTY LINES OF THIS SITE. MAINTENANCE OF THIS SITE INCLUDES, BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, LANDSCAPE WEEDING, MOWING, SEEDING, FERTILIZATION, WOOD MULCH AND ROCK COVER REPLACEMENT, PRUNING, AND PLANT MATERIAL REPLACEMENT (INCLUDING ANNUAL BEDS). ALL MAINTENANCE SHOULD BE IN ACCORDANCE WITH STANDARDS SPECIFIED WITHIN THE "ALCC SPECIFICATIONS HANDBOOK" REVISED EDITION- 1996. OWNER SHOULD CONTACT LANDSCAPE CONTRACTOR OR LANDSCAPE ARCHITECT REGARDING ANY QUESTIONS RELATING TO THE LANDSCAPE OR IRRIGATION MAINTENANCE OF THIS SITE.

EXISTING TREES  
EXISTING TREES DESIGNATED ON PLANS AS "TO REMAIN", OR MARKED FOR PROTECTION AND PRESERVATION IN THE FIELD, SHALL NOT BE REMOVED OR DAMAGED.

NO GRADING TO OCCUR WITHIN THE CRITICAL ROOT ZONE / DRIP LINE OF EXISTING TREES. ALL GRADING AROUND EXISTING TREES TO REMAIN SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.

PRIOR TO CONSTRUCTION, ALL PROTECTED TREES SHALL HAVE ORANGE PROTECTION BARRIER FENCING ERECTED AT A HEIGHT OF 3' OR GREATER, FENCING TO BE SUPPORTED BY STURDY STOCK, CAPABLE OF SUPPORTING FENCING UNTIL ALL CONSTRUCTION OPERATIONS ARE COMPLETED. PLACE NO CLOSER THAN 6' FROM TRUNK, OR ONE HALF (½) OF THE DRIP LINE, WHICHEVER IS GREATER. WITHIN THE PROTECTED ZONE THERE SHALL BE NO MOVEMENT OF EQUIPMENT OR STORAGE OF EQUIPMENT, MATERIALS, WAIST, DEBRIS, OR FILL, UNLESS APPROVED BY THE LANDSCAPE ARCHITECT.

AVOID CUTTING SURFACE ROOTS WHEREVER POSSIBLE. SIDEWALKS AND PAVING LEVELS SHOULD BE CONTOURED SUFFICIENTLY TO AVOID SUCH. ROOT CUTS FROM EXCAVATION SHOULD BE DONE RAPIDLY. SMOOTH FLUSH CUTS SHOULD BE MADE. BACKFILL BEFORE ROOTS HAVE A CHANCE TO DRY OUT, AND THOROUGHLY WATER THE TREE IMMEDIATELY.

IRRIGATION NOTES

ALL TURF AREAS TO BE IRRIGATED WITH AN AUTOMATIC POP-UP SPRINKLER SYSTEM. ALL SHRUBS BEDS TO BE IRRIGATED WITH AUTOMATIC DRIP IRRIGATION SYSTEM. THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO MEET THE NEEDS OF INDIVIDUAL PLANT MATERIAL.

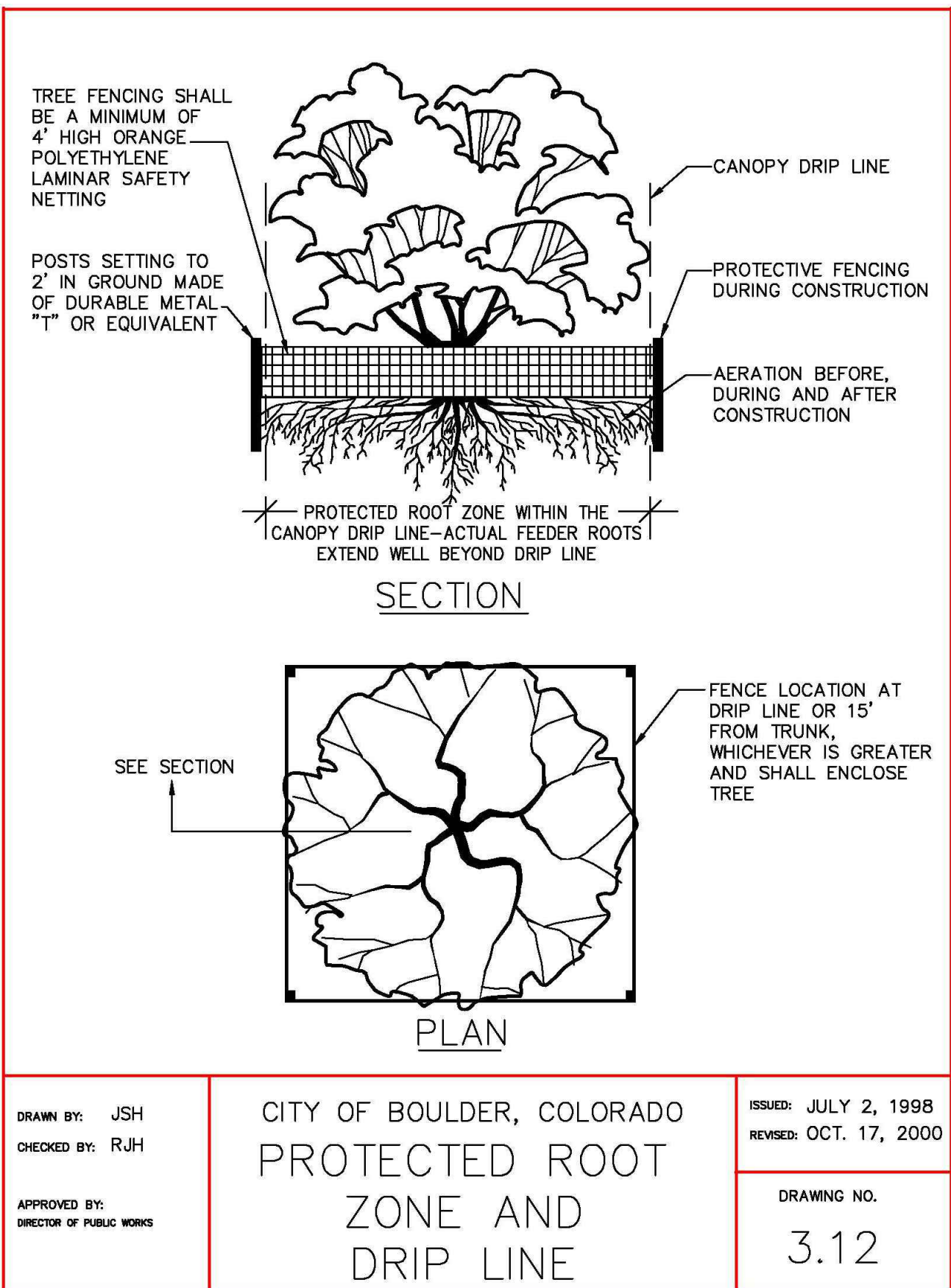
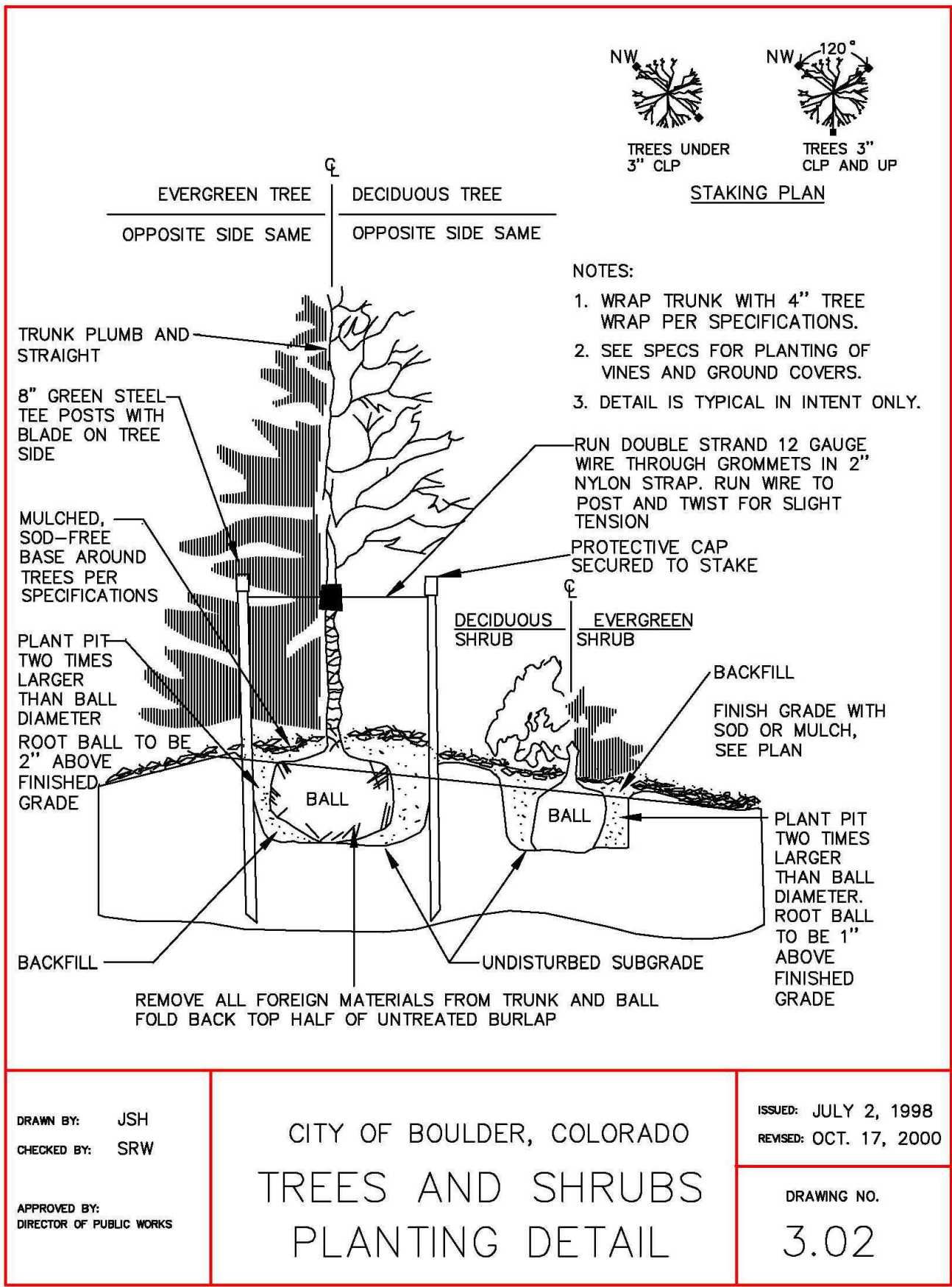
IRRIGATION SYSTEM TO BE ADJUSTED AS NEEDED FOR PLANT ESTABLISHMENT FOR A PERIOD OF AT LEAST ONE (1) YEAR.

ADJUSTMENTS TO BE MADE AFTER ESTABLISHMENT BASED ON SPECIFIC PLANT REQUIREMENTS. SEE SUGGESTED RUN TIMES PROVIDED WITHIN THESE PLANS.

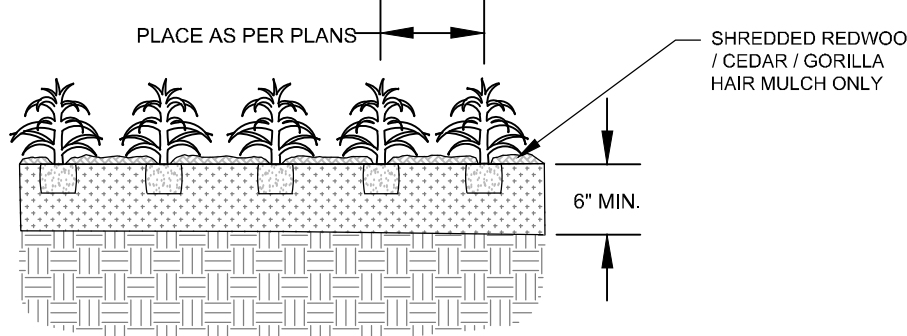
DESIGN OF IRRIGATION SYSTEMS TO MEET OR EXCEED LOCAL REQUIREMENTS AND INDUSTRY STANDARDS. CONSTRUCTION DOCUMENTS SUITABLE FOR DEVELOPMENT COORDINATION TO BE PROVIDED.

IRRIGATION SYSTEM TO BE DESIGNED USING APPROPRIATE COMPONENTS FOR PLANT MATERIAL, AND WILL INCLUDE A SMART ET CONTROLLER AND RAIN SENSOR.

ALL NATIVE SEED AREAS TO BE TEMPORARILY IRRIGATED.



- NOTES:
1. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
  2. PLANT GROUND COVERS AND PERENNIALS LEVEL AND AT GRADE.
  3. PRUNE ALL DEAD OR BROKEN PARTS PRIOR TO PLANTING.
  4. AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
  5. ALL PERENNIALS PLANTED IN ROCK MULCH AREAS TO HAVE ORGANIC MULCH RINGS AROUND THE BASE OF THE PLANT.



PERENNIAL/GROUNDCOVER PLANTING DETAIL  
NOT TO SCALE





LOT 2, THE MEADOWS ON THE PARKWAY  
SITE PLAN REVIEW

LOT 2, THE MEADOWS ON THE PARKWAY,  
NE 1/4 OF THE NW 1/4 OF SECTION 4, TOWNSHIP 1 SOUTH, RANGE 70 WEST,  
CITY AND COUNTY OF BOULDER, STATE OF COLORADO

LEGEND

- ASPHALTIC CONCRETE PAVEMENT
- PORTLAND CEMENT CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- PATIO
- LANDSCAPE
- PROPERTY LINE
- SETBACK
- EDGE OF PAVEMENT
- CURB AND GUTTER
- SAW CUT
- BUILDING
- WALL

LOGO

**RIDGE TOP**  
ENGINEERING & SURVEYING  
541 E. Garden Drive, T. (970) 663-4562  
Unit N Windsor, CO 80550 W. ridgetopeng.com

SEAL

PROJECT TITLE

MEADOWS ON  
THE PARKWAY

SW CORNER OF  
BASELINE RD AND  
THE MEADOWS ST

PREPARED FOR

PHILIPS EDISON &  
COMPANY

3247 SANTA FE ROAD  
PARK CITY, UT 84098

SUBMITTAL

SITE PLAN REVIEW

DRAWN BY: KNW

CHECKED BY: MRB

PROJECT NO.: 24-138-004

REVISIONS

DATE

04/29/2025

SHEET TITLE

OPEN SPACE  
DIAGRAM

SHEET INFORMATION

C-1.0

3 of 9

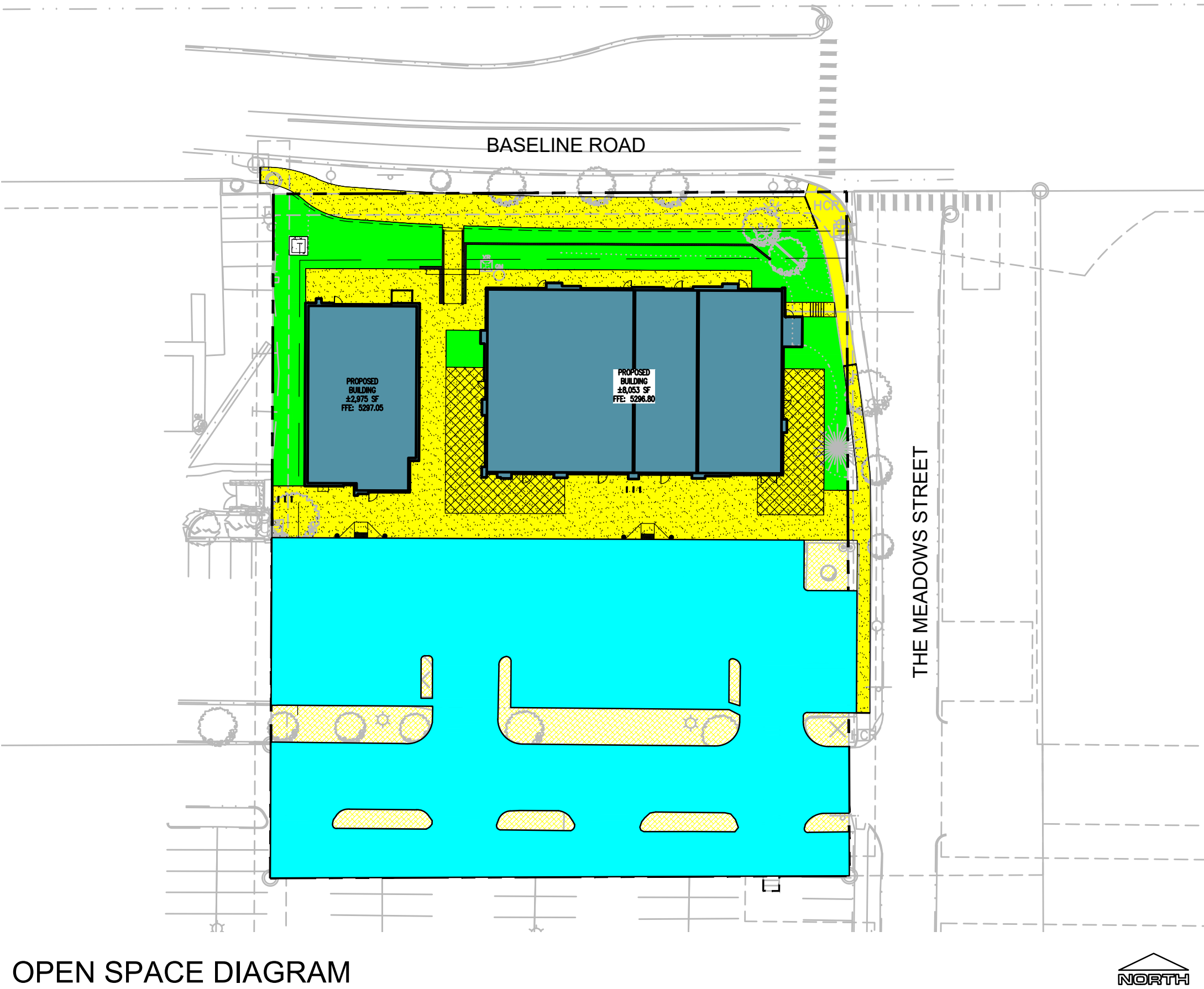
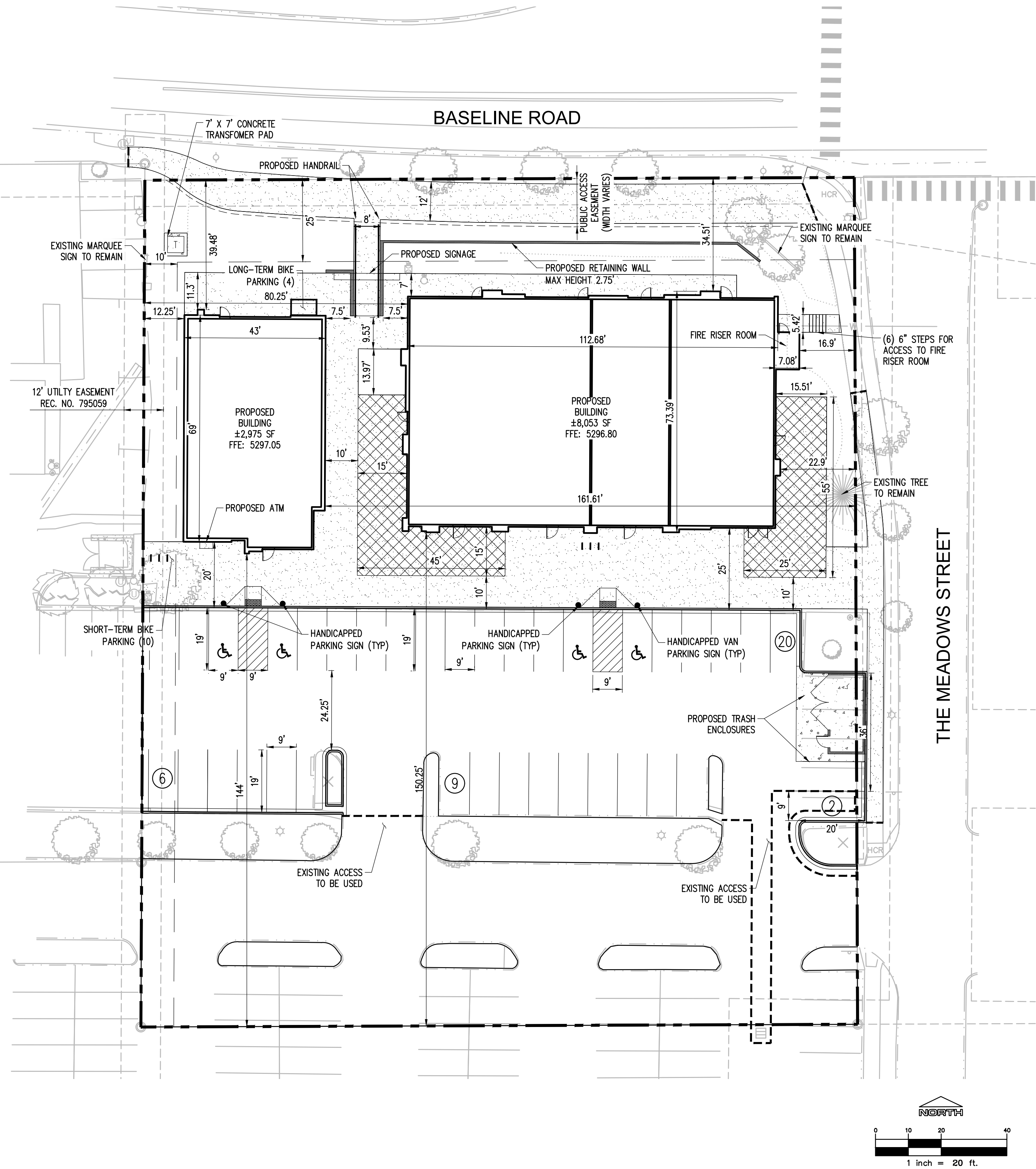


Know what's below.  
Call before you dig.

OPEN SPACE DIAGRAM

SCALE: 1" = 40'

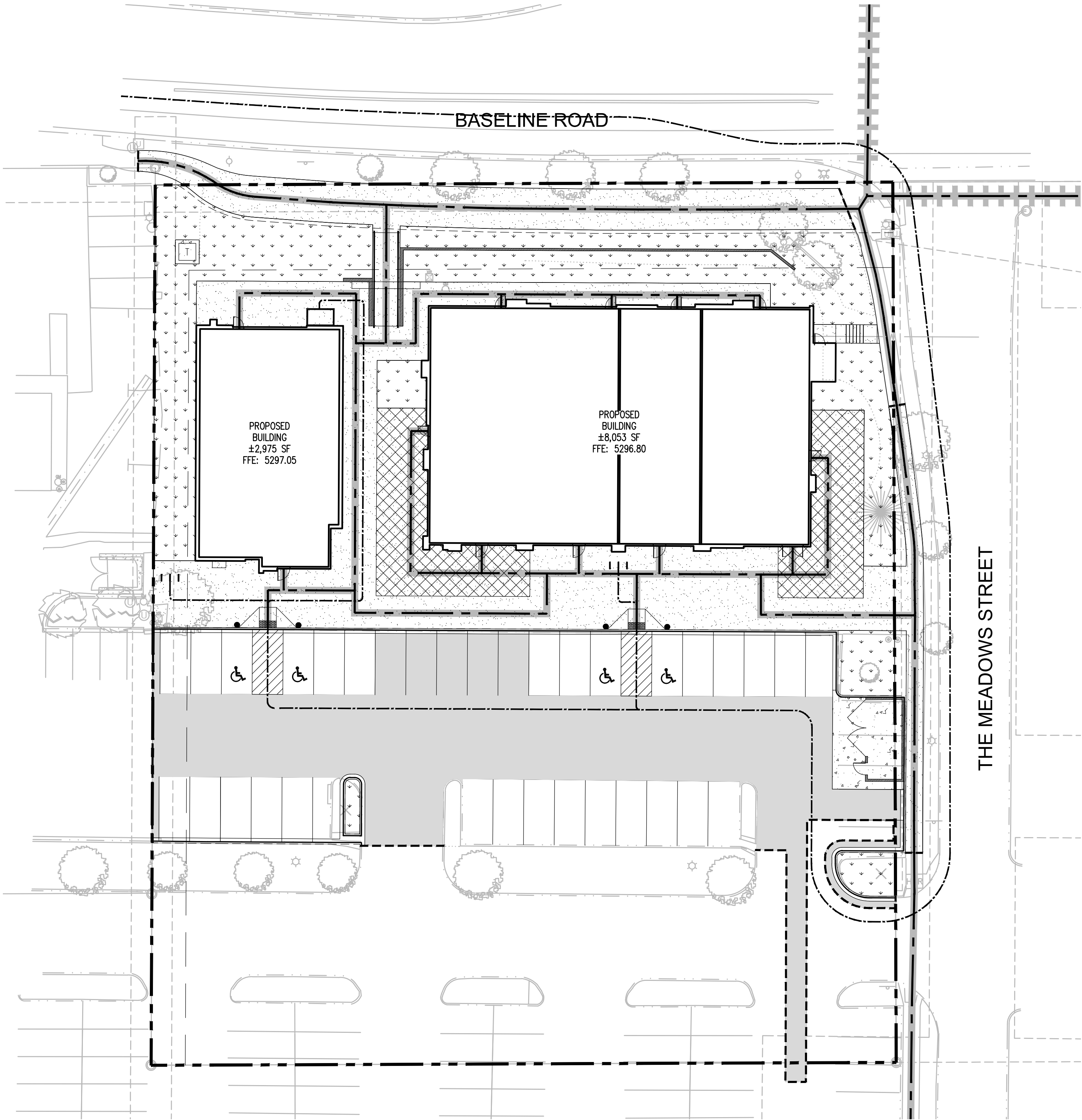
OPEN SPACE SUMMARY TABLE			
TOTAL LOT AREA		55,960 SF	PERCENTAGE
	BUILDING AREA	±11,030 SF	19.70%
	TOTAL DRIVE & PARKING LOT	±24,261 SF	43.35%
OPEN SPACE AREA		17,797 SF	31.80%
	WALKS & PATIO	±12,272 SF	21.93%
	LANDSCAPE AREAS	±5,525 SF	9.87%
	INTERIOR PARKING LOT LANDSCAPE	±3,599 SF	6.43%





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LEGEND

- PEDESTRIAN ACCESS PATHWAY
- ADA ACCESSIBLE PATHWAY
- BIKE CIRCULATION PATH
- PROPERTY LINE
- SETBACK
- EDGE OF PAVEMENT
- CURB AND GUTTER
- SAW CUT
- BUILDING
- WALL

LOGO

**RIDGE TOP**  
ENGINEERING & SURVEYING  
541 E. Garden Drive, Unit N Windsor, CO 80550  
T (970) 663-4552 W ridgetopeng.com

PROJECT TITLE

MEADOWS ON THE PARKWAY

SW CORNER OF  
BASELINE RD AND  
THE MEADOWS ST

PREPARED FOR

PHILIPS EDISON &  
COMPANY

3247 SANTA FE ROAD  
PARK CITY, UT 84098

SUBMITTAL

SITE PLAN REVIEW

DRAWN BY: AJIS  
CHECKED BY: MRB  
PROJECT NO.: 24-138-004

REVISIONS

RESUBMITTAL	05/05/25
RESUBMITTAL	06/23/25

DATE

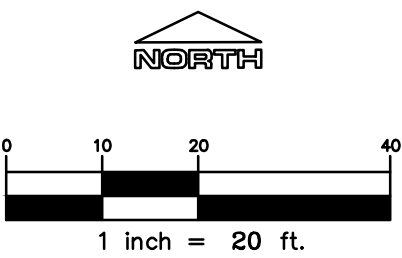
02/12/2025

SHEET TITLE

NON-VEHICULAR  
CIRCULATION  
EXHIBIT

SHEET INFORMATION

1 of 1







## **PHASING PLAN FOR THE SITE REVIEW AMENDMENT OF MEADOWS ON THE PARKWAY (LUR2025-00009)**

PHASE 1 includes the items listed below as shown the final approved site plan for site review LUR2025-00009 (the “site plan approval”) including the improvements and infrastructure as shown on the approved phasing plan for phase 1. Pursuant to 9-2-12(a), B.R.C. 1981, for phase 1 the three-year period in which the applicant shall obtain applicable building permit approvals and start construction shall commence on the date of final approval of the Site Review.

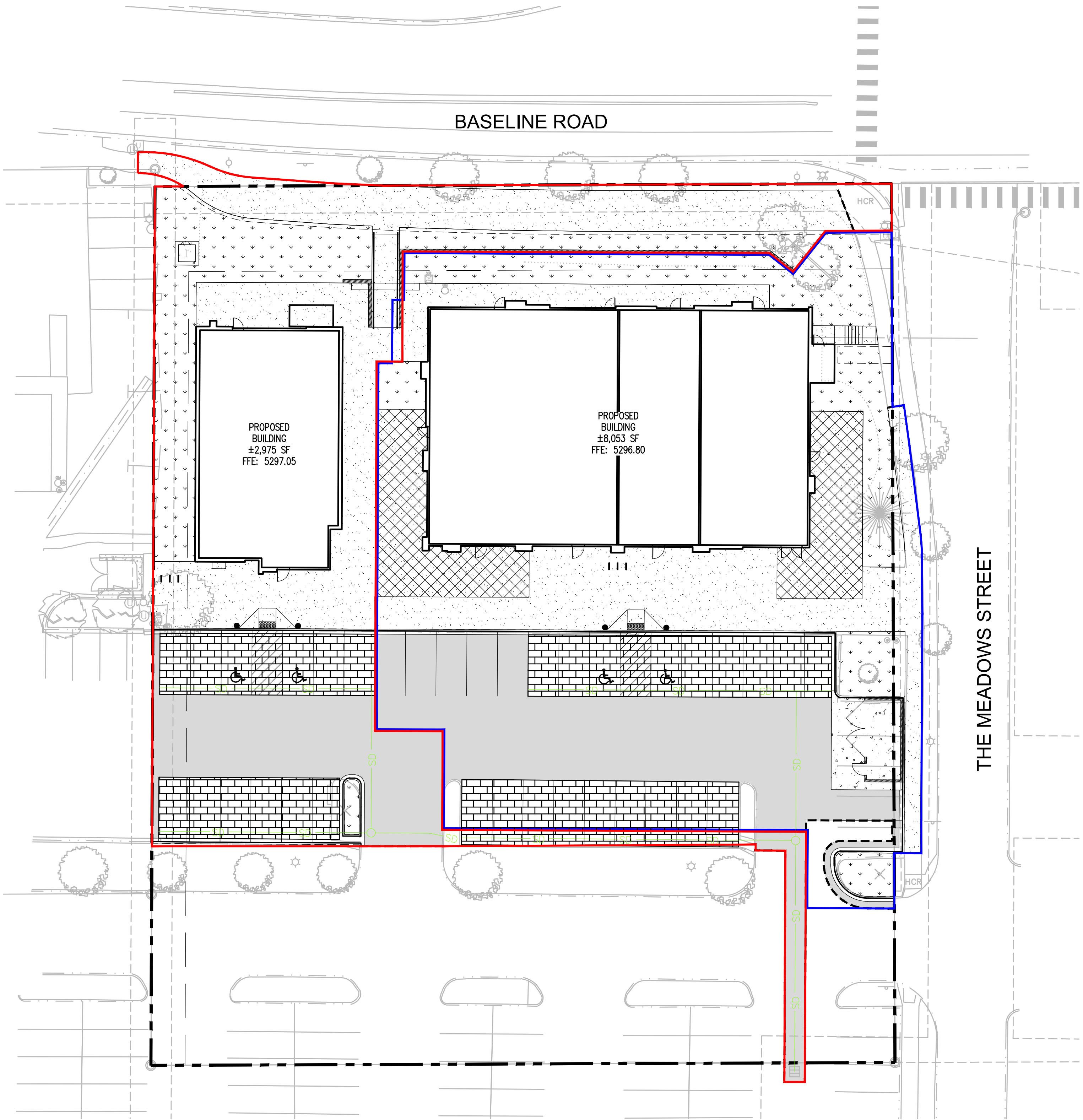
- Construct a 2,975 SF building on the vacant lot next to the existing building.
- Six new parking stalls directly in front of the building
- Installation of permeable pavers in the phase 1 parking section
- New sidewalks around the building
- Construct a new retaining wall along Baseline for the wider sidewalk
- Widen the sidewalk on Baseline to 12'
- Install new utilities including power, water and sewer and telco to the 2,975 SF building
- Landscape for the entire project to be installed in Phase 2
- Short term bike racks
- Elevations Bank will relocate into the new 2,975 SF building

PHASE 2 includes the items listed below as shown the final approved site plan Approval including the improvements and infrastructure as shown on the approved phasing plan for phase 2. Pursuant to 9-2-12(a) B.R.C. 1981, for Phase 2, the three year period in which the applicant shall obtain applicable building permit approvals and start construction shall commence on the date that is no later than three years after the final approval of the Site Review.

- Abatement of existing structure
- Demo existing structure on site
- Sidewalks and patios around the phase 2 area.
- Install new utilities including power, water, sewer, gas and telco
- Construct a new ramp down to the new baseline sidewalk.
- Construct new parking in front of the multi-tenant building
- Install permeable pavers in the phase 2 parking area
- Construct new trash enclosure for the multi-tenant building
- Complete all landscaping for the entire site.

LOT 2, THE MEADOWS ON THE PARKWAY  
SITE PLAN REVIEW

LOT 2, THE MEADOWS ON THE PARKWAY,  
NE 1/4 OF THE NW 1/4 OF SECTION 4, TOWNSHIP 1 SOUTH, RANGE 70 WEST,  
CITY AND COUNTY OF BOULDER, STATE OF COLORADO



LEGEND

- PROPERTY LINE
- SETBACK
- EDGE OF PAVEMENT
- CURB AND GUTTER
- SAW CUT
- BUILDING
- WALL
- PHASE 1 AREA
- PHASE 2 AREA

NOTE:  
PHASE 2 CONSISTS OF THE DEMOLITION OF THE EXISTING BUILDING AND  
AREA AROUND BUILDING. SEE 2 - DEMO PLAN ON THE SITE PLAN REVIEW  
SET FOR FULL DEMOLITION INFORMATION.

LOGO



SEAL

PROJECT TITLE

MEADOWS ON  
THE PARKWAY

SW CORNER OF  
BASELINE RD AND  
THE MEADOWS ST

PREPARED FOR

PHILIPS EDISON &  
COMPANY

3247 SANTA FE ROAD  
PARK CITY, UT 84098

SUBMITTAL

SITE PLAN REVIEW

DRAWN BY: AJIS  
CHECKED BY: MRB  
PROJECT NO.: 24-138-004  
REVISIONS  
RESUBMITTAL 05/05/25  
RESUBMITTAL 06/23/25

DATE

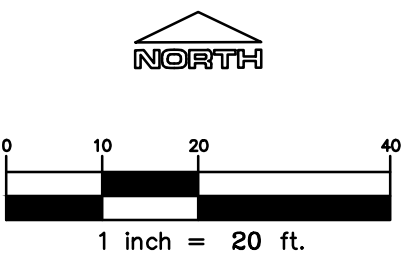
06/10/2025

SHEET TITLE

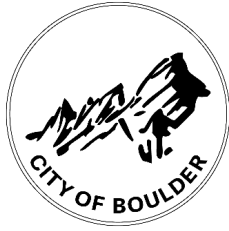
PHASING PLAN

SHEET INFORMATION

1 Of 1







## [Board/Commission Name] Memorandum

To: Mayor and Members of City Council

From: Staff contact name, title, department  
Department Director name, title

Subject: Board or Commission Name, Letter to City Council

Date: Month Day, Year

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Dear City Council,

The Planning Board offers the following suggestions for the staff work plan for 2025 - 2026.

We recognize that each of these suggestions may take more than one year to complete, whereas this Council is creating a one-year work plan. We also recognize that the Planning Department has a very full plate with the 10-year update of the BVCP. Therefore, please take these suggestions in the spirit of getting the ball rolling on big picture priorities, though the pieces that can be reasonably accomplished in one year may be only initial steps for some items.

1. **Ground Floor Retail.** First floor retail and commercial spaces are a key strategy for creating strong neighborhood centers and activating street life and are required in many zoning districts. However, when these retail and commercial spaces remain vacant for extended periods of time, especially in newer mixed-use developments, the lack of activation can undermine these goals. Commercial requirements have also become a frequent sticking point in Site Review processes, with no baseline data to evaluate requests for exceptions. The City would benefit from an unbiased study that evaluates whether current commercial requirements are feasible and appropriate, and which identifies policy options to ensure that commercial spaces are activated in a timely and consistent manner. Such a study would help the city strengthen the performance of new mixed-use projects, and ensure the continued vitality of neighborhood centers.

2. **Site Review evaluation and refinement.** Site Review is perhaps the most important land use review mechanism in the code, as well as the most complex: taking a project

through Site Review is challenging, time-consuming, and expensive. The City completed a major overhaul of the Site Review criteria in 2023 plus some additional process tweaks in 2024. Subsequent Site Review cases have revealed that there remain significant differences in interpretation of the criteria, leading to uncertainty for applicants, Planning Board, and staff. While some level of constructive conflict over new procedures is to be expected, we believe this is an opportune time to conduct an evaluation of how well the new criteria achieve the city's goals to simplify code, improve clarity and predictability, reduce subjectivity and risk, and improve project outcomes through the Site Review process. We suggest that the city design and implement such an evaluation in 2026, including gathering input from stakeholders in the development community, staff, and Planning Board members. This will help city staff identify inconsistencies or ambiguities in the current code and provide a basis for future refinement of the Site Review criteria, toward the aim of improved satisfaction with the Site Review process and outcomes, and hopefully less pressure from applicants and public for call-ups of Site Review cases.

**3. Missing Middle Housing.** During the recently concluded city council campaigns, “middle” housing was a frequent topic. Regardless of how you define it, we are missing middle-sized, middle-income, and middle-typology housing. Our current code does not incentivize this type of housing product. This is not a new topic for the council.

Our suggestion is to use the work done in late 2023 and early 2024, including the Keyser Marston study and ordinance 8601, and review what we've done to date. Based on the results, P&DS staff would revisit the prior recommendations and engage quickly with stakeholders. We would add or modify our code to provide further incentive for the building of more ownership-based middle housing.

**4. Pre-Approved Housing Plan Sets Program.** To support Boulder’s housing affordability, climate, and infill goals, the Planning Board recommends Council direct staff to explore a program offering pre-approved architectural building plans. Such a catalog would provide pre-vetted designs for narrow-lot homes, duplexes, and small-scale multifamily buildings that meet Boulder’s zoning and design standards. The goal is to reduce permitting time and development costs, especially for small builders, homeowners, and nonprofit housing developers, while ensuring design quality and neighborhood compatibility. Plan sets would be reviewed in advance for compliance with zoning, solar access, height limits, and other relevant codes. Optional considerations may include:

Incentives for affordability-linked use of pre-approved designs

Equity access to the program by small developers and homeowners

Integration with subcommunity and transit corridor plans



This tool would not mandate specific designs, but provide a streamlined pathway for development consistent with community goals.

**5. Prioritizing Area Plans.** Area Plans play a significant role in helping identify, codify and maintain unique qualities in parts of our city. In this time of increased pressure on our land to provide housing, it behooves us to remember what we love about our city and to plan ahead. We can begin prioritizing area plans over the next 12 months by selecting 2–3 key locations—such as Diagonal Plaza and other aging commercial nodes—where redevelopment pressure, community need, and long-term opportunity are already well- established. Staff can then develop a simple, time-bound work plan that sequences these areas, sets clear deliverables, and aligns with available staffing and budget. Early engagement with property owners, neighborhood groups, transportation planners, and service departments will help define the scope and streamline efforts before formal planning begins. Council can support this by directing staff to dedicate resources, setting expectations for milestones, and integrating area plan work into capital planning, housing strategy, and broader policy priorities. Even beginning the scoping and outreach phase in the coming year will demonstrate Boulder’s commitment to coordinated, predictable, and values-driven planning.

6. (To be developed by Claudia) Landscape/site design for shading/cooling

Thank you for considering our input as you prioritize your next one-year work plan.

Respectfully,

Mark McIntyre, Board Chair, City of Boulder Planning Board

(signature)

On behalf of the board: Jorge Boone, Claudia Hanson Thiem, Laura Kaplan, Kurt Nordback, ml Robles, Mason Roberts,