



**CITY OF BOULDER
PLANNING BOARD MEETING AGENDA**

DATE:

May 5, 2026

TIME: 6:00 PM

PLACE: Hybrid Meeting

1. CALL TO ORDER

2. PUBLIC PARTICIPATION

3. APPROVAL OF MINUTES

- A. April 7, 2026 Draft Planning Board Minutes are scheduled for approval.
- B. April 21, 2026 Draft Planning Board Minutes are scheduled for approval.

4. CALL UP ITEMS

- A. **Call Up Item:** Site and Use review for an Essential Municipal and Public Utility Service use in an RL-1 zone. The Site Review is to allow a second principal building on the subject site. The proposal is for the installation of one pre-fabricated, 360 square-foot structure and screening at 1190 S. Lashley Ln. The call-up period expires on May 7, 2026.

5. PUBLIC HEARING ITEMS

- A. **AGENDA TITLE:** Public hearing and recommendation to City Council regarding an ordinance amending Title 9, "Land Use Code," to create new use standards for special festival events, amend mobile food vehicle standards related to organized events, and amend the city's sign code to regulate signs that may be erected for the duration of a special festival event and associated review and approval processes, and setting forth related details.
- B. **AGENDA TITLE:** Concept Plan Review and Comment on a proposal to redevelop the existing Unity Church property at 2855 Folsom with 21 detached dwelling units. Reviewed under case no. LUR2026-00015.

6. MATTERS FROM THE PLANNING BOARD, PLANNING DIRECTOR, AND CITY ATTORNEY

7. DEBRIEF MEETING/CALENDAR CHECK

8. ADJOURNMENT

**CITY OF BOULDER PLANNING BOARD
VIRTUAL AND HYBRID MEETING GUIDELINES**

These guidelines apply to electronic meetings and hybrid meetings. Hybrid meetings permit simultaneous in-person and electronic participation.

CALL TO ORDER

The Board must have a quorum (four members present) before the meeting can be called to order.

AGENDA

The Board may rearrange the order of the agenda or delete items for good cause. The Board may not add items requiring public notice.

PUBLIC PARTICIPATION

The public is welcome to address the Board (3 minutes* maximum per speaker) during the Public Participation portion of the meeting regarding any item not scheduled for a public hearing. The only items scheduled for a public hearing are those listed under the category PUBLIC HEARING ITEMS on the Agenda. **Any exhibits introduced into the record must be provided to the Board Secretary for distribution to the Board and admission into the record via email 24 hours prior to the scheduled meeting time.**

DISCUSSION AND STUDY SESSION ITEMS

Discussion and study session items do not require motions of approval or recommendation.

PUBLIC HEARING ITEMS

A Public Hearing item requires a motion and a vote. The general format for hearing of an action item is as follows:

1. Presentations

- Staff presentation (10 minutes maximum*).
- Applicant presentation (15-minute maximum*). Any exhibits introduced into the record at this time must be provided to the Board Secretary by email, no later than 24 hours prior to the scheduled meeting time, for distribution to the Board and admission into the record.
- Planning Board questioning of staff or applicant for information only.

2. Public Hearing

Each speaker will be allowed an oral presentation of up to three minutes*. Three or more people may pool their allotted time so one speaker can speak for five minutes*. To pool time, all the people pooling time must be present in-person in the physical meeting room or present electronically when the spokesperson is called to speak. Speakers with pooled time must identify the people they are pooling time with by first and last name when called upon to speak, so they can be called upon to confirm their presence and willingness to pool their speaking time.

- Speakers should introduce themselves, giving name and address. If officially representing a person, entity, group, homeowners' association, etc., please state that for the record as well.
- The board requests that, prior to offering testimony, the speaker disclose any financial or business relationship with the applicant, the project, or neighbors. This includes any paid compensation. It would also be helpful if the speaker disclosed any membership or affiliation that would affect their testimony.
- Speakers are requested not to repeat items addressed by previous speakers other than to express points of agreement or disagreement. Refrain from reading long documents and summarize comments wherever possible. Documents and other physical evidence must be submitted via email 24 hours prior to the scheduled meeting to become a part of the official record.
- Speakers should address the applicable Land Use Code criteria and, if possible, reference the criteria that the Board uses to decide a case.
- Any exhibits intended to be introduced into the record at the hearing must be emailed to the Secretary for distribution to the Board and admission into the record **24 hours prior to the meeting.**
- Citizens can email correspondence to the Planning Board and staff at boulderplanningboard@bouldercolorado.gov, up to **24 hours prior to the Planning Board meeting**, to be included as a part of the record.
- Applicants under Title 9, B.R.C. 1981, will be provided the opportunity to speak for up to 3 minutes* prior to the close of the public hearing. The board chair may allow additional time.

3. Board Action

- Board motion. Motions may take any number of forms. With regard to a specific development proposal, the motion generally is to either approve the project (with or without conditions), to deny it, or to continue the matter to a date certain (generally in order to obtain additional information).
- Board discussion. This is undertaken entirely by members of the Board. The applicant, members of the public or city staff participate only if called upon by the Chair.
- Board action (the vote). An affirmative vote of at least four members of the Board is required to pass a motion approving any action. If the vote taken results in either a tie, a vote of three to two, or a vote of three to one in favor of approval, the applicant shall be automatically allowed a rehearing upon requesting the same in writing within seven days.

MATTERS FROM THE PLANNING BOARD, DIRECTOR, AND CITY ATTORNEY

Any Planning Board member, the Planning Director, or the City Attorney may introduce before the Board matters which are not included in the formal agenda.

ADJOURNMENT

The Board's goal is that regular meetings adjourn by 10:30 p.m. and that study sessions adjourn by 10:00 p.m. New agenda items will generally not

be commenced after 10:00 p.m.

VIRTUAL MEETINGS

For Virtual Meeting Guidelines, refer to <https://bouldercolorado.gov/government/board-commission/planning-board> page for the approved Planning Board Participation Rule for Electronic and Hybrid Hearings.

*The Chair may lengthen or shorten the time allotted as appropriate. If the allotted time is exceeded, the Chair may request that the speaker conclude his or her comments

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CITY OF BOULDER
PLANNING BOARD ACTION MINUTES
April 7, 2026
Hybrid Meeting

A permanent set of these minutes and an audio recording (maintained for a period of seven years) are retained in Central Records (telephone: 303-441-3043). Minutes and streaming audio are also available on the web at: <http://www.bouldercolorado.gov/>

PLANNING BOARD MEMBERS PRESENT:

Mark McIntyre, Chair
Laura Kaplan, Vice Chair
Kurt Nordback
Mason Roberts
ml Robles
Claudia Hanson Thiem
Maxwell Lord

PLANNING BOARD MEMBERS ABSENT:

STAFF PRESENT:

Shannon Moeller, Planning Manager
Alison Blaine, City Planner Senior
Charles Ferro, Development Review Senior Manager
Thomas Remke, Senior Operations Specialist
Brad Mueller, Planning and Development Services Director
Deshawna Zazueta, Assistant City Attorney II

1. CALL TO ORDER

Chair, **M. McIntyre**, declared a quorum at 6:00 p.m. and the following business was conducted.

Deshawna Desouza swore in newly appointed Board Member Maxwell Lord.

The board appointed Laura Kaplan to serve as chair and Claudia Hanson Thiem to serve as Vice Chair.

2. PUBLIC PARTICIPATION

1. Max Fearer

3. APPROVAL OF THE MINUTES

4. DISCUSSION OF DISPOSITIONS, PLANNING BOARD CALL-UPS / CONTINUATIONS

There were no call up items.

5. PUBLIC HEARING ITEMS

A. AGENDA TITLE: Concept Plan Review and Comment on a proposed redevelopment at 1050, 1004, 990, 986, and 976 Arapahoe Ave. for permanently affordable senior housing. The existing Presbyterian Manor building at 1050 Arapahoe Ave. would remain. The project would involve combining four existing lots with the larger parcel and constructing a new 60-unit, three-story structure. Reviewed under case no. LUR2026-00001.

Staff Presentation: S. Moeller presented the item to the board.

Board Questions: S. Moeller answered questions from the board.

Applicant Presentation: Mark Levitrau, Tom Ottenson, and Catherine Bean presented the item to the board.

Public Participation:

1. Tim Plass
2. James Pollock
3. Lynn Kendall Wilson
4. Mark Fearer
5. Lynn Segal

Board Discussion:

(02:01:25) **C Hanson Thiem** commented on consistency with the BVCP, noting that the proposal contained many competing goals and policies, and that the board was asked to make determinations on the balance. She explained that the question posed in the staff memo was how to weigh the preservation of up to four, or possibly just one, everyday bungalows against creating modern, accessible, permanently affordable homes for a much larger number of senior households. She noted that there was an acute and documented need for this type of housing in Boulder reflected in multiple BVCP policies. She noted that the area was designated as high-density residential, zoned RH2, allowing apartments without limitation, and was located a block from the transit backbone, the main public library, and a senior center. She noted that the site was owned by an established non-profit housing provider, which she saw as a rare opportunity. She argued that the opportunity and city priorities far outweighed the benefits of retaining the bungalows. She said aesthetics did not justify the trade-off, and that arguments about preserving a mix of housing types, natural affordability, or embodied carbon felt weak compared to the proposed concept. She acknowledged that the planning board could not control the landmarking process, but saw a strong argument for maximizing senior housing at this location, especially with affordability guarantees and sustainable design features. She strongly opposed using the site review process to force landmarking on the property. She agreed with staff that there were serious issues with parking and its interaction with the public realm on Arapahoe. She said ground-floor parking detracted from street activation, and the uninterrupted facade might worsen that problem. She noted the board generally preferred conservative parking counts, especially if it allowed for more housing or better design. She acknowledged financial constraints and floodplain limitations and expressed sympathy. She suggested improving the building's interface with Arapahoe through measures like adding entrances with stairs or

ramps, and adding individual or shared balconies. While these might be private amenities, she believed they could enhance the pedestrian experience and create more activation along that side of the building.

(02:06:30) **MI Robles** noted that the concept of the project was well aligned with BVCP goals. However, she said she completely agreed with staff comments around historic preservation and design as they relate to the public experience, which she felt were not being met at that time. So in regard to the BVCP, she described it as “yes and no.” She noted that even if the board did not find the historic houses significant under the formal site criteria, that did not mean they were not significant in the context of the site. She noted that she would expand on that further under key question two. She also pointed to another BVCP criterion, saying she would look for the significant trees along the north side, specifically two along the property line, to be retained if possible. Regarding key question two, she said her main concern was with building siting and design, particularly the public interface. She noted that the street was characterized by a complexity of scale and materials, while the proposal showed a generic, monolithic structure. She acknowledged it was only a concept review but said she would be looking for more compatibility to meet site review criteria. She added that staff comments on these issues were detailed and valid and should be taken into consideration. She explained her perspective on the historic question, saying that what was historically relevant was the street cadence and streetscape created by the houses. She believed this could be addressed through building siting and architectural design. She concluded that this approach, designing a building with a public interface informed by the historic street cadence, was how to address landmark concerns and get ahead of the site review criteria.

(02:09:22) **M. Roberts** said that on the first question, he emphatically agreed with what Claudia said and that this project was exactly what Boulder needed. He noted that the community was facing what has been termed a “silver tsunami,” and said that permanently affordable senior housing in a walkable, transit-rich location near the library, the Age Well Center, and Boulder Creek Path was precisely the kind of aging-in-place infrastructure that serves the community’s long-term health. From a BVCP consistency standpoint, he said the high-density residential designation, the proposed density, and the policy alignment on special needs populations and a full range of households all pointed in the same direction. He said he believed the project belonged at this location and that it met the BVCP on balance. On the landmark issue, he agreed with Claudia and said he did not believe landmarking the structures would serve the community’s interests as well as providing 60 units of permanently affordable senior housing. He also expressed appreciation for the applicant’s efforts, including supporting the moving of the houses. Regarding the second key issue, he agreed with his colleagues regarding the building design and was looking for something more active on the streetscape. He noted that others had already made strong comments on that topic and did not expand further. He added that he was looking forward to seeing the TDM plan under the new requirements and expected it to be tailored specifically to the needs of senior residents given the intended occupants and the site’s transit access.

(02:11:18) **K. Nordback** noted that he mostly agreed with his colleagues. He stated that it was great to see a proposal for affordable senior housing and that it was exactly what was needed. He said he appreciated the flexibility shown by Historic Boulder and the applicant regarding the relocation of the buildings. He noted that whether relocation would be possible was uncertain, as finding receiving sites is always a challenge, but said that if it were possible, it would be a great outcome. He said he agreed with his colleagues that the biggest challenge was the design of the pedestrian-level facade on Arapahoe. He added that while what was currently there did not meet housing needs, from a design and pedestrian experience standpoint it was outstanding. He raised the question of how to create something with that

same level of interest and complexity while still achieving the project's needs. He mentioned a point raised earlier about the possibility of a reduced setback on Arapahoe and said that if it allowed for more complexity in pedestrian interaction, he would be fully supportive, and he suggested it as something to consider.

(02:13:04) **M. Lord** agreed with other board members that it's a very good project, and he appreciated that it meets a need in our changing community. He firmly agreed with ML that part of the historical importance of those buildings is not the buildings themselves, but the pedestrian interactions. He noted that we live in a world where we still rely on cars, and if we don't start to make active choices against that, we'll continue to. He noted that one of the magnificent parts of this project is the amount of accessibility to public transport. He recognized that this is an incredibly unique location, so this would be a great opportunity to investigate setbacks and break visual continuity. He appreciated the input about the singular entrance and thought that was illuminating, and answered a lot of questions, but he would encourage a little bit of creativity to create more visual breaks, and consider moving the patios towards the street face so that the public that's interacting along Arapaho is engaging with the center in a more welcoming way.

(02:14:44) **M. McIntyre** noted that concept reviews are often frustrating for applicants and the board, and this one is especially frustrating for him. He finds the design presented "thin" and weak, which makes it hard for him to weigh in. He noted the usual conundrum of concept reviews, where adding more detail and expense can risk wasted effort if the board ultimately rejects it, but reviews are still necessary. He emphasized that this case is particularly challenging given the possibility that one of the houses on site could be landmarked, which could "blow the design up." Regarding the houses, he supports working with Historic Boulder and prefers moving them, seeing it as a positive example of reuse, cooperation, and collaboration. However, if it comes down to it, he believes the project should take priority over the potentially landmarked house and would support demolition if necessary. He said the project meets many BVCP goals and policies, more than most. He noted that no project must meet all of them, but this one "ticks many, many boxes." He strongly supports the inclusionary housing ordinance and noted that, unlike typical projects that may pay cash-in-lieu while building market-rate units, this project directly increases the number of permanently affordable units. He said it advances the city's housing goals faster and further than any project he has seen to date. He said the massing and the Arapahoe-facing side do not feel like they relate to or contrast with nearby iconic buildings such as the 1050 building and the library. He believes the design should either acknowledge or thoughtfully contrast with these structures, using materials or other design elements. He noted that it would be a shame if a project providing 60 affordable units ended up being architecturally unmemorable or failed to enhance the area. He warned that a weak design could reflect poorly on the affordable housing exemption. He encouraged the applicant to elevate the design into an example of excellence for both the city and its residents.

(02:21:19) **L. Kaplan** agreed that consistency with the BVCP is generally strong, and she has no issues there. She agreed with her colleagues that the project fulfills many of the plan's goals. She also said it is generally consistent with site review, though she has a few comments. She expressed support for the applicant as a mission-driven nonprofit and their goal of providing affordable senior housing. She noted that unlike other projects where there may be concern about whether promised affordable housing will be built, she is confident this project will deliver unless something unexpected happens. She appreciated their values and said the project will broaden access to housing for historically underserved populations.

She said the site is a perfect location and represents the kind of 15-minute neighborhood the city aims to create, with many nearby amenities. She also appreciated the shared campus concept between the existing and new buildings, especially the open space and amenities, which she said would enhance efficiency, strengthen social connection, and reduce transportation demand. She noted that the project focuses on households earning at or below 60% of AMI, noting that many affordable projects serve higher income levels, and said this is a meaningful service to the community, especially seniors. She also appreciated the reduced parking ratio and the explanation of LIHTC constraints. She said her initial impression of the ground-level parking was positive, calling it an elegant way to conceal parking, work within FAR, and elevate units out of the floodplain. However, she acknowledged staff concerns about how the parking affects the street and pedestrian experience. She appreciated the preservation of mature trees and support for reviewing additional ones on site. She agreed with staff that the project should show stronger architectural cohesion with the existing tower and consider the library as part of its neighborhood context. She also supported adding more programming detail for open spaces, including terraces, shared areas, ADA access, and reviewing how the vehicular hammerhead might impact those spaces. She raised concern about the ground-level parking along Arapahoe lacking activity and vibrancy. She noted that she understands this project's special floodplain constraints. She seconded C. Hanson Thiem's suggestions for making the frontage more activated. She suggested that since this project must go through Site Review, they could consider asking for extra height to allow for increased articulation and public-serving uses along Arapahoe to make that facade more vibrant and interesting while retaining unit count and FAR. She suggested design strategies like varied rooflines, parklets, benches, awnings, murals, or other features to create a more engaging street presence. She disagreed with staff's comments regarding landmarking. She noted that the landmarking criteria are designed to protect buildings with significant historic and cultural resources, and as has been noted, it is very rare for the Landmarks Board to find that landmarking value outweighs the private property rights of the property owner. She agreed with the public comment that the landmarks process needs reworking and noted that the process is arduous for applicants and there is a lot of uncertainty. She stated that she does not think that Site Review should serve as an escape valve for the Landmarks Board to avoid making a tough determination of whether the private property rights outweigh the historic value of the building. She stated that the Landmarks Board is the proper authority to determine whether the historic value of the building is so significant that the city should compel the property owner to retain it. She stated that historic significance is not the Planning Board's expertise though she understands the argument that Planning Board can weigh competing values and make trade-offs. She added that she would not weigh in on whether the building should be preserved, as she does not see that as her role, and she personally will never vote to compel a property owner to "voluntarily" apply for Landmarking. She also cautioned generally against creating "Up"-style scenarios where a small house is left surrounded by a much larger development, saying that would not serve interests of preservation or any other city interests very well. She appreciated Historic Boulder's recommendation to issue demolition permits for all four structures and relocate the buildings. She said the applicant is going above and beyond by donating the structures and contributing the equivalent of demolition costs toward relocation. She expressed hope that relocation is successful but reiterated that she would not support landmarking through site review.

(02:28:56) L. Kaplan called for a straw poll of whether any board members would recommend asking the applicant to preserve the bungalow at 990 Arapahoe as part of the balance of values in Site Review. No Planning Board members raised their hands to indicate that they would recommend preservation of the bungalow through Site Review.

(02:29:42) L. Kaplan called for a straw poll of whether any board members are supportive of the proposal to relocate the homes if possible. Five Board Members raised their hands to indicate support. Another Board Member noted that this is not the purview of Planning Board.

(02:30:13) Ml Robles noted that she thinks consideration for how people will cross Arapaho should be given careful thought. She will be looking for advancement on how to get people safely across the street to enjoy all the amenities.

AGENDA TITLE: Public Hearing and consideration of a Site Review for a Height Modification only for a detached dwelling unit located at 1039 Mapleton Ave. The height modification is necessary to add habitable space above the by-right height and to document the changing low point due to a proposed building expansion. No other modifications are proposed. Reviewed under case no. LUR2024-00028.

Staff Presentation: Alison Blaine presented the item to the board.

Board Questions: Alison Blaine answered questions from the board.

Applicant Presentation: George Watt presented the item to the board.

Board Questions: George Watt answered questions from the board.

Public Participation:

- 1) Lynn Segal

Board Discussion:

C Hanson Thiem made a motion seconded by ml Robles to approve Site Review Application #LUR2024-00028, adopting the staff memorandum as findings of facts, including the attached analysis of review criteria, and subject to the recommended conditions of approval. Planning Board voted 7-0. Motion passed.

6. MATTERS FROM THE PLANNING BOARD, PLANNING DIRECTOR, AND CITY ATTORNEY

7. DEBRIEF MEETING/CALENDAR CHECK

8. ADJOURNMENT

The Planning Board adjourned the meeting at 9:33 PM.

APPROVED BY

Mark McIntyre

Board Chair

DATE

DRAFT

CITY OF BOULDER
PLANNING BOARD ACTION MINUTES
April 21, 2026
Hybrid Meeting

A permanent set of these minutes and an audio recording (maintained for a period of seven years) are retained in Central Records (telephone: 303-441-3043). Minutes and streaming audio are also available on the web at: <http://www.bouldercolorado.gov/>

PLANNING BOARD MEMBERS PRESENT:

Laura Kaplan, Chair (virtual)
Claudia Hanson Thiem, Vice Chair
ml Robles (virtual)
Maxwell Lord

PLANNING BOARD MEMBERS ABSENT:

Kurt Nordback
Mark McIntyre
Mason Roberts

STAFF PRESENT:

Charles Ferro, Development Review Senior Manager
Amanda Cusworth, Internal Operations Manager
Chandler VanSchaack, Principal Planner
Brad Mueller, Director of Planning & Development Services
Hella Pannewig, Senior Counsel
Chris Douville, Deputy Director of Operations for Utilities

1. CALL TO ORDER

Acting Chair, **C. Hanson Thiem**, declared a quorum at 6:00 p.m. and the following business was conducted.

2. PUBLIC PARTICIPATION

James Pollock (in person)

3. APPROVAL OF THE MINUTES

There were no minutes to approve.

4. DISCUSSION OF DISPOSITIONS, PLANNING BOARD CALL-UPS / CONTINUATIONS

There were no call up items.

5. PUBLIC HEARING ITEMS

A. AGENDA TITLE: Public hearing and consideration of a recommendation on a petition to annex approximately 43.194 acres of land generally located within the Spring Valley Estates

Subdivision, including properties along Linden Drive, Cholla Court, Spring Valley Road, and Cactus Court and rights-of-way into the City of Boulder with an initial zoning designation of Residential Estate (RE) (case no. LUR2023-00001).

Staff Presentation: C. Van Schaack presented the item to the board.

Board Questions: C. Van Schaack, C. Douville, H. Pannewig answered questions from the board.

Applicant Presentation: Carolyn Steffl, attorney for the Spring Valley Mutual Water Association presented to the board.

Public Participation:

Lynn Segal

Board Discussion: (01:13:44)

KEY ISSUES

1. Is the annexation petition in compliance with state annexation statutes?
2. Does the annexation request comply with applicable state annexation statutes?
3. Is the proposal consistent with city's annexation and other Boulder Valley Comprehensive Plan (BVCP) policies?
4. Is the initial zoning of Residential – Estate (RE) appropriate for the subject property?

M. Lord agreed with key issues 1 and 2. He believes the area fits the BVCP policies and is already established as eligible. It adds to the community with community members being willing to pay to update water infrastructure in the name of protecting their neighbors in the event of a wildfire. He also agreed with the zoning.

L. Kaplan agreed that the annexation petition is compliant, the annexation request complies with applicable state annexation statutes, and it is consistent with Boulder Valley Comprehensive Plan policies. She agreed with the initial zoning of residential estate. She thanked the community regarding the wildfire discussion and stated that bringing the community into the city will benefit the residents and the city as a whole.

MI Robles agreed with all the four key issues. She appreciated the discussion about community benefit and the risk of potential wildfires. She proposed changing the language of “preliminary” cost estimates to “final” cost estimates for the property owners. She doesn't want to see tax payers carrying the burden of extra costs.

C Hanson Thiem did not have any concerns about key issues 1 and 2. She did have some concerns about locking in a 50 year old development pattern when the land use strategy is shifting but isn't going to request any changes. She said she agrees mostly with the consistency of the BVCP policies but thinks there could be enhanced fire mitigation by asking the properties to come into faster compliance and wanted to propose an additional motion to flag that for city council.

(01:28:16)

L. Kaplan made a motion, seconded by **C. Hanson Thiem** to recommend to City Council approval of the proposed annexation of approximately 43.194 acres of land generally located within the Spring Valley Estates Subdivision, including properties along Linden Drive, Cholla Court, Spring Valley Road, and Cactus Court and rights-of-way, with an initial zoning designation of Residential – Estate (RE) pertaining to case number LUR2023-00001 subject to the recommended additional terms and conditions as provided for in Attachment C to the staff memorandum, and to adopt the staff memorandum as findings of fact. Planning Board voted **4-0. Motion Passed.** (M. McIntyre, K. Nordback, M. Roberts absent)

C Hanson Thiem made a motion for Planning Board to further recommend that City Council request the annexation proposal be revised to include additional terms and conditions to support wildfire mitigation and bring annexed properties into substantial compliance with WUI landscaping codes adopted in 2025.

There was not a second to the motion. The board asked further questions and discussion with each other and L. Kaplan proposed different language.

L. Kaplan made a motion, seconded by **C. Hanson Thiem** Planning Board further recommends that staff work with the applicants to include reasonable high-value, low-cost fire mitigation measures in the terms and conditions. Planning Board voted **4-0. Motion Passed.** (M. McIntyre, K. Nordback, M. Roberts absent)

6. MATTERS FROM THE PLANNING BOARD, PLANNING DIRECTOR, AND CITY ATTORNEY

A. Planning Board Liaisons

Staff shared that the only requirement by code is to designate an ex-officio for Housing Advisory Board. **M. Lord** volunteered to be the ex-officio for Housing Advisory Board. **C. Hanson Thiem** will be the back up.

L. Kaplan volunteered to be a steady presence attending DAB meetings even if it is not an official role. She noted that K. Nordback has also expressed interest in DAB. She will coordinate with K. Nordback to see who will be primary and who will be back-up.

B. Retreat subcommittee / retreat agenda planning

L. Kaplan and **C. Hanson Thiem** volunteered to participate on the retreat subcommittee but would also check with their fellow board members that were absent.

7. DEBRIEF MEETING/CALENDAR CHECK

8. ADJOURNMENT

The Planning Board adjourned the meeting at 8:17 PM.

APPROVED BY

Laura Kaplan

Board Chair

DATE

DRAFT

MEMORANDUM

TO: Planning Board
FROM: Alison Blaine, Case Manager
DATE: May 5, 2026
SUBJECT: **Call Up Item:** Site and Use review for an Essential Municipal and Public Utility Service use in an RL-1 zone. The Site Review is to allow a second principal building on the subject site. The proposal is for the installation of one pre-fabricated, 360 square-foot structure and screening at 1190 S. Lashley Ln. **The call-up period expires on May 7, 2026.**

ADDRESS: 1190 S. Lashley Ln.
PROJECT NAME: ALLO TELECOM
CASE NO: LUR2025-00085, LUR2025-00092

Attached is the Notice of Disposition of approval of Site Review and a Use Review for an Essential Municipal and Public Utility Service use. Pursuant to Section 9-9-2(b), a Site Review is required to allow for more than one principal building in the Residential – Low 1 (RL-1) zoning district. Pursuant to the “Use Standards” in Section 9-6-1, B.R.C 1981, a Use Review is required for an Essential Municipal and Public Utility Service Use in the RL-1 zoning district. Refer to **Attachment B** for staff’s analysis of the Site Review and the Use Review Criteria. Planning Board may call up the decision on or before May 7, 2026. Please direct any clarifying questions during the call up period to the case manager at blainea@bouldercolorado.gov.

Background. The subject site is located on the northeast side of S. Lashley Ln., which runs adjacent to S. Broadway in South Boulder, near Tantra Park. The site is currently used by the Cornerstone church and contains a surface parking lot, outdoor seating areas, and sitewide landscaping. Refer to **Figure 1** for an aerial photo of the site.

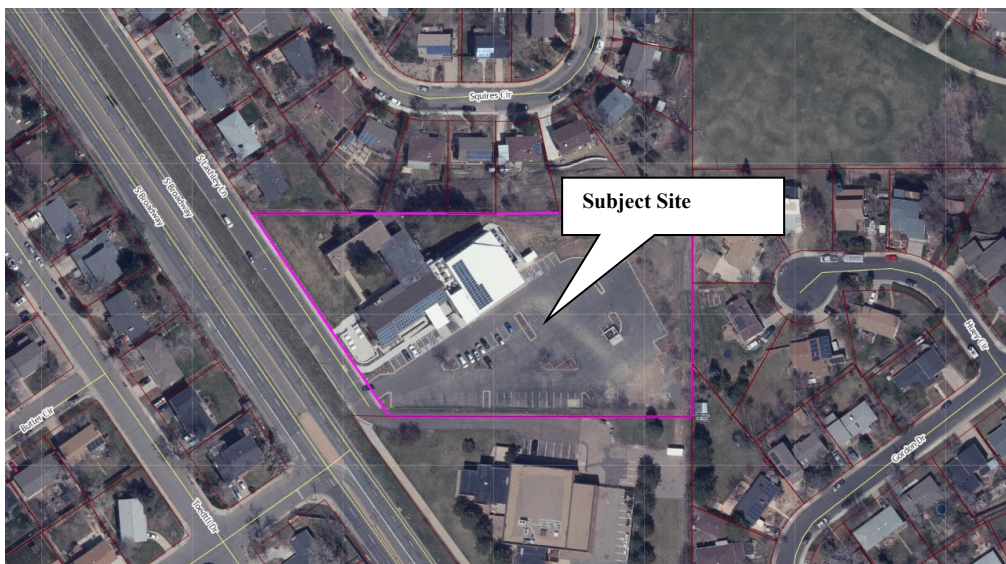


Figure 1. Vicinity Map

The site is zoned RL-1, which is defined as “Primarily detached dwelling units with some duplexes and attached dwelling units at low to very low residential densities.” (Section 9-5-2(c)(1)(F), B.R.C. 1981). The subject site is surrounded by RL-1 zoning as well as RM-1 to the northeast. See **Figure 2**.

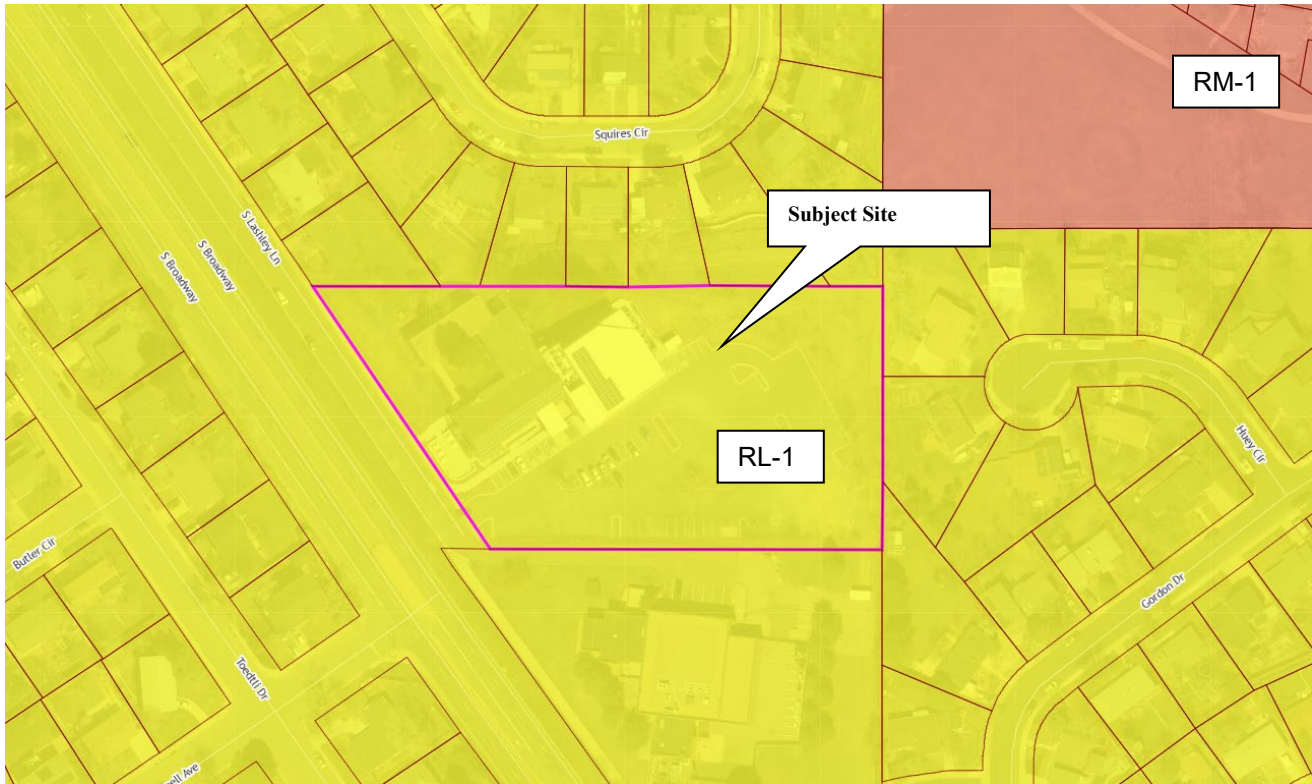


Figure 2. Zoning Map

The existing church was built in 1970. In 2020, a portion of the building was demolished and replaced with a new addition for a sanctuary and mezzanine. The offices and classroom areas were also remodeled, and site improvements were completed at that time for utilities, parking lot, and access, landscaping, and irrigation. The site is located adjacent to low density residential uses to the north, east, and west and the offices for Qwest immediately to the south. The larger surrounding context includes the South Boulder Recreation Center, Southern Hills Middle School and Fairview High School, and Table Mesa Shopping Center.



Figure 3. Existing Site

The City entered into an agreement with ALLO Fiber in late 2024 to construct and operate a community-wide fiber-to-the-premises (FTTP) network. The goal for this contract was to provide fast, reliable, and more affordable broadband service to residents and businesses throughout the entire community. The broader goal is to enhance digital equity, improve service competition, and support connectivity needs across Boulder. As part of the larger initiative, the City has hired and onboarded additional fixed-term staff to cover the workload for inspections, permitting, utility locating, and overall project oversight.

ALLO has begun constructing infrastructure in the Chautauqua area. In order for the network system to operate as intended, two Central Office (CO) buildings are needed to serve as the primary hub for network operations, housing the core equipment necessary to manage and distribute fiber service citywide. As such, the subject site at 1190 S Lashley Ln. has been selected for such use.

Additional information on the City's goals and collaboration regarding ALLO fiber can be found here: [City of Boulder, ALLO Communications Agree to Fiber Lease to Deliver Affordable and Reliable High-Speed Internet | City of Boulder](#)

Project Proposal. The applicant is requesting approval of a Site Review to allow for a second principal building an RL-1-zoned lot, as well as a Use Review for an Essential Municipal and Public Utility Service use. The new use will be entirely contained within a single structure, located behind the existing church and totaling about 400 square feet. The maximum height from the adjacent grade is 10 feet. Using the city's measurement for height, the height is about 20 feet due to the slope of the site to the north. Landscaping is proposed along the northern and eastern edges of the development area to screen the structure from the neighboring properties along Squires Ct. **See Figure 4.** The building will not be visible from S. Lashley Ln. due to its location behind the existing church building. Per the applicant's plans, the operating characteristics will be limited as the structure is primarily unmanned with 1-2 vehicle trips per month for maintenance. As such, the anticipated impacts are minimal and there are no proposed changes to the site design or layout. Staff has reviewed the building for consistency with solar access requirements and found that there were no solar access violations to the neighboring properties to the north. The project will be required to comply with Chapter 9-5: Noise.

From an engineering perspective, the site will be required to evaluate, report, and update its drainage water quality infrastructure in compliance with City of Boulder standards. This will be addressed through the Technical Document review process to ensure no adverse impacts to surrounding properties or public systems. Staff did not identify any impacts to existing utilities or easements are part of the current proposal.

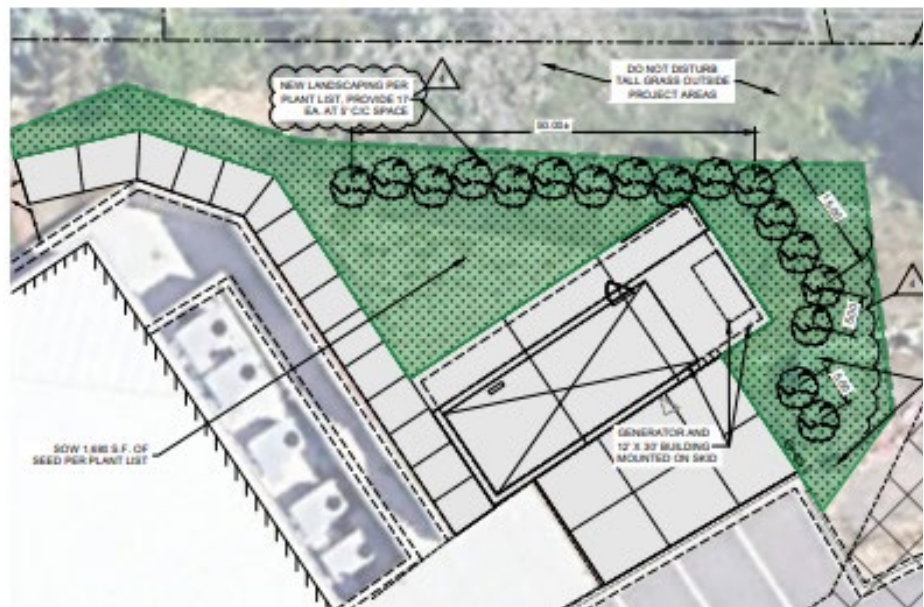


Figure 4. Site Plan and Landscaping



Figure 5. Sample Image of Structure



Figure 6. Location of Existing Church and New Structure

Review Process. The existing principal building on site is for a Religious Assembly use (Cornerstone Church). The project is to add a second principal building for an Essential Municipal and Public Utility Service use behind the existing church. Pursuant to Section 9-9-2(b), a Site Review is required to allow for more than one principal building in the RL-1 zoning district. Pursuant to Section 9-6-1, B.R.C., an Essential Municipal and Public Utility Service use in an RL-1 zone requires a Use Review pursuant to [Section 9-2-15, B.R.C. 1981](#). [Section 9-4-2, B.R.C. 1981](#) states that applications for a Site Review (without a height modification) and a Use

Review are subject to call up by the Planning Board. The proposal meets all other development standards for the zoning district. Refer to **Attachment A** for the conditions of approval.

Analysis. The proposal was found to be consistent with the Site Review criteria of Subsection 9-2-14(h) and the Use Review criteria of [Subsection 9-2-15\(e\), B.R.C. 1981](#). The small, pre-fabricated structure will not impact existing site access/circulation or open space. The 1-2 monthly ALLO visitors will utilize the existing parking and circulation areas. The subject area is providing landscaping where none currently exists. The building is located behind the church and not visible from the public realm along S. Lashley Ln. The building design is simple. The use will provide a direct service to the community with the installation of fiber internet infrastructure for residents, emergency services, and citywide resilience. The new use is screened to the north and east to mitigate visual impacts to neighboring properties. Due to the limited operations and small footprint, the use will not change the character of the area and is reasonably compatible with nearby properties. Please refer to **Attachment B** for staff's complete analysis of the review criteria and the conditions of approval can be found in **Attachment A**.

Public Comment. Consistent with [Section 9-4-3, Public Notice Requirements, B.R.C. 1981](#), staff provided notification to all property owners within 600 feet of the subject location of the application. Staff received comments from three neighbors. One neighbor did not express concerns with the development and two neighbors expressed concerns regarding solar access, drainage design, outdoor lighting compliance, and noise impacts. Those comments as well as staff's responses to specific questions are included in **Attachment D**.

Conclusion. Staff finds that the proposed project meets the applicable criteria o (refer to **Attachment B**). The proposal was **approved** by staff on **April 23, 2026** and the decision may be appealed by the applicant or any interested person or called up by two members of the Planning Board on or before **May 7, 2026**. The applicant or an interested person may appeal the decision by delivering a written notice of appeal to the city manager. A member of the planning board may call up the decision upon written notification to staff or by making a verbal request, on the record, at a regularly scheduled board meeting. Questions about the project or decision or requests to call up the approval should be directed to the Case Manager, Alison Blaine at blainea@bouldercolorado.gov.

Attachments:

- A. Signed Disposition of Approval
- B. Analysis of Site and Use Review Criteria
- C. Applicant's Plans and Written Statement
- D. Public Comment



City of Boulder Planning & Development Services

CITY OF BOULDER PLANNING DEPARTMENT NOTICE OF DISPOSITION

You are hereby advised that the following action was taken by the Planning Department based on the standards and criteria of the Land Use Code as set forth in Chapter 9-2, B.R.C. 1981, as applied to the proposed development.

DECISION: **APPROVED WITH CONDITIONS**
PROJECT NAME: **ALLO TELECOM**
DESCRIPTION: **Use Review is to allow an Essential Municipal and Public Utility Service use. The Site Review is to allow a second principal building on the subject site. The scope will include the installation of a prefabricated, unmanned 360-square-foot building with landscape screening. The new building will be located behind the existing church.**
LOCATION: **1190 S LASHLEY LN**
LEGAL DESCRIPTION: **See Exhibit A**
APPLICANT: **JOSHUA KAYSER**
OWNER: **CORNERSTONE CHURCH OF BOULDER VALLEY**
APPLICATION: **Site Review, LUR2025-00085 and Use Review, LUR2025-00092**
ZONING: **Residential - Low 1 (RL-1)**
CASE MANAGER: **Alison Blaine**
VESTED PROPERTY RIGHT: **No; the owner has waived the opportunity to create such right under Section 9-2-20, B.R.C. 1981.**

APPROVED MODIFICATIONS FROM THE LAND USE CODE: *None*

FOR CONDITIONS OF APPROVAL, SEE THE FOLLOWING PAGES OF THIS DISPOSITION

Approved On: April 23, 2026

 Date

By: _____
Brad Mueller, Director of Planning & Development Services

This decision may be appealed to the Planning Board by filing an appeal letter with the Planning Department within two weeks of the decision date. If no such appeal is filed, the decision shall be deemed final fourteen days after the date above mentioned.

Appeal to Planning Board Expires: May 7, 2026

Final Approval Date: May 8, 2026

FOR A BUILDING PERMIT APPLICATION TO BE PROCESSED FOR THIS PROJECT, A SIGNED DEVELOPMENT AGREEMENT AND SIGNED FINAL PLANS MUST BE SUBMITTED TO THE PLANNING DEPARTMENT WITH DISPOSITION CONDITIONS AS APPROVED SHOWN ON THE FINAL PLANS. IF THE DEVELOPMENT AGREEMENT IS NOT SIGNED WITHIN NINETY (90) DAYS OF THE FINAL DECISION DATE, THE APPROVAL AUTOMATICALLY EXPIRES.

Pursuant to Section 9-2-12 of the Land Use Code (B.R.C. 1981), the Applicant must obtain applicable building permit approvals and start construction within three years from the date of final approval or in compliance with the phasing plan if one was approved. Failure to comply with the three-year rule or approved phasing plan may cause this development approval to expire.

SITE REVIEW CONDITIONS OF APPROVAL

1. The Applicant shall ensure that the **development shall be in compliance with all plans prepared by the Applicant** on April 14, 2026, all on file in the City of Boulder Planning Department, except to the extent that the development may be modified by the conditions of this approval.
2. Prior to a building permit application, the Applicant shall submit, and obtain City Manager approval of, a Technical Document Review application for the following items:
 - a. **Final architectural plans**, including material samples and colors, to ensure compliance with the intent of this approval and compatibility with the surrounding area. The architectural intent shown on the plans prepared by the Applicant on April 14, 2026, is acceptable. Planning staff will review plans to assure that the architectural intent is performed.
 - b. A **final site plan** that includes detailed floor plans and section drawings.
 - c. A **final utility plan** meeting the City of Boulder Design and Construction Standards.
 - d. A **final storm water report and plan** meeting the City of Boulder Design and Construction Standards.
 - e. **Final transportation plans** meeting the City of Boulder Design and Construction Standards and Colorado Department of Transportation (CDOT) Access Code Standards for all transportation improvements. These plans must include, but are not limited to, drawings and details related to accessibility requirements.
 - f. A **detailed landscape plan**, including size, quantity, and type of plants existing and proposed; type and quality of non-living landscaping materials; any site grading proposed; and any irrigation system proposed, to ensure compliance with this approval and the City's landscaping requirements. Removal of trees must receive prior approval of the Planning Department. Removal of any tree in City right of way must also receive prior approval of the City Forester.
 - g. A **detailed outdoor lighting plan** showing location, size, and intensity of illumination units, indicating compliance with Section 9-9-16, B.R.C.1981.
 - h. A **detailed shadow analysis** to ensure compliance with the City's solar access requirements of Section 9-9-17, B.R.C. 1981.
 - i. An **address plat** following the city's addressing policy to create a new address for the second principal building.
3. The Applicant shall be responsible for maintaining all stormwater quality improvements and stormwater detention improvements.

USE REVIEW CONDITIONS OF APPROVAL

1. The Applicant shall ensure that the **development shall be in compliance with all plans prepared by the Applicant** on April 14, 2026 and the Applicant's written statement dated April 14, 2026, all on file in the City of Boulder Planning Department, except to the extent that the development may be modified by the conditions of this approval.
2. The Applicant **shall not expand or modify the approved use**, except pursuant to Subsection 9-2-15(j), B.R.C. 1981.

Attachment A - Signed Disposition of Approval
Exhibit A

Legal Description

Part of the SE 1/4 of Section 8, Township 1 South, Range 70 West of the 6th P.M. more particularly described as follows:

Beginning at the East quarter corner of Section 8, T.1S., R. 70 W., of the 6th P.M.; Thence S 0°15'14" West, 50.80 feet along the East line of said Section 8, to the true point of beginning: Thence N. 89°44'46" West, 609.80 feet at right angles to the East line of said Section 8, to a point on the northerly right-of-way line of the highway commonly known as Marshall Road;

Thence S. 34°22' E., 303.79 feet along the northerly right-of-way line of said Marshall Road to the Northwest corner of a tract of land conveyed to Vincent Doyle and Inez Doyle by Warranty Deed recorded In Book 975 at Page 28 of the public records In the office of the County Clerk and Recorder, Boulder County, Colorado;

Thence S. 89°44'46" E., 437.19 feet at right angles to the East line of said Section 8, and along the North line of said Doyle tract to a point on the East line of said Section 8;

Thence N. 0°15'14" E., 250.00 feet along the East line of said Section 8 to the true point of beginning,

County of Boulder,
State of Colorado,

AND EXCEPT any portion conveyed to the City of Boulder by Deed recorded April 11, 1963 in Book 1274 at Page 457,

TOGETHER WITH that portion as evidenced in Deed of Vacation recorded May 19, 1971 at Reception No. 976236.

CRITERIA CHECKLIST AND COMMENT FORM

SITE REVIEW
SECTION 9-2-14(h)
LUR2025-00085, LUR2025-00092
ADDRESS: 1190 S. Lashley Ln.
DATE: April 21, 2026

CRITERIA APPLICABLE TO ALL SITE REVIEW APPLICATIONS

(1) Boulder Valley Comprehensive Plan (BVCP) criteria: *Meets criteria*

(A) BVCP Land Use Map and Policies: *Yes*

The proposed project is consistent with the BVCP land use map and, on balance, with the goals and policies of the BVCP particularly those that address the built environment. In applying this, the approving authority shall consistently interpret and apply this criterion and consider whether a particular goal or policy is intended to be applied to individual development projects or is to guide city policy decisions, such as regulatory actions. The BVCP does not prioritize goals and policies, and no project must satisfy one particular goal or policy or all of them.

Staff Response:

The BVCP Land Use is Low Density Residential, which is described as:

Low Density Residential (LR)	<p>Characteristics and Locations: LR is the most prevalent land use designation in the city, covering the primarily single-family home neighborhoods, including the historic neighborhoods and Post-WWII neighborhoods.</p> <p>Uses: Consists predominantly of single-family detached units.</p> <p>BVCP Density/Intensity: 2 to 6 dwelling units per acre</p>
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The proposal is consistent with the following BVCP policies:

- *1.22 Channeling Development to Areas with Adequate Infrastructure: The proposal locates development at a site already served by existing infrastructure.*
- *5.08 Funding City Services & Urban Infrastructure: The proposal is providing a community service (high speed internet) consistent with this policy.*
- *5.11 Communications Infrastructure: The proposal is providing communications infrastructure that will serve the community and support emergency systems.*

(B) Subcommunity and Area Plans or Design Guidelines: *N/A*

If the project is subject to an adopted subcommunity or area plan or adopted design guidelines, the project is consistent with the applicable plan and guidelines.

Staff Response:

N/A; the project is not subject to an adopted subcommunity or area plan.

(C) Reducing Greenhouse Gas Emissions: *Yes*

Any new commercial building greater than 30,000 square feet in floor area and any 30,000 square feet or greater addition to a commercial building shall either have a net site energy usage index (EUI) of zero or is designed to achieve a net site EUI that is 10 percent lower than required under the City of Boulder Energy Conservation Code. It shall be a condition of approval that the applicant demonstrate compliance with

this criterion at time of building permit. For the purpose of this requirement, “commercial building” shall have the meaning defined in the City of Boulder Energy Conservation Code.

Staff Response:

The new commercial building is less than 30,000 square feet in size and will be required to demonstrate compliance with the CoBECC at time of permit.

(D) Urban Edge Design: Yes

If the project is located within the urbanizing areas along the boundaries between Area I and Area II or III of the BVCP, the building and site design provide for a well-defined urban edge, and, if, in addition, the project is located on a major street shown in Appendix A of this title, the buildings and site design establish a sense of entry and arrival to the city by creating a defined urban edge through site and building design elements visible upon entry to the city.

Staff Response:

The project is not within an urbanizing area along the boundary between Area I and Area II or III. The project is within Area I.

(E) Historic or Cultural Resources: N/A

If present, the project protects significant historic and cultural resources. The approving authority may require application and good faith pursuit of local landmark designation.

Staff Response:

N/A; there are no changes to the existing building or site that would impact historic or cultural resources. The scope of the project is to add a new building to a vacant portion of the existing site.

(F) Housing Diversity and Bedroom Unit Types: N/A

Except in the RR, RE and RL-1 zoning districts, projects that are more than 50 percent residential by measure of floor area, not counting enclosed parking areas, meet the following housing and bedroom unit type requirements in (i) through (vi). For the purposes of this subparagraph, qualifying housing type shall mean duplexes, attached dwelling units, townhouses, live-work units, or efficiency living units, and bedroom type shall mean studios, one-bedroom units, two-bedroom units, or three-bedroom units.

Staff Response:

N/A; nonresidential use.

(G) Environmental Preservation: Yes

Staff Response:

There are no impacts to natural features as part of the scope of the project. The area for development is already partially paved and clear of any landscaping or vegetation. The location and design of the buildings will conform to the natural contours with minimal grading necessary to support the new development.

- (i) The project provides for the preservation of or mitigation of adverse impacts to natural features, including, without limitation, healthy long-lived trees, significant plant communities, ground and surface water, wetlands, riparian areas, drainage areas, and species on the federal Endangered Species List and "Species of Special Concern in Boulder County" designated by Boulder County and their habitat. *Yes*
- (ii) Where excavation occurs, the location and design of buildings conforms to the natural contours of the land with tiered floor plates, and the site design avoids over-engineered tabling of land. Slopes greater than 50 percent should be avoided and, to the extent practicable, any such areas shall be stabilized with vegetation. *Yes*

(2) Site Design Criteria: *Meets criteria*

The project creates safe, convenient, and efficient connections for all modes of travel, promotes safe pedestrian, bicycle, and other modes of alternative travel with the goal of lowering motor vehicle miles traveled. Usable open space is arranged to be accessible; designed to be functional, encourage use, and enhance the attractiveness of the project; and meets the needs of the anticipated residents, occupants, tenants, and visitors to the project. Landscaping aesthetically enhances the project, minimizes use of water, is sustainable, and improves the quality of the environment. Operational elements are screened to mitigate negative visual impacts. In determining whether this is met, the approving agency will consider the following factors:

(A) Access, Transportation, and Mobility:

- (i) The project enables or provides vehicular and pedestrian connectivity between sites consistent with adopted connections plans relative to the transportation needs and impacts of the project, including but not limited to construction of new streets, bike lanes, on-street parking, sidewalks, multi-use paths, transit stops, streetscape planting strips, and dedication of public right-of-way or public access easements, as applicable considering the scope of the project. Where no adopted connections plan applies, the applicant shall, in good faith, and in coordination with the city manager, attempt to coordinate with adjacent property owners to establish, where practicable, reasonable and useful pedestrian connections or vehicular circulation connections, such as between parking lots on abutting properties, considering existing connections, infrastructure, and topography. *Yes*

Staff Response:

There are no planned connections for the site. The new building and use will not create traffic impacts that would require pedestrian or vehicle connections between properties. The new building will be visited by ALLO staff only.

- (ii) Alternatives to the automobile are promoted by incorporating site design techniques, land use patterns, and infrastructure that support and encourage walking, biking, and other alternatives to the single-occupant vehicle. *N/A*

Staff Response:

N/A; the existing site is not changing as a result of the new building and therefore site design technique, land use patterns, and infrastructure were not incorporated into the existing site as part of the scope. The majority of users visiting the site are attendees or visitors of the existing church. The parking lot will remain as currently designed.

- (iii) A transportation demand management (TDM) plan will be complied with including methods that result in a significant shift away from single-occupant vehicle use to alternate modes. *N/A*

Staff Response:

N/A; a TDM was not required to do the low intensity of the use.

- (iv) Streets, bikeways, pedestrian ways, trails, open space, buildings, and parking areas are designed and located to optimize safety of all modes and provide connectivity and functional permeability through the site. *N/A*

Staff Response:

N/A; the new building will utilize existing traffic and parking configuration. The new use will not generate enough traffic to impact the existing building, parking, or pedestrian areas. ALLO employees will have direct access to the facility immediately adjacent to the parking lot.

- (v) The design of vehicular circulation and parking areas make efficient use of the land and minimize the amount of pavement necessary to meet the circulation and parking needs of the project. *N/A*

Staff Response:

N/A; the existing vehicle circulation and parking areas are not expanding or changing due to the scope. These areas will be primarily used by the existing church and occasional visits by ALLO employees to maintain the communications equipment.

- (vi) Where practicable and needed in the area and subject to coordination with the city manager, the project provides curbside parking or loading or both consistent with city policies on curbside management. *N/A*

Staff Response:

N/A; curbside loading is not anticipated as part of the project scope. Any need for future curbside loading can be accommodated within the existing parking lot.

(B) Open Space:

- (i) Useable open space is arranged to be accessible and designed to encourage use by incorporating quality landscaping, a mixture of sun and shade, hardscape areas and green spaces for gathering. *N/A*

Staff Response:

N/A; the use and building will be largely unmanned, with about 1 to 2 visits per month for required maintenance. As such, open space is not provided as part of the scope of this project. Those who visit the site to attend church can still use the existing open space areas designated for the church use, including seating areas along S. Lashley Ln.

- (ii) The open space will meet the needs of the anticipated residents, occupants, tenants, and visitors of the property. In mixed-use projects, the open space provides for a balance of private and common areas for the residential uses and includes common open space that is available for use by residents of the residential uses and their visitors and by tenants, occupants, customers, and visitors of the non-residential uses. *N/A*

Staff Response:

N/A; the use and building will be largely unmanned, with about 1 to 2 visits per month for required maintenance. As such, open space is not provided as part of the scope of this project. Those who visit the site to attend church can still use the existing open space areas designated for the church use, including seating areas along S. Lashley Ln.

- (iii) If the project includes more than 50 dwelling units, including the addition of units that causes a project to exceed this threshold, and is more than one mile walking distance to a public park with any of the amenities described herein, at least 30 percent of the required outdoor open space is designed for active recreational purposes. *N/A*

Staff Response:

N/A; no residential is included in the scope of the project.

- (iv) On-site open space is linked to adjacent public spaces, multi-use paths, city parks, or public open space if consistent with Department of Open Space and Mountain Parks or Department of Parks and Recreation plans and planning for the area, as applicable. *N/A*

Staff Response:

N/A; the site is not immediately adjacent to public spaces, multi-use paths, city parks, or public open space.

(C) Landscaping and Screening:

- (i) The project exceeds the minimum landscaping requirements of Section 9-9-12, "Landscaping and Screening Standards," B.R.C. 1981, by at least fifteen percent in terms of planting quantities, includes a commensurate area to accommodate the additional plantings, and, where practical, preserves healthy long-lived trees. *Yes*

Staff Response:

Based on the limited area of development, staff finds that the submitted landscape plan is consistent with Land Use Code requirements. Further, staff confirmed that the entire site meets this criterion for landscaping requirements.

- (ii) The landscaping design includes a variety of plants providing a variety of colors and contrasts in terms of texture and seasonality and high-quality hard surface materials, such as stone, flagstone, porous pavers, and decorative concrete. *Yes*

Staff Response:

The plantings include golden currants and blue gama, which bloom yellow and blue-green. Given the limited area of development, hard surface materials was not proposed.

- (iii) The landscaping design conserves water through use of native and adaptive plants, reduction of exotic plant materials, and landscaping within stormwater detention facilities to create bioswales or rain gardens, or other similar design strategies. *Yes*

Staff Response:

All plantings are low water usage.

- (iv) Operational elements, such as electrical transformers, trash storage and recycling areas, parking, and vehicular circulation, are screened from the public realm through design elements, such as landscaping, fencing, or placement of structures, to mitigate negative visual impacts. *Yes*

Staff Response:

Generators will be screened to the north and east with landscaping.

(3) Building Siting and Design Criteria: *Meets criteria*

Building siting and design are consistent with the character established in any adopted plans or guidelines applicable to the site or, if none apply, are compatible with the character of the area or improves upon that character, consistent with the intent specified in this paragraph. Buildings are positioned and oriented towards the public realm to promote a safe and vibrant pedestrian experience including welcoming, well-defined entries and facades. Building exteriors are designed with a long-lasting appearance and high-quality materials. Building design is simple and to a human scale, it creates visual interest and a vibrant pedestrian experience. Building roof design contributes to a city skyline that has a variety of roof forms and heights. In determining whether this is met, the approving agency will consider the following factors:

(A) Building Siting and Public Realm Interface:

- (i) New buildings and, to the extent practicable, additions to existing buildings are positioned towards the street, respecting the existing conditions or the context anticipated by adopted plans or guidelines. In urban contexts, buildings are positioned close to the property line and sidewalk along a street; whereas, in lower intensity contexts, a greater landscaped setback may be provided to match the surrounding context. *Yes*

Staff Response:

The new building is proposed behind the existing church. The new use will not engage with the public realm, as it is not useable by the public. Only ALLO employees will make occasional visits for maintenance. The proposed location is to screen the building and use away from the public realm.

- (ii) Wherever practical considering the scope of the project, parking areas are located behind buildings or set back further from the streetscape than the building façade. *N/A*

Staff Response:

N/A; parking impacts are not anticipated as part of the scope of the new use. Therefore, the existing parking lot will remain as is. The new use anticipates about 1-2 vehicle trips per month, which will not impact the use of the existing lot. ALLO staff will likely park near the structure, which is further away from the public realm along S. Lashley.

- (iii) Along the public realm, building entries are emphasized by windows and architectural features that include one or more of the following: increased level of detail, protruding or recessed elements, columns, pilasters, protruding bays, reveals, fins, ribs, balconies, cornices, eaves, increased window glazing, or changes in building materials or color. *N/A*

Staff Response:

The building is not along the public realm. As such, the building entry is not emphasized by windows or architectural features.

- (iv) Defined entries connect the building to the public realm. Unless inconsistent with the context and building's use, along the public realm, one defined entry is provided every 50 feet. Buildings designed for residential or industrial uses may have fewer defined entries. *N/A*

Staff Response:

Due to the intended use of the building and its location behind the church, a defined entry is not proposed to the public realm. The project is intended to be tucked away from the public and accessible to ALLO staff and maintenance from the existing parking lot.

- (v) If the project is adjacent to a zoning district of lower intensity in terms of allowable use, density, massing, or scale, the project is designed with an appropriate transition to the adjacent properties considering adopted subcommunity and area plans or design guidelines applicable to the site, and, if none apply, the existing development pattern. Appropriate transitions may be created through design elements such as building siting and design or open space siting and design. *Yes*

Staff Response:

The project is located on an RL-1 zoned property. The adjacent properties are zoned RL-1 on all sides.

- (vi) The building's siting and relationship to the public realm is consistent with the character established in any adopted plans or guidelines applicable to the site or, if none apply, is compatible with the character of the area or improves upon that character, consistent with the intent of paragraph (3), Building Design Criteria. *Yes*

Staff Response:

The building's siting is designed to screen the building away from the public realm as much as possible. The small building is compatible with the character of the area as it operates more like an accessory building or use, which is commonly found in lower density areas.

(B) Building Design:

- (i) Larger floor plate buildings and projects with multiple buildings have a variety of forms and heights. *N/A*

Staff Response:

N/A; the building is approximately 400 square feet in size.

- (ii) To the extent practical considering their function, mechanical appurtenances are located within or concealed by the building. If they cannot be located within or concealed by the building, their visibility from the public realm and adjacent properties is minimized. *Yes*

Staff Response:

Generators and mechanical equipment are screened from adjacent properties with landscaping. The mechanical equipment is not visible from the public realm along S. Lashley Ln and screened from properties to the north and east.

- (iii) On each floor of the building, windows create visual interest, transparency, and a sense of connection to the public realm. In urban, pedestrian main street-built environments, it is a best practice to design at least 60 percent of each ground floor façade facing the street as window area. Otherwise, it is a best practice to design at least 20 percent of the wall on each floor of a building as window area. Blank walls along the most visible portions of the building are avoided. *N/A*

Staff Response:

N/A; windows are not possible due to the intended use, which is to house and protect communication equipment. The building is primarily unmanned.

- (iv) Simple detailing is incorporated into the façades to create visual interest, without making the façade overly complicated. This detailing may include cornices, belt courses, reveals, alternating brick or stone patterns, expression line offsets, window lintels and sills, and offsets in window glass from surrounding materials. *N/A*

Staff Response:

N/A; the building facades are small in scale and are not overly complicated. Architectural detailing like windows, etc. would not be compatible with the intended use of the structure. The building is also pre-fabricated and limited in available detailing.

- (v) Balconies on buildings with attached dwelling units are integrated into the form of the building in that exterior walls partially enclose the balcony. Balcony platform undersides are finished. *N/A*

Staff Response:

N/A; no attached dwelling units.

- (vi) The building's design, including but not limited to use of materials, color, roof forms, and style, is consistent with the character established in any adopted plans or guidelines applicable to the site or, if none apply, is compatible with the character of the area or improves upon that character, consistent with the intent of paragraph (3), Building Design Criteria. *Yes*

Staff Response:

There are no adopted plans or applicable guidelines. The building design consists of a small, pre-fabricated structure to house communications equipment. The small building is compatible with the character of the area as it operates more like an accessory building or use, which is commonly found in lower density areas.

(C) Building Materials:

- (i) Building facades are composed of high-quality, durable, human-scaled materials. High-quality materials include brick, stone, polished concrete masonry units, wood, architectural high pressure laminate panels, cementitious or composite siding, architectural metal panels, or any combination of these materials. Split-faced concrete masonry units, stucco, vinyl siding, EIFS, and unfinished or untreated wood are not considered durable, high-quality materials, but may be used on a limited basis and not on facades facing the public realm. High quality materials are focused on the ground floor facades on all sides of a building and on all floors of facades facing the public realm, and, overall, comprise the vast majority of all building facades. *Yes*

Staff Response:

The building facades are pre-fabricated and coated with pebble aggregate material. These pre-fabricated structures are designed to protect and house communications equipment and are considered durable for the use.

- (ii) Monolithic roofing membranes, like Thermoplastic Polyolefin, are not used on roof surfaces that are visible from the street level. *Yes*

Staff Response:

The roof surface will not be visible from the street.

- (iii) The number of building material types is limited, and the building materials are applied to complement the building form and function. The organization of the building materials logically expresses primary building features, such as the spatial layout, building entries, private and common spaces, anchor corners, stairwells, and elevators. *Yes*

Staff Response:

The number of building materials is limited to a single building material and is considered a simple material palette.

- (iv) Building cladding materials turn convex corners and continue to the inset wall. This criterion does not apply to changes that occur at an interior corner nor to detailing elements, such as cornices, belt courses, reveals, offsets in expression lines, lintels, and windowsills. Building cladding materials do not change in-plane unless there is at least a 12-inch wall offset. *Yes*

Staff Response:

The building cladding is a single material that will wrap all corners of the structure.

- (v) Any newly constructed building that includes residential units and is located within 200 feet of a railroad, freeway, or expressway is designed to achieve an interior day-night average noise level of no more than forty-five decibels. Noise shall be measured in a manner that is consistent with the federal Housing and Urban Development's standards in Sections 24 CFR §§ 51.100 to 51.106 for the "measure of external noise environments," or similar standard adopted by the city manager in the event that such rule is repealed. The applicant shall provide written certification prior to the issuance of a certificate of occupancy that the sound abatement and attenuation measures were incorporated in the construction and site design as recommended by a professional engineer. *N/A*

Staff Response:

N/A; residential uses are not proposed.

CRITERIA APPLICABLE TO ALL USE REVIEW APPLICATIONS

(e) Criteria For Review: *Meets criteria*

No use review application will be approved unless the approving agency finds all of the following:

(1) Rationale: *Yes*

The use either:

- (A) Provides direct service or convenience to or reduces adverse impacts to the surrounding uses or neighborhood; *Yes*
- (B) Provides a compatible transition between higher intensity and lower intensity uses; *N/A*
- (C) Is necessary to foster a specific city policy, as expressed in the Boulder Valley Comprehensive Plan, including, without limitation, historic preservation, moderate income housing, residential and nonresidential mixed uses in appropriate locations and group living arrangements for special populations; or *N/A*
- (D) Is an existing legal nonconforming use or an expansion that is permitted under Subsection (f) of this section; *N/A*

Staff Response:

The proposed use, Essential Municipal and Public Utility Service, is to allow for the construction of a structure that will house network equipment for fiber internet services. The City entered into an agreement with ALLO Fiber in late 2024 to construct and operate a community-wide fiber-to-the-premises (FTTP) network. The goal for implementing ALLO infrastructure is to provide reliable telecommunications

that supports emergency services, home internet, education, and citywide resilience. Such services provide a direct service to the surrounding uses and neighborhood.

(2) Compatibility: Yes

The location, size, design, and operating characteristics of the use will be reasonably compatible with and have minimal negative impact on the use of nearby properties, or, for residential uses or community, cultural, and educational uses in industrial zoning districts, the proposed development reasonably mitigates the potential negative impacts from nearby properties;

Staff Response:

The use will be contained within a structure approximately 400 square feet in size, located behind the Cornerstone Church and not visible from S. Lashley. Landscape screening and fencing is proposed along the northern and eastern edges to minimize the visual impacts from properties along Squires Ct. Additionally, the location sits atop a hill, which obscures the building from downslope. The operating characteristics consist of an estimated 1-2 trips per month in a single vehicle, which will not impact the use of nearby properties.

(3) Infrastructure: Yes

The use will not significantly adversely affect the infrastructure of the surrounding area, including, without limitation, water, wastewater and storm drainage utilities and streets, compared to an allowed use in the zoning district, or compared to the existing level of impact of a nonconforming use;

Staff Response:

The small structure will not adversely affect the infrastructure of the surrounding area. All site work is designed to meet DCS requirements for storm drainage.

(4) Character of Area: Yes

The use will not change the predominant character of the surrounding area or the character established by adopted design guidelines or plans for the area; and

Staff Response:

The predominate character of the area consists of low density, detached dwelling units. The use will be located behind an existing church and not visible from the public realm along S. Lashley Ln. The small building and low impact use will not change the character of the area, which will remain primarily residential. Given the small size and operating characteristics, the use and building operate more similarly to an accessory use than a secondary principal use and will not change the character of the area.

(5) Conversion of Dwelling Units to Nonresidential Uses: N/A

There shall be a presumption against approving the conversion of dwelling units in the residential zoning districts to nonresidential uses that are allowed pursuant to a use review, or through the substitution of one nonconforming use with another nonconforming use. The presumption against such a conversion may be overcome by a finding that the use to be approved serves another compelling social, human services, governmental or recreational need in the community, including, without limitation, a use for a daycare center, park, religious assembly, social service use, benevolent organization use, art studio or workshop, museum, or an educational use.

Staff Response:

N/A



ALLO COMMUNICATIONS FIBER HUT PROJECT (SOUTH)

1192 S. LASHLEY LANE, BOULDER, COLORADO 80303
FOR CONSTRUCTION

VICINITY MAP



DRAWING INDEX

DRAWING NAME	DRAWING NUMBER	REVISION #	REVISION ISSUE DATE
1 - GENERAL INFORMATION COVER PAGE	CVR	1	01-15-2026
2 - CIVIL OVERALL SITE PLAN	C-0		
SITE PLAN & CONSTRUCTION DETAILS	C-1	2	01-15-2026
SITE GRADING & DETAILS	C-2	2	01-15-2026
SITE GRADING PROFILES	C-3	2	01-15-2026
UTILITY AND LANDSCAPE PLAN	C-4	1	01-15-2026
DRAINAGE PLAN	C-5	1	01-15-2026
SITE SOLAR STUDY	C-6	1	01-15-2026
POND VOLUME ANALYSIS	C-7		

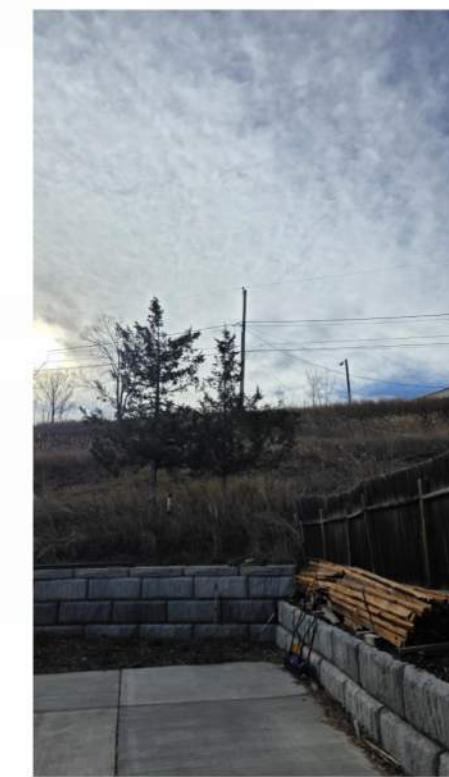
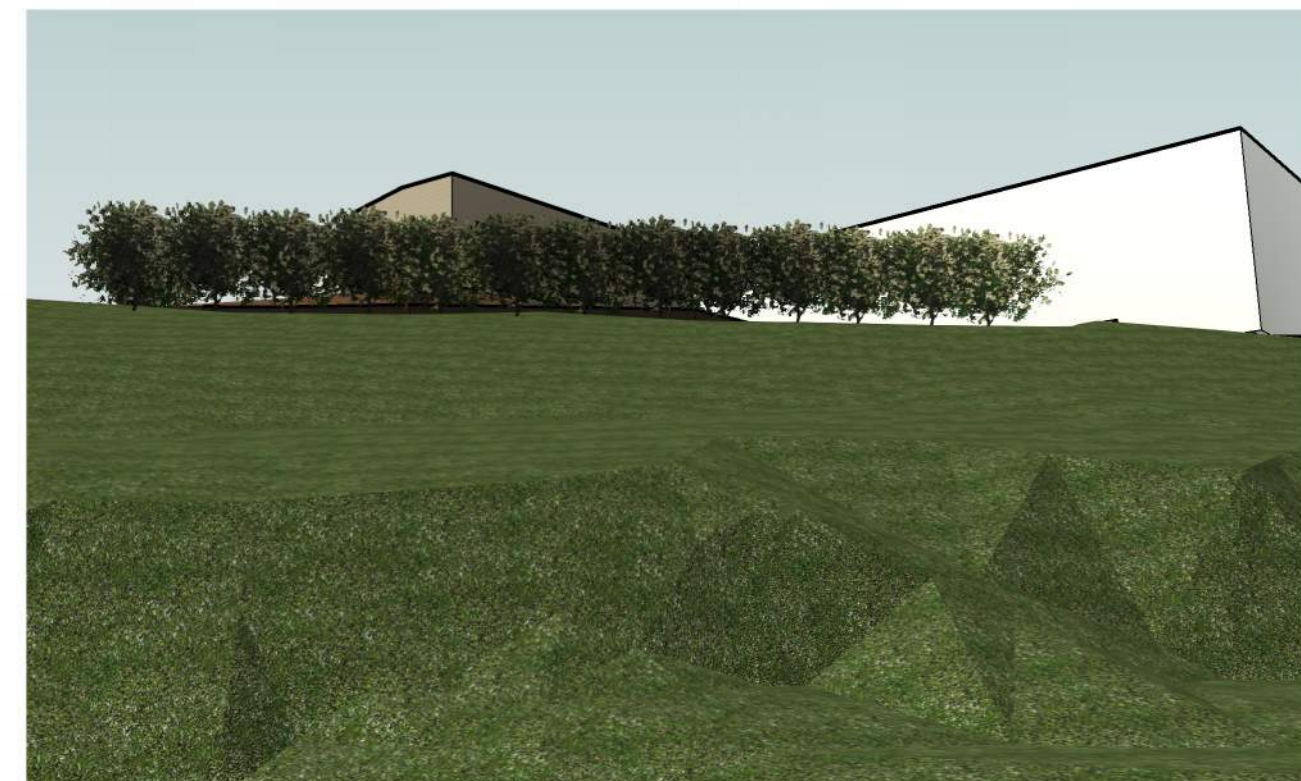
PROJECT DIRECTORY

OWNER:
ALLO COMMUNICATIONS
702 EAST FRANCIS
NORTH PLATTE, NE 69101
PH: 314.971.5027
CONTACT: JOSHUA KAYSER
E: joshua.kayser@allofiber.com

ENGINEER:
W DESIGN ASSOCIATES
2626 W. 2ND ST.
HASTINGS, NE 68901
P: 402.463.2377
CONTACT: STEVE WOLFORD
E: steve@wdesignea.com

ALLO COMMUNICATIONS
FIBER HUT PROJECT (SOUTH)

1192 S. LASHLEY LANE, BOULDER, COLORADO 80303

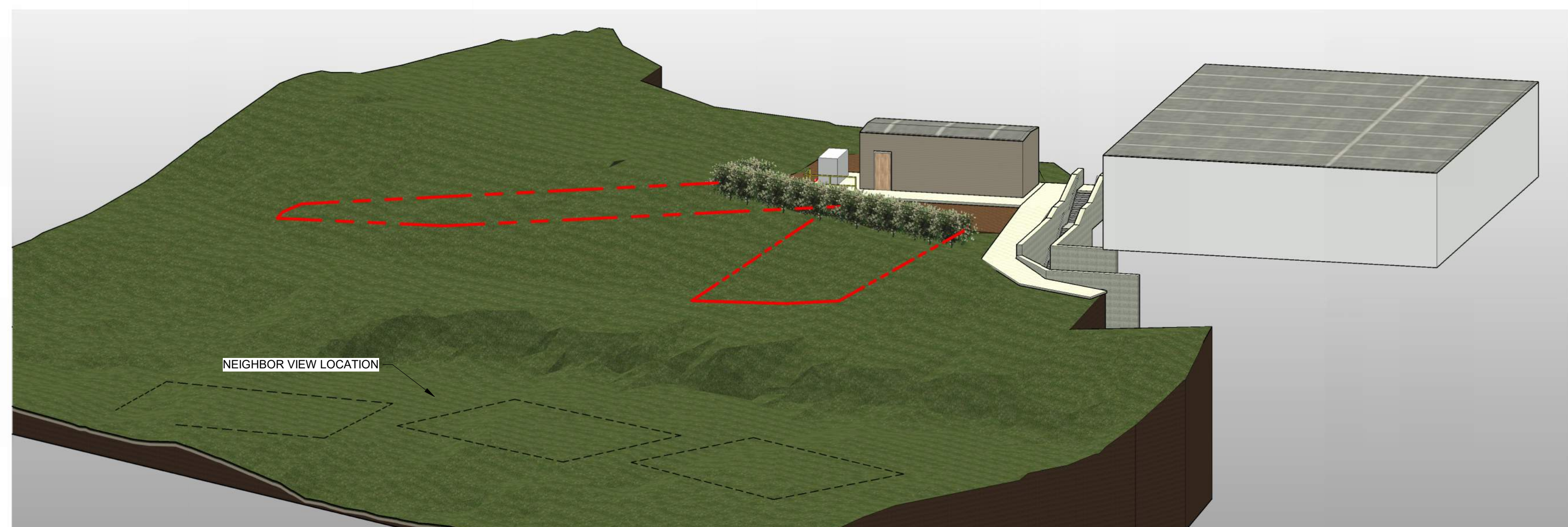


4 NORTH NEIGHBOR'S BACKYARD VIEW
Scale:



THERMOBOND 12'W. X 30'L. X 10'-0"H.

NOTE: SEE DRAWING SET
TBB1431 FOR DETAILS



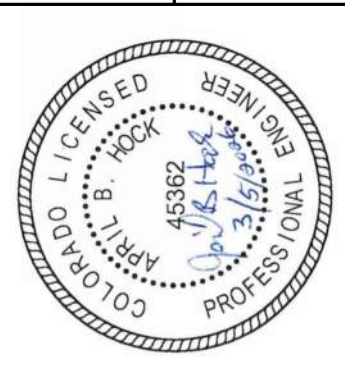
NORTHWEST ELEVATION

NOTE:

W DESIGN ASSOCIATES, APRIL B. HOCK, P.E., IS PROVIDING PROFESSIONAL ENGINEERING SERVICES FOR THE SITE DESIGN AND FOUNDATION PLAN FOR THE FIBER HUT PROJECT FOR ALLO COMMUNICATIONS IN BOULDER (SOUTH), CO. WE ARE NOT ACTING AS THE COORDINATING PROFESSIONAL FOR THIS PROJECT. WE ARE REQUIRED TO VERIFY CONSTRUCTION OF THE COMPONENTS SHOWN IN THESE PLANS AND SPECIFICATIONS. PLEASE PROVIDE APPROPRIATE NOTIFICATION FOR INSPECTION(S).

1" = 1'-0" on original drawing.
If not one inch on this sheet, adjust scales accordingly.

DESIGN ASSOCIATES
214 E. 1ST ST. MACDON, NE 68011 (308) 342-2370 (ENGINEERS ARCHITECTS)
2626 W. 2ND ST. HASTINGS, NE 68011 (402) 463-2377 (WWW.WDESIGNEA.COM)



PROJECT #: 640BS-25
DRAWN: JMT
CHECKED: SWW
REVISIONS:
Revision 1: 01-15-2026

CVR
COVER PAGE

DATE: AUGUST, 2025



LOCATION NOTES:

1. PROPERTY ADDRESS: 1190 SOUTH LASHLEY LANE, BOULDER CO, 80303
2. OWNER: CORNERSTONE CHURCH OF BOULDER VALLEY
3. SEC-TOWNSHIP-RANGE: S08-T1S-R70W
4. BUILDING ZONE: RL-1
5. BUILDING AREA: 360 S.F. (SEE THERMOBOND DRAWING TBB1431 REV.15 1/23/25)
6. LOT AREA / LOT COVERAGE: 581 S.F. / 119,551 TOTAL S.F. / COVERAGE AREA <0.005%
7. CONTRACTOR TO COORDINATE FINAL BUILDING LOCATION WITH CLIENT PRIOR TO CONSTRUCTION.
8. CONTRACTOR TO LOCATE AND PROTECT ALL UNDERGROUND UTILITIES DURING CONSTRUCTION.
9. CONTRACTOR TO LOCATE AND VERIFY EXISTING PROPERTY PINS, BOUNDS, AND EASEMENTS FOR PROPER BUILDING LOCATION PRIOR TO CONSTRUCTION.



OVERALL SITE PLAN
SCALE: 1" = 20'

NOTES:

1. SEE SHEET C-2 FOR CONTOUR AND ELEVATION DETAILS
2. SEE DETAIL FD-1 FOR BUILDING HEIGHT AND 25' LOW SIDE GRADE
3. SEE SHEET C-5 (SOLAR) FOR ADDITIONAL ELEVATION NOTES

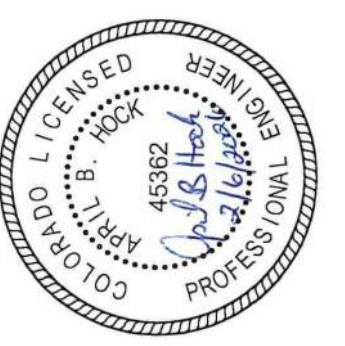
NOTE:

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ALLO COMMUNICATIONS
FIBER HUT PROJECT (SOUTH)

1192 S. LASHLEY LANE, BOULDER, COLORADO 80303

DESIGN ASSOCIATES
214 E. 153 ST. JACKSON, NE 68901 | 402.462.2371 | WWW.DESIGNASSOCIATES.COM



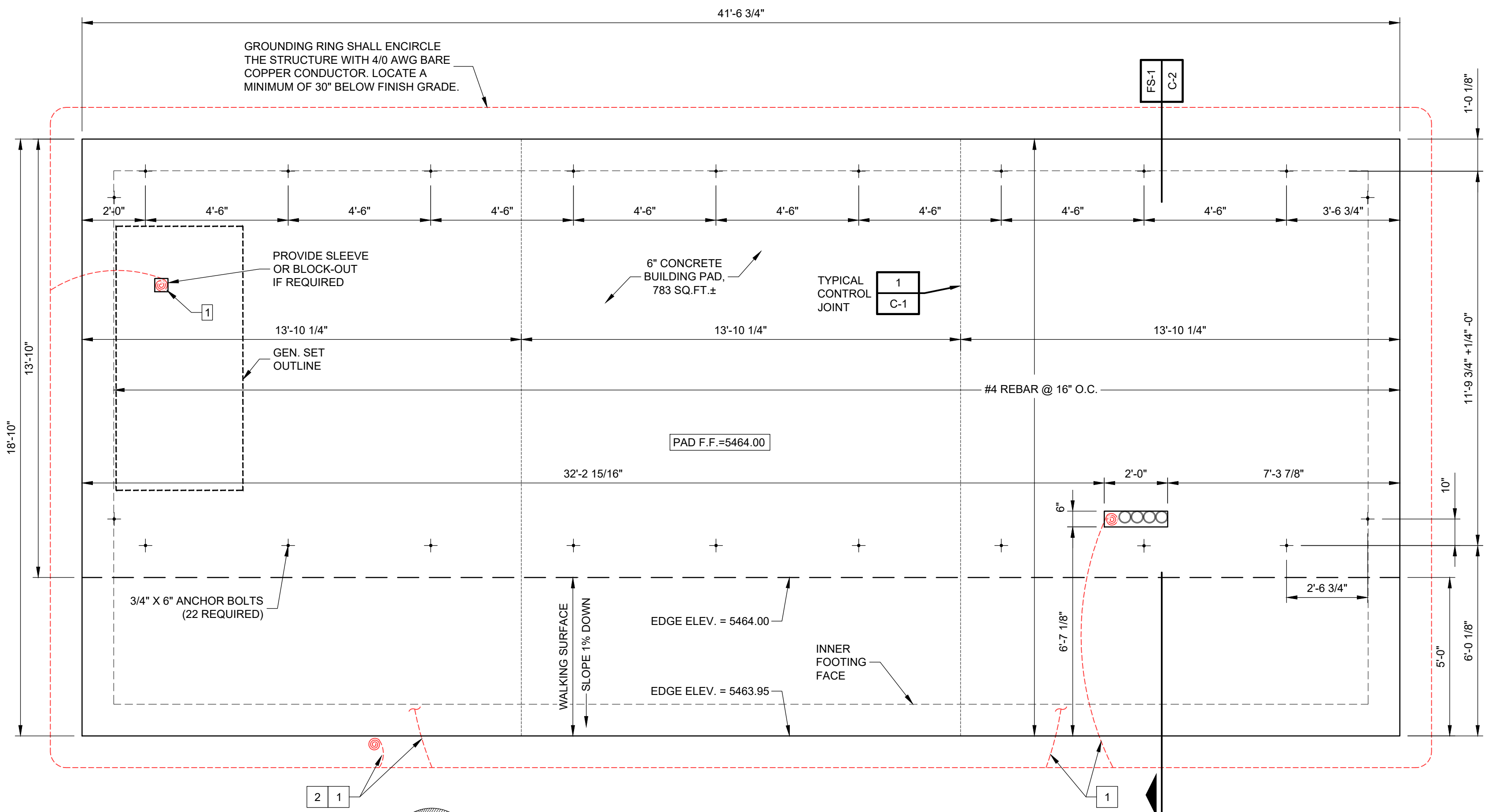
DWG: 64085-25 C-1
DRAWN: SWW
CHECKED: AH

REVISIONS
NEW SHEET ADDED 1/14/2026
REV. 3

C-0

DATE: JUNE, 2025

This bar is one inch long on original drawing.
If not one inch on this sheet, adjust scales accordingly.



CONCRETE FOUNDATION PLAN
SCALE: 3/8" = 1'-0"
NORTH

STRUCTURAL LOAD NOTES:
Building Code and Design Load information can be found on THERMOBOND DRAWING TBB1431 REV.15 1/23/25
Building, generator and skid package weight = 33,000 lbs.
Weight of concrete foundation = 121,575 lbs.
Total load on area under foundation = 154,575 lbs. Area under foundation = 781 sq. ft., Soil pressure under slab = 198 lbs/sq. ft.
Prepare site per construction and grading notes.

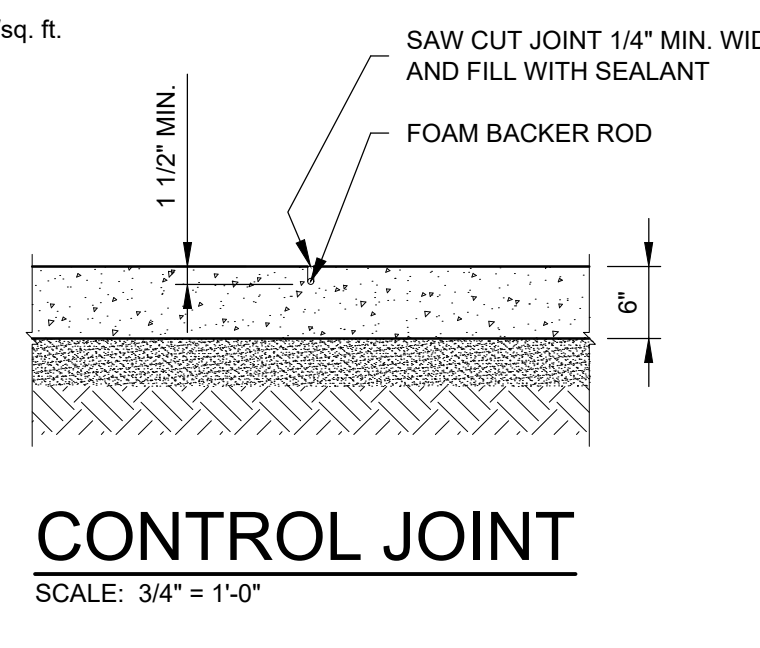
AGGREGATE SPECIFICATIONS:

1. THE TYPES OF AGGREGATE SHALL BE ONE OF THE FOLLOWING:
a. Crushed Granite
b. Crushed Concrete
c. Crushed Limestone
d. Platte Valley Gravel or approved equal

2. ALL AGGREGATE SHALL MEET THE SAME GRADATION AS REQUIRED BELOW.
GRADUATION REQUIREMENTS:

Screen Size	Percent Passing by Weight
1"	92 - 100%
3/4"	66 - 90%
3/8"	15 - 45%
No. 4	0 - 12%
No. 10	—
No. 20	0 - 4%
No. 200	3% Maximum

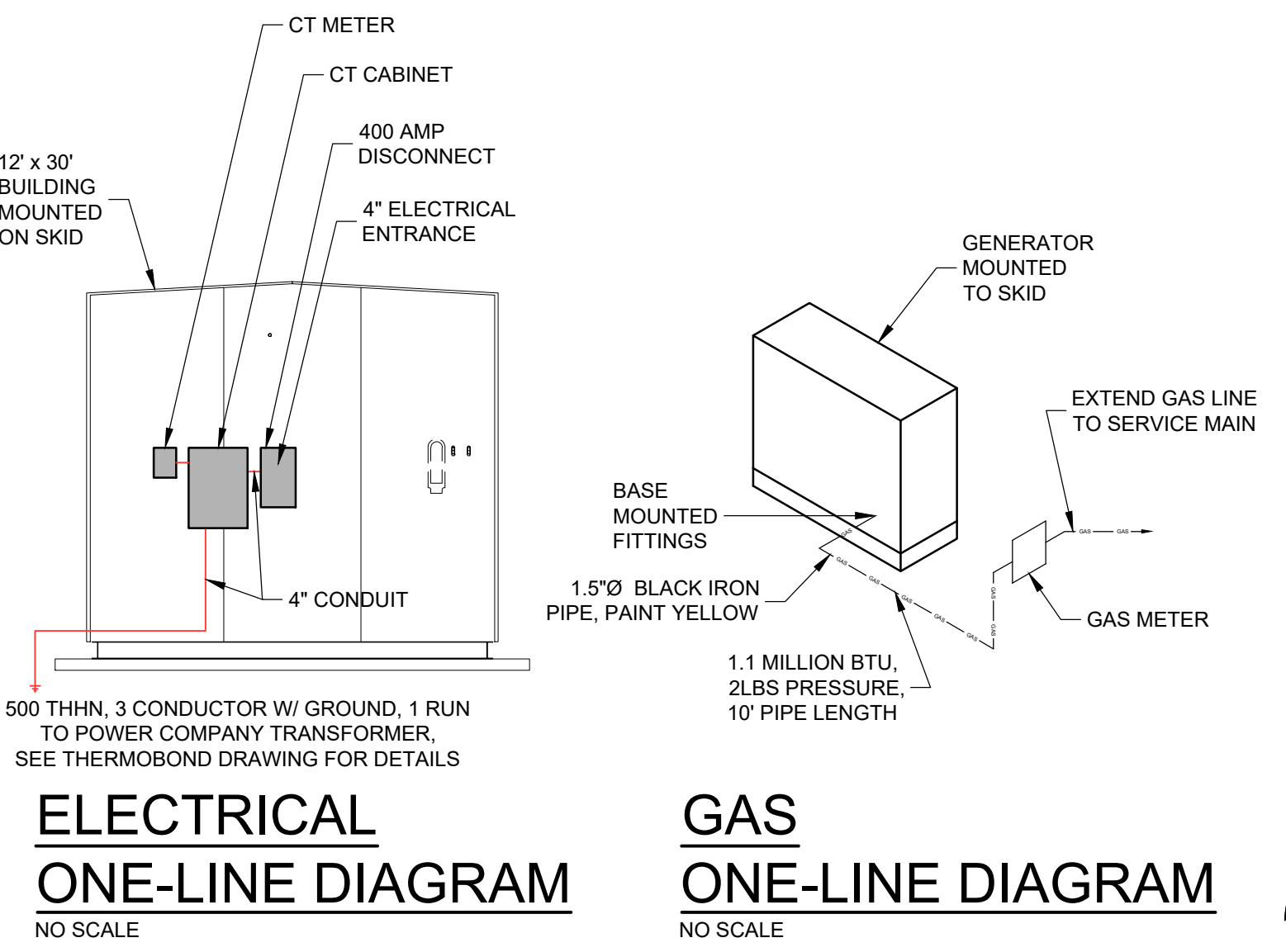
3. THE AGGREGATE SHALL BE LAID AND COMPACTED BY AN APPROVED METHOD TO THE LINES AND GRADES SHOWN ON THE PLANS.



CONTROL JOINT
SCALE: 3/4" = 1'-0"
1
C-1

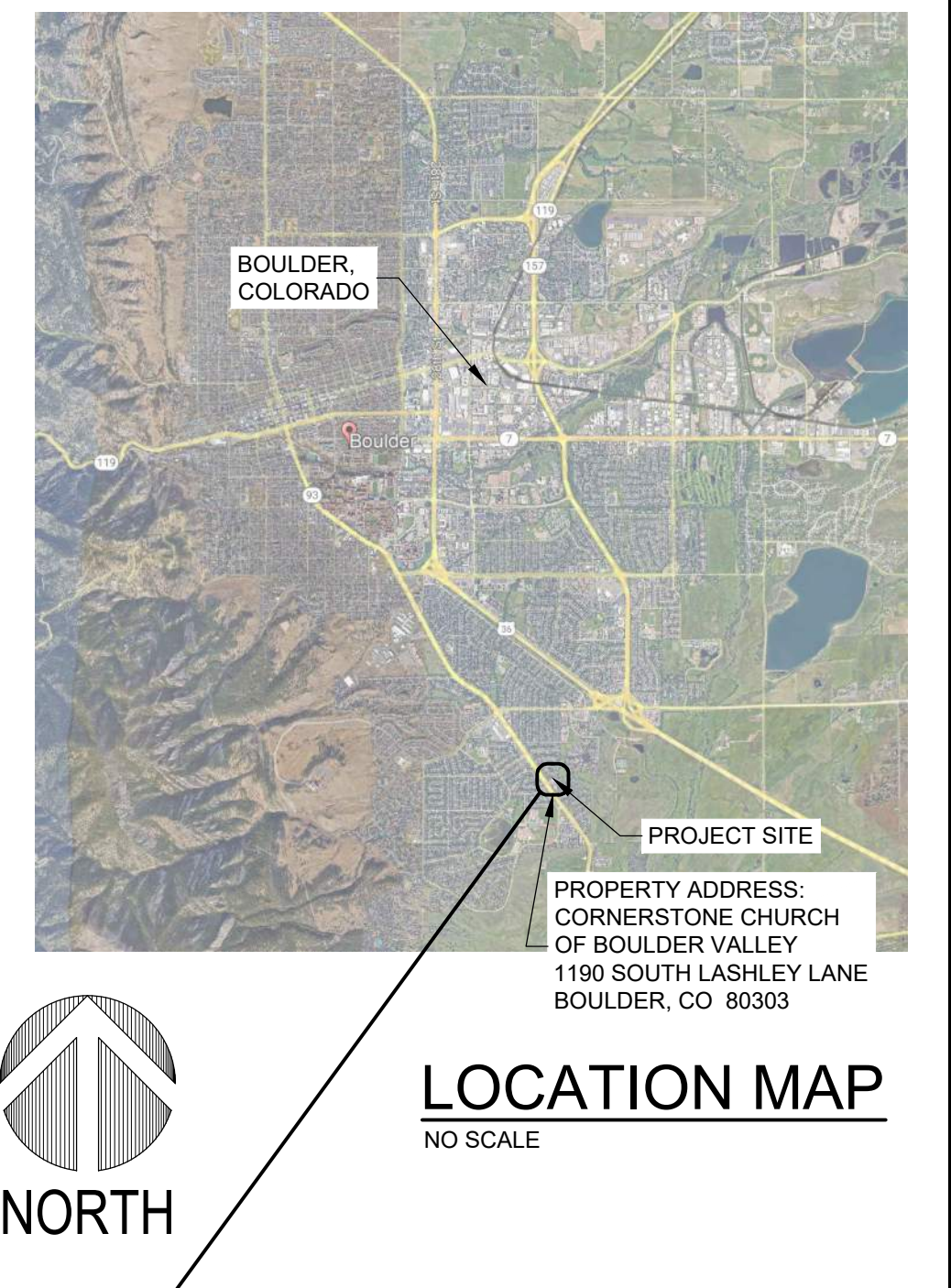
- KEYNOTES:**
- CONNECT BONDING JUMPER FROM GROUNDING RING TO FOOTING STEEL AND ELECTRIC EQUIPMENT WITH 4/0 AWG BARE COPPER CONDUCTOR PER NEC 2020.
 - PROTECT EXPOSED WIRE ON EXTERIOR WITH RIGID METAL CONDUIT

- CONSTRUCTION AND CONCRETE NOTES:**
- A LICENSED SURVEYOR SHALL LOCATE PROPERTY, EASEMENT AND SETBACK LINES TO PROPERLY LOCATE THE STRUCTURE.
 - STRIP 6" TO REMOVE ORGANIC MATERIAL. COMPACT STRIPPED AREA (SEE GRADING NOTES).
 - ALL PAVING AND CONCRETE SHALL BE PLACED ON A FLAT AND SMOOTH PROFILE. E.G. SCREEDED AND COMPACTED AGGREGATE CUSHION.
 - ALL CONCRETE FOR FLOORS, PADS AND FOOTINGS SHALL BE CDOT CLASS "B" 4000 CONCRETE. DRIVEWAYS, SIDEWALKS, RAMPS AND CURBS SHALL BE THE SAME.
 - USE POWER TROWEL FINISH ON ALL INTERIOR CONCRETE.
 - PROVIDE BURLAP OR BROOM FINISH ON DRIVES AND SIDEWALKS AND PROVIDE SAWEED JOINTS FILLED WITH SEALANT NOTED BELOW.
 - ALL SUBGRADE UNDER CONCRETE SHALL BE COMPACTED TO 95% OF STANDARD PROCTOR DENSITY AT ±2% FROM OPTIMUM MOISTURE.
 - SEAL ALL EXPOSED JOINTS IN CONCRETE, EXPANSION JOINTS AND JOINTS ADJACENT TO BUILDING WITH POLYURETHANE SUCH AS VULKEM 45 SSL BY TREMCO INCORPORATED, SONNEBORN SL-1 OR APPROVED EQUAL.
 - CONTRACTOR TO LAYOUT AND TOOL OR SAW CUT CONTROL JOINTS AS SHOWN OR AS REQUIRED TO PREVENT RANDOM CRACKS. CUT AS SOON AS PRACTICAL. DO NOT LEAVE OVERNIGHT.
 - ALL CONCRETE PAVING CONTROL JOINTS SHALL BE CUT OR PLACED AS DIMENSIONED IN NEARLY SQUARE SECTIONS WITH NO LENGTH TO WIDTH RATIO EXCEEDING 1.2. (E.G. 3'X3', 5'X5', 10'X10' ETC), UNLESS NOTED OTHERWISE.

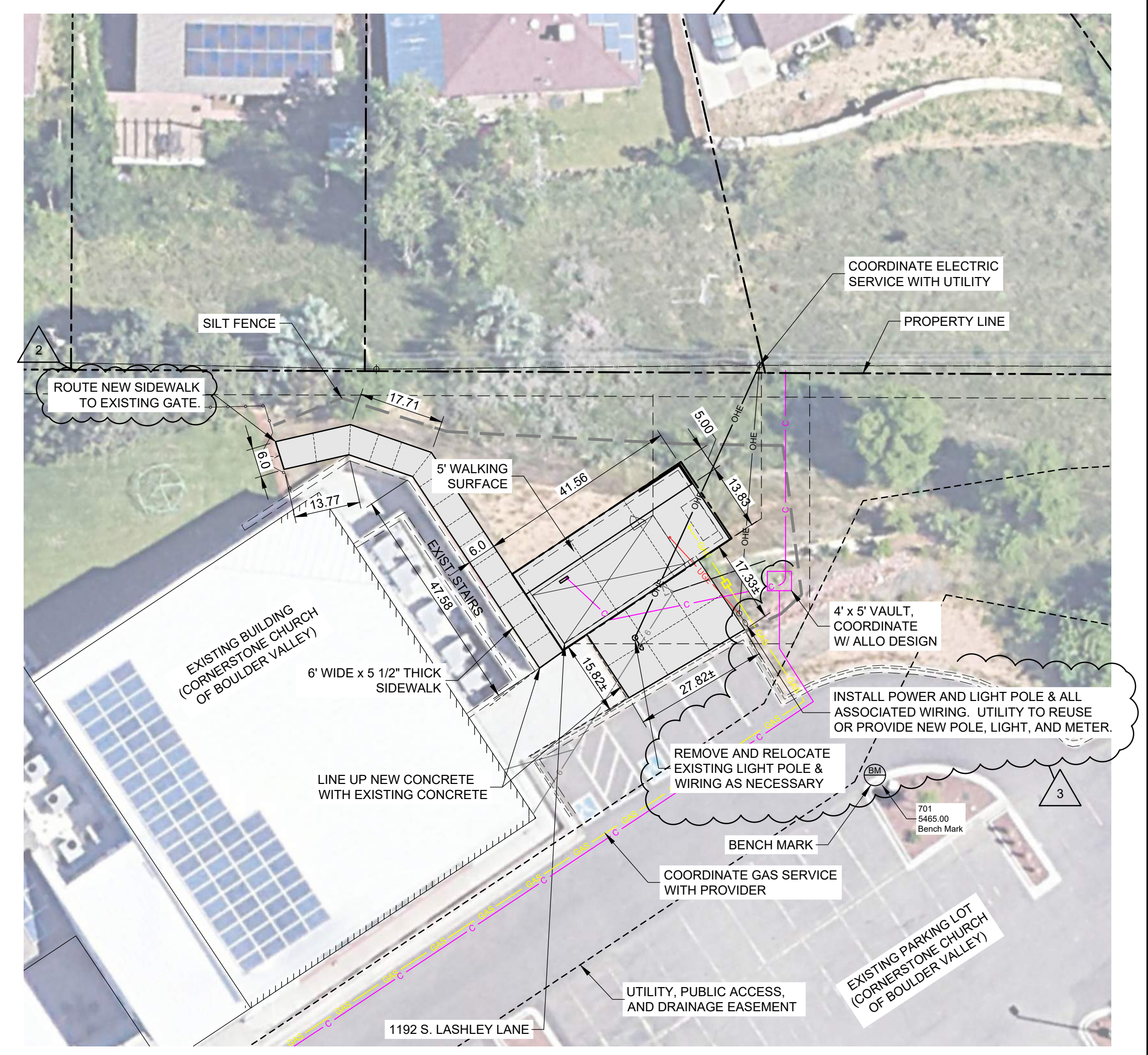


ELECTRICAL ONE-LINE DIAGRAM
NO SCALE

GAS ONE-LINE DIAGRAM
NO SCALE



LOCATION MAP
NO SCALE



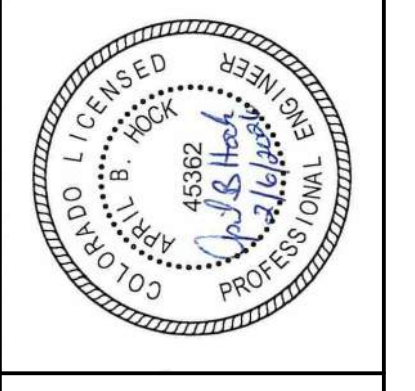
SITE PLAN
SCALE: 1" = 20'
NORTH

- REVISION NOTES:**
- SOME NOTES MORE APPLICABLE TO THE OVERALL SITE PLAN HAVE BEEN RELOCATED TO THAT SHEET, C-0.
 - THE NORTH DRAIN PIPE WAS NOTED ON MULTIPLE SHEETS AND THE REMOVAL OF THIS IS NOTED ON THE DRAINAGE PLAN. (IT HAS BEEN REMOVED ON ALL SHEETS.)

NOTE:
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ALLO COMMUNICATIONS
FIBER HUT PROJECT (SOUTH)
1192 S. LASHLEY LANE, BOULDER, COLORADO 80303

DESIGN ASSOCIATES
APRIL B. HOCK, P.E.
2020 W. 280 ST. WESTGARD, NE 68601 | (402) 482-2377 | WWW.ABDESIGN.COM

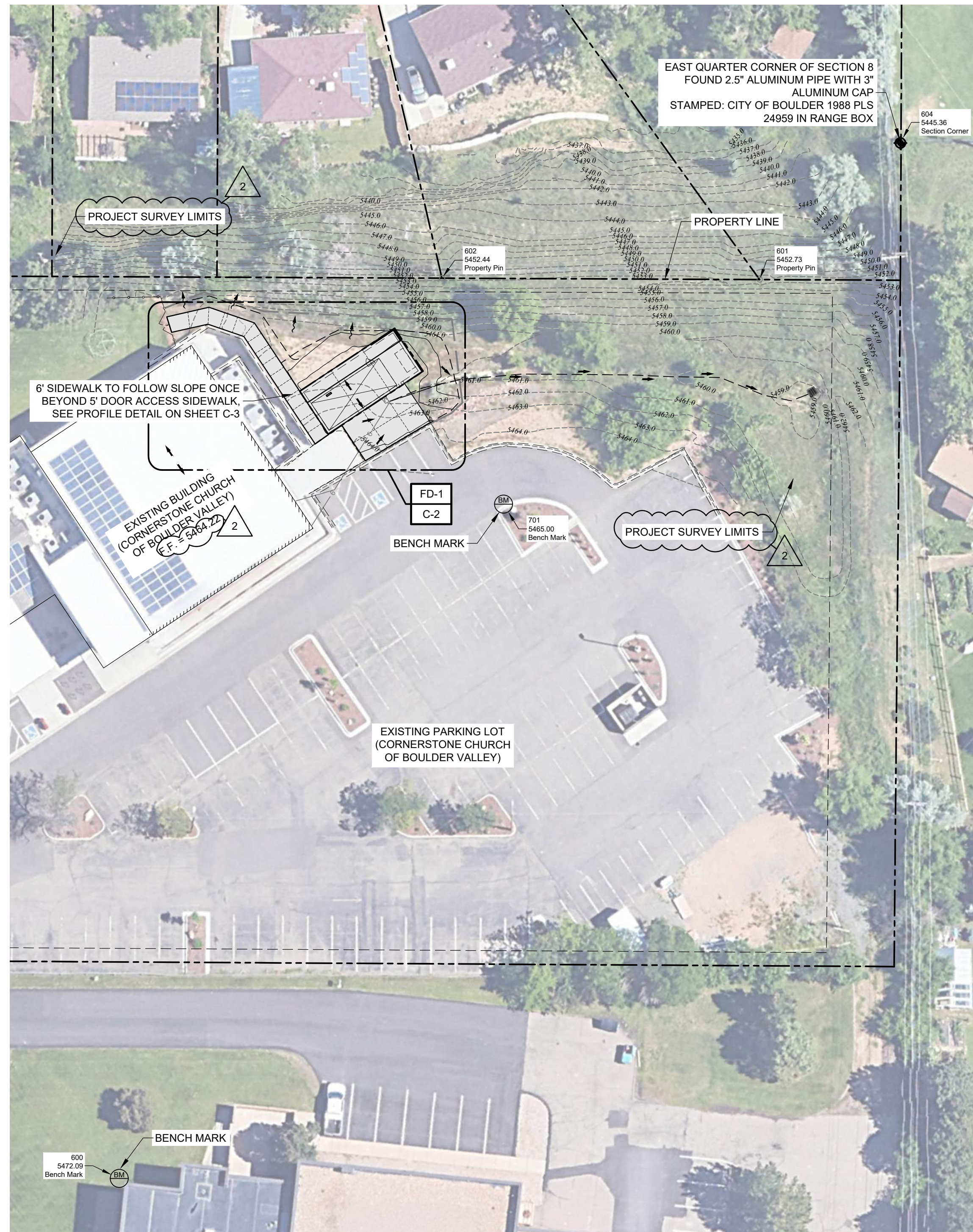


DWG: 640BS-25 C-1

DRAWN: J. SHAW / JMT
CHECKED: SWW
REVISIONS
REV. 1-NOV-11, 2025
REV. 2-JAN. 15, 2026
REV. 3

C-1

DATE: JUNE, 2025



CONTROL AND SURVEY LIMITS PLAN
SCALE: 1" = 30'

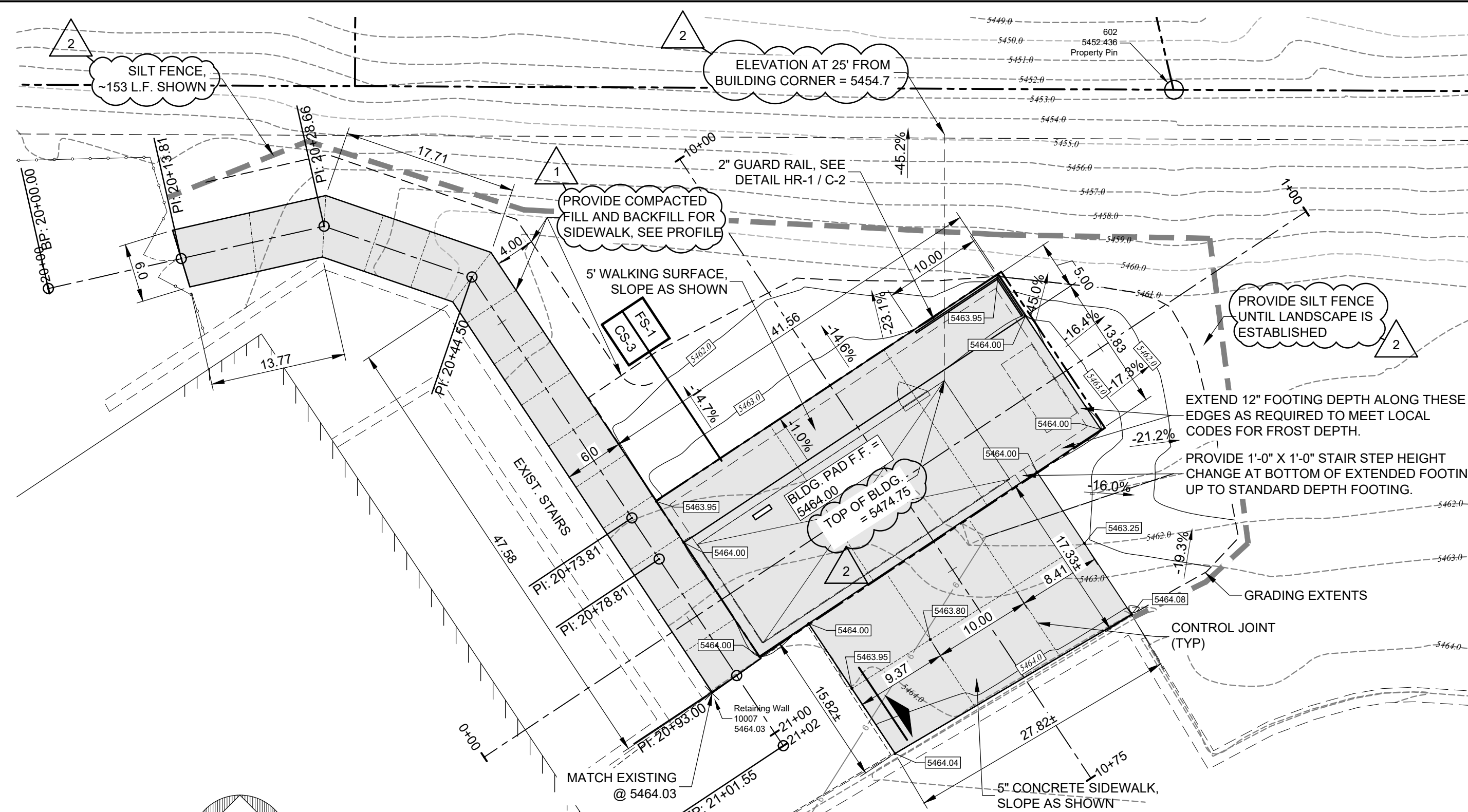
Control Data				
Point #	Description	Northing	Easting	Elevation
600	Bench Mark	9666.12	10322.67	5472.09
701	Bench Mark	9914.74	10464.41	5465.00

Property Pin Data				
Point #	Description	Northing	Easting	Elevation
601	Property Pin	9997.52	10558.86	5452.73
602	Property Pin	9998.04	10441.73	5452.44
604	Section Corner	10047.86	10610.77	5445.36

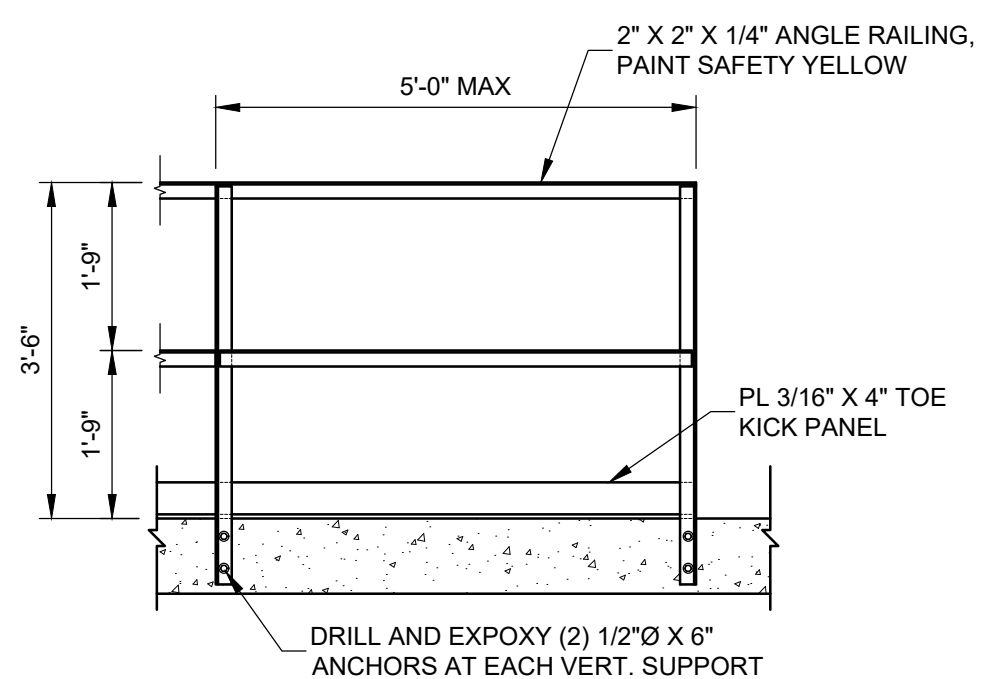
Cut/Fill Summary

Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
EG - FINISH GRADE COMP	1.000	1.000	2080.70 Sq. Ft.	0.24 Cu. Yd.	95.71 Cu. Yd.	95.46 Cu. Yd.<Fill>
Totals			2080.70 Sq. Ft.	0.24 Cu. Yd.	95.71 Cu. Yd.	95.46 Cu. Yd.<Fill>

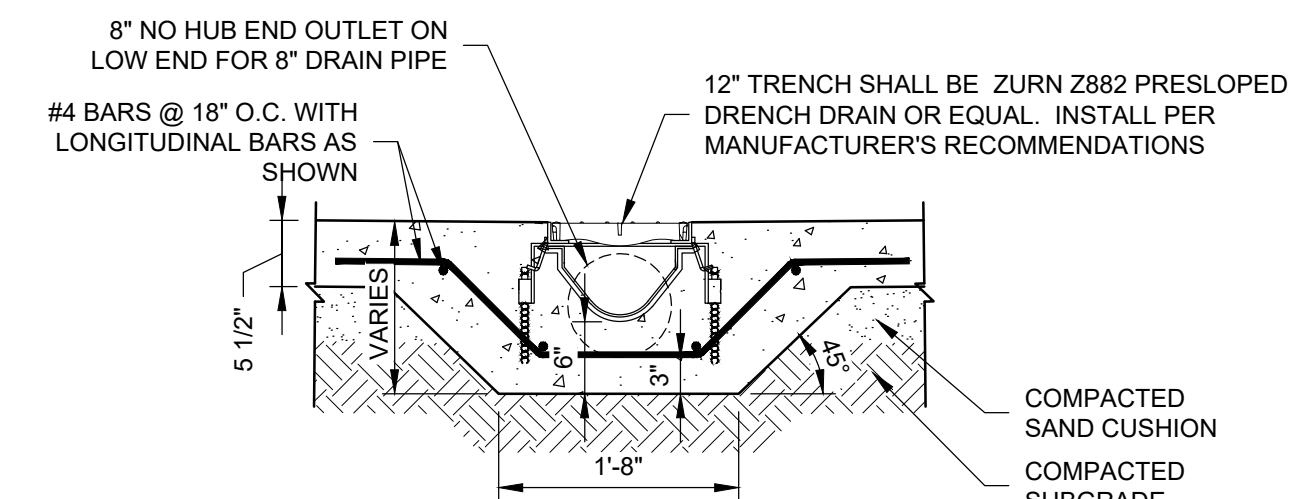
NOTE: CUT/FILL QUANTITIES ARE ESTIMATED FROM EXISTING GRADE TO FINISHED SURFACE AND ARE FOR REFERENCE ONLY. THEY DO NOT ACCOUNT FOR STRIPPING QUANTITIES OR COMPACTION. FILL UNDER AND BESIDE THE NEW SIDEWALK IS NOT ACCOUNTED FOR IN THIS ESTIMATE.



GRADING AND PAD CONSTRUCTION DETAIL
SCALE: 1" = 10'



GUARD RAIL ELEVATION
SCALE: 1/2" = 1'-0"



TRENCH DRAIN SECTION
SCALE: 3/4" = 1'-0"

GRADING NOTES:

1. THE CONTRACTOR SHALL LOCATE AND PROTECT ALL UNDERGROUND UTILITIES.
2. THE AREA UNDER AND WITHIN 4 FT. OF THE DRIVEWAY, BUILDING AND SIDEWALKS SHALL BE STRIPPED 6" OF ORGANIC MATERIAL AND TOPSOIL. ADDITIONALLY, THE AREA UNDER THE BUILDING STRUCTURE AND FOOTINGS SHALL BE EXCAVATED TO 5460.8 AND HAVE COMPACTED FILL PROVIDED AS NOTED BELOW. SEE SECTIONS. ALL EMBANKMENT IN THESE AREAS SHALL BE FROM AN APPROVED BORROW AREA.
3. THE CONTRACTOR SHALL PROVIDE SOIL TESTING TO VERIFY COMPACTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO HAVE THE SOIL TYPES AND PROCTOR DENSITIES DETERMINED. NO SOIL BORINGS, SAMPLES OR TESTS HAVE BEEN TAKEN. A GEOTECHNICAL FIRM APPROVED BY THE ENGINEER SHALL BE EMPLOYED ACCORDINGLY.
4. PROVIDE NON-EXPANSIVE GRANULAR FILL OR AGGREGATE WHERE APPROPRIATE. BORROW MATERIAL SHALL BE APPROVED BY THE GEOTECH ENGINEER. IT WILL NOT BE PAID FOR DIRECTLY, BUT SHALL BE SUBSIDIARY TO THE GRADING BID.
5. ALL EMBANKMENT UNDER STRUCTURES, SIDEWALKS AND PAVEMENTS SHALL BE COMPACTED TO 95% OF STANDARD PROCTOR DENSITY @ ±2% FROM OPTIMUM MOISTURE.
6. ALL OTHER EMBANKMENT SHALL BE COMPACTED TO 92% OF STANDARD PROCTOR @ ±2% FROM OPTIMUM MOISTURE.
7. TOP SOIL FROM ALL STRIPPING MAY BE STOCKPILED AND USED TO DRESS ALL SLOPE AREAS IF APPROVED BY GEOTECH ENGINEER.
8. THE ENGINEER CAN PROVIDE A MODEL SURFACE FOR THE CONTRACTOR TO USE FOR GPS CONTROL. GPS CONTROL IS PREFERRED. MODEL SURFACE WILL BE THE TOP OF ALL FINISHER SURFACES.
9. THE CONTRACTOR SHALL REVIEW THE DRAINAGE PLAN AND VERIFY FINAL DRAINAGE PATTERNS ARE AS INTENDED. MAKE ANY ALTERATIONS REQUIRED.

10. THE ENGINEER OR OWNER'S REPRESENTATIVE WILL APPROVE FINAL GRADE BEFORE SEED AND EROSION CONTROL.

EROSION CONTROL AND SEEDING:

1. THE CONTRACTOR SHALL ERECT THE SILT FENCE PRIOR TO BEGINNING CONSTRUCTION OPERATIONS UNLESS APPROVED OTHERWISE.
2. RESEED ALL FILL AREAS OUTSIDE SIDEWALKS, DRIVEWAY AND BUILDING PAD. RESEED ALL OTHER DISTURBED AREAS. DISTURB AS LITTLE AREA OUTSIDE FILL AS POSSIBLE AND LEAVE ALL NATIVE GRASS WHERE POSSIBLE.
3. ALL SLOPES SHALL BE PROTECTED WITH EROSION CONTROL BLANKETS OR HYDROSEED UPON COMPLETION OF FINISH GRADING.
4. SEEDING SHALL BE COMPLETED IMMEDIATELY UPON COMPLETION OF FINISH GRADING. PROVIDE SEED MIX APPROVED BY THE AUTHORITY HAVING JURISDICTION.
5. THE DISTURBED AREA SHOULD BE UNDER 1/2 ACRE AND NO STORMWATER POLLUTION PREVENTION PLAN IS BEING PROVIDED.

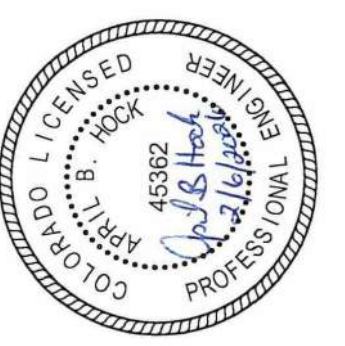
NOTE:

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ALLO COMMUNICATIONS
FIBER HUT PROJECT (SOUTH)

1192 S. LASHLEY LANE, BOULDER, COLORADO 80303

DESIGN ASSOCIATES
200 W. 280 ST. WESTFIELD, NE 68081 | (402) 482-2377 | WWW.DESIGNA.CO

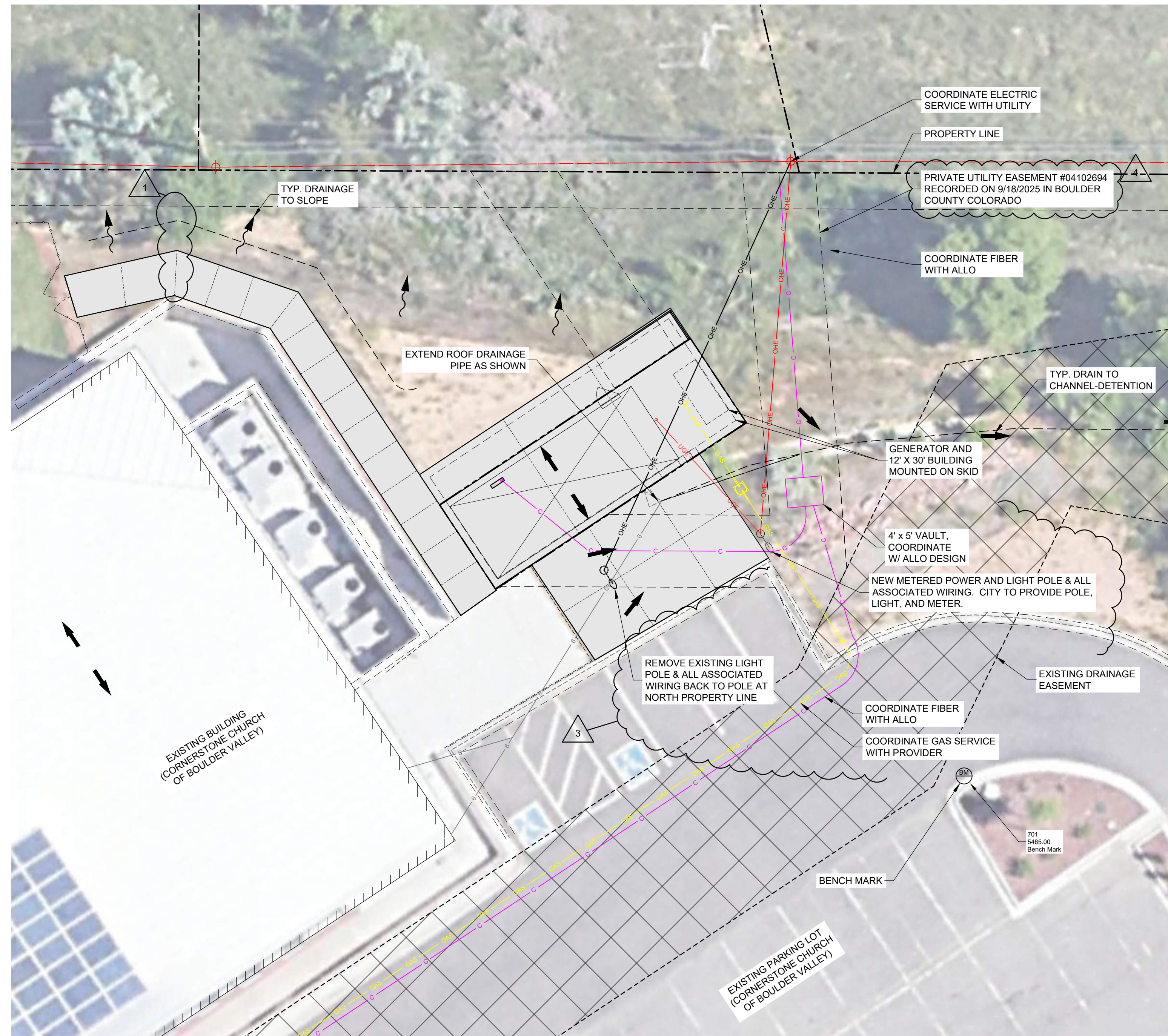


DWG: 64085-25 C-1
DRAWN: JMT
CHECKED: SWW
REVISIONS
#1-NOV. 11, 2025
#2-JAN. 15, 2026

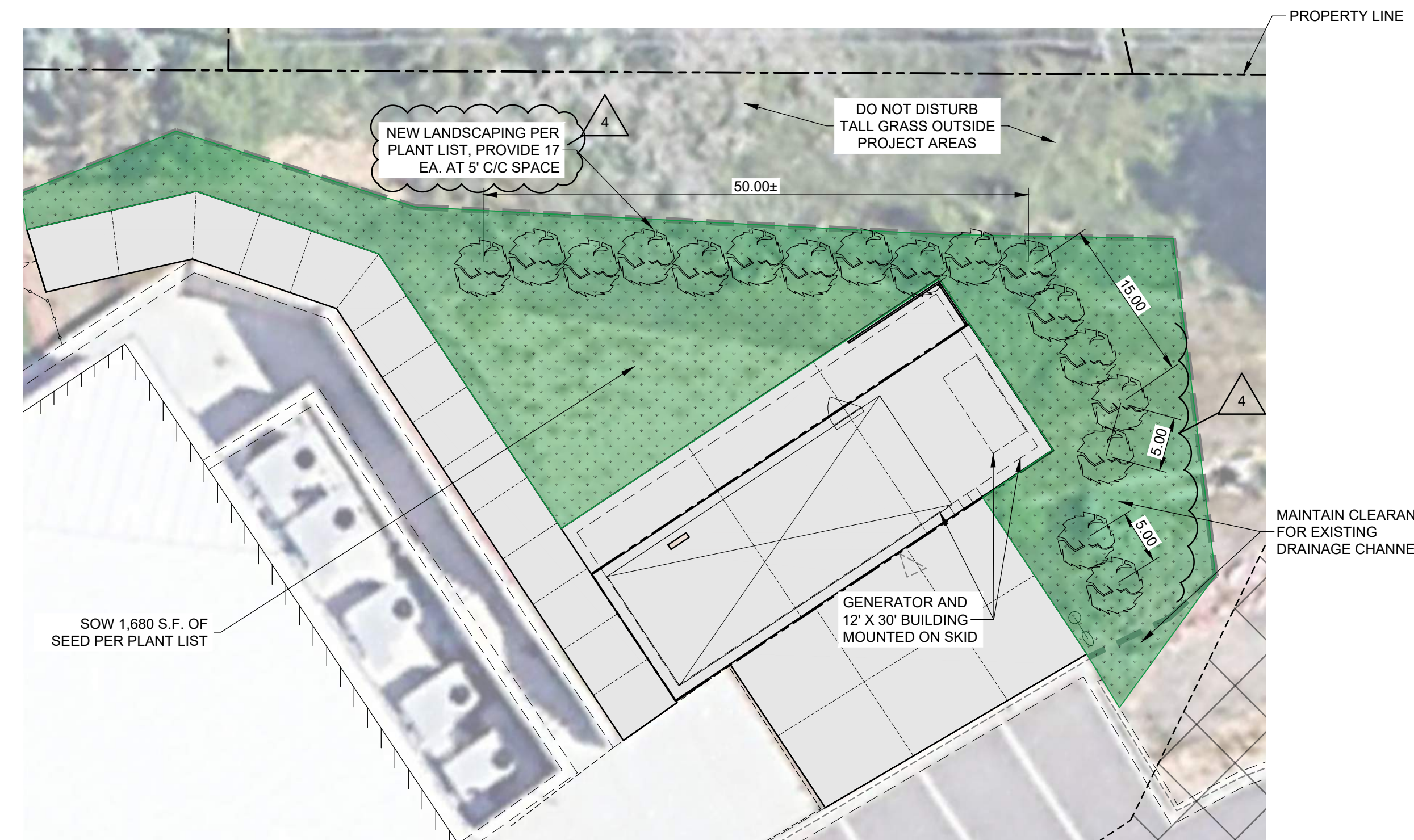
C-2

DATE: JUNE, 2025

This bar is one inch long on original drawing. If not one inch on this sheet, adjust scales accordingly.



UTILITY PLAN
SCALE: 1" = 10'



LANDSCAPING PLAN
SCALE: 1" = 10'

ALLO COMMUNICATIONS
FIBER HUT PROJECT (SOUTH)
1192 S. LASHLEY LANE, BOULDER, COLORADO 80303

DESIGN ASSOCIATES
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PRELIMINARY
NOT FOR CONSTRUCTION

DWG: 640BS-25 C-1
DRAWN: J. SHAW/JMT/SWW
CHECKED: SWW
REVISIONS
#1 LANDSCAPE 1/15/2025 SWW
REV. 3 EASEMENTS, LIGHT POLE
REV. R-4/18/26 EASEMENT, LS SCREEN

PLANT LIST											
SCIENTIFIC NAME	COMMON NAME	WATER USE	EXPOSURE	SOIL	HEIGHT (ft)	SPREAD (ft)	BLOOM COLOR	BLOOM SEASON	BOULDER COUNTY NATIVE	WILDLIFE USE	MINIMUM PLANTING SIZE
<i>Ribes aureum</i>	Golden currant	LOW	Full sun-part sun	Moist to drier soils	6-10'	5-10'	Yellow	Mar-Jul	Y	Provides nectar for bees, hummingbirds and butterflies. Host for hoary comma butterfly. Birds, bears and rodents eat fruit; rabbit resistant	#1
<i>Bouteloua gracilis</i>	Blue Gama	LOW	Full sun-part sun	Adaptable to most soil types	12" TO 24"	Less Dense	Blue-Green	N.A.	Y	N.A.	1.5 lbs. per 1000 S.F.

NOTE: A NATIVE SHORTGRASS PRAIRIE MIXTURE CAN BE SUBSTITUTED UPON RECOMEDATION OF THE OWNER OR CITY.

NOTE:
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C-4

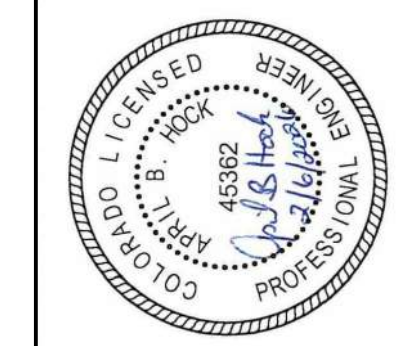
DATE: NOV., 2025

This bar is one inch long on original drawing.
If not one inch on this sheet, adjust scales accordingly.



ALLO COMMUNICATIONS
FIBER HUT PROJECT (SOUTH)
 1192 S. LASHLEY LANE, BOULDER, COLORADO 80303

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DRAINAGE PLAN
 SCALE: 1" = 10'

NOTE:
 THIS PLAN DETAILS CHANGES THAT WILL AFFECT SITE DRAINAGE RELATIVE TO THE DRAINAGE AS REPORTED BY COFFEY ENGINEERING & SURVEYING, LLC IN THE REPORT REVISED JANUARY 27, 2020. PROJECT NO. 2216.04. REFERENCE IS MADE TO DRAWING C-7 IN THAT REPORT.

SHADE LEGEND

- ← SUB-BASIN AREA P1
- ← IMPERVIOUS (CONCRETE) AREA ADDED TO SUBCATCHMENT AREA P1
- ← SUB-BASIN AREA P2
- ← IMPERVIOUS (CONCRETE) AREA ADDED TO SUBCATCHMENT AREA P2

REVISED BASIN FLOW SUMMARY TABLE								
SUBCATCHMENT NO.	AREA (AC)	% IMP.	10-YR COMP "C"	100-YR COMP "C"	I10 (IN/HR)	I100 (IN/HR)	Q10 (CFS)	Q100 (CFS)
P1	1.26	75.1%	0.74	0.82	3.49	6.58	3.23	6.77
P2	1.00	34.6%	0.40	0.62	2.88	5.43	1.17	3.38

EXISTING BASIN FLOW SUMMARY TABLE								
SUBCATCHMENT NO.	AREA (AC)	% IMP.	10-YR COMP "C"	100-YR COMP "C"	I10 (IN/HR)	I100 (IN/HR)	Q10 (CFS)	Q100 (CFS)
P1	1.27	74%	0.65	0.77	3.49	6.58	2.88	6.43
P2	0.98	32%	0.32	0.57	2.88	5.43	0.90	3.03

NOTE:
 THE EXISTING BASIN FLOW SUMMARY IS EXTRACTED FROM THE DATA FROM THE COFFEY ENGINEERING & SURVEYING, LLC REPORT REVISED JANUARY 27, 2020. PROJECT NO. 2216.04.

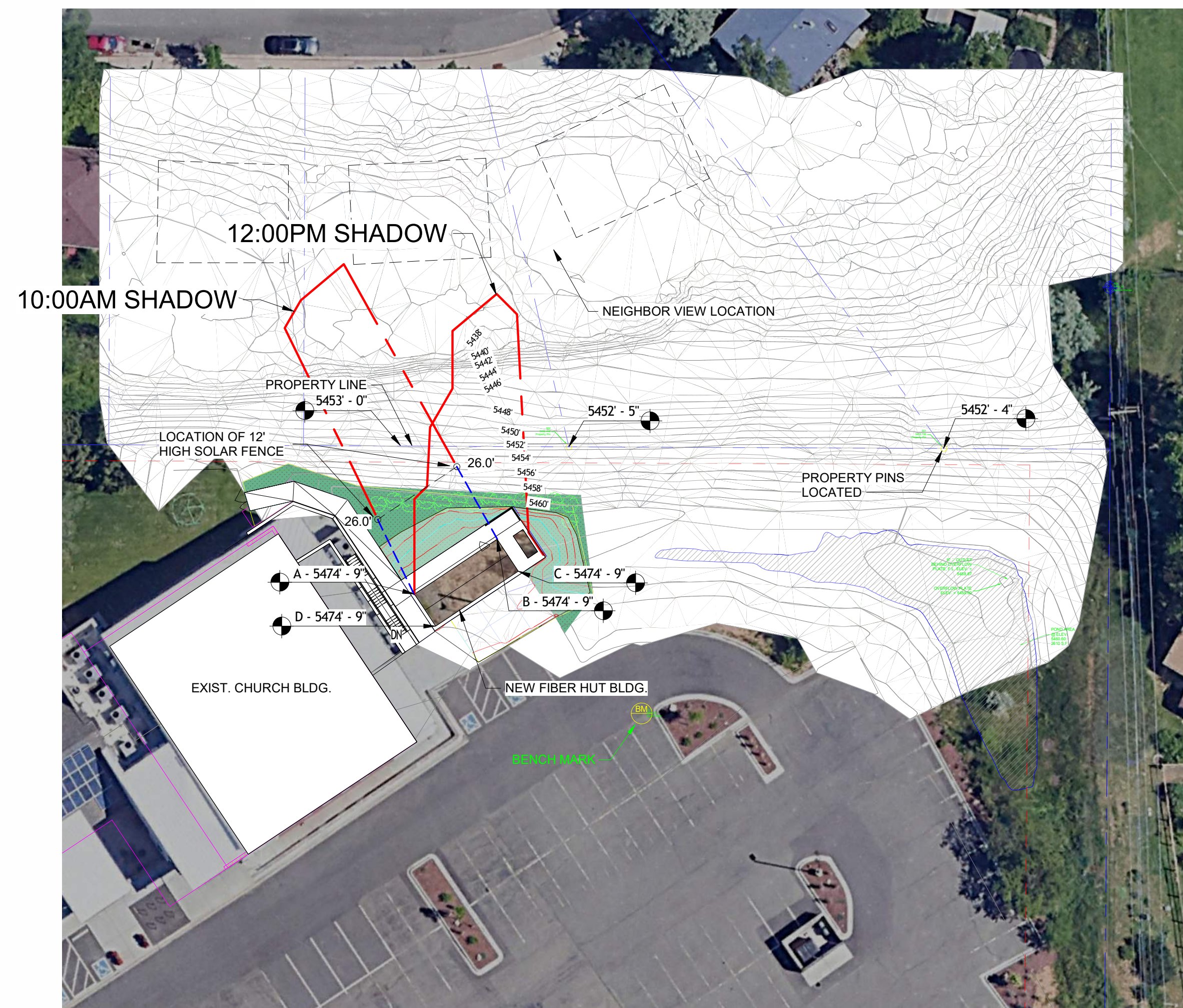
NOTE:
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DWG: 640BS-25 C-1
 DRAWN: J SHAW/JMITSWW
 CHECKED: SWW
 REVISIONS
 #1 DRAINAGE 11/15/2025 SWW

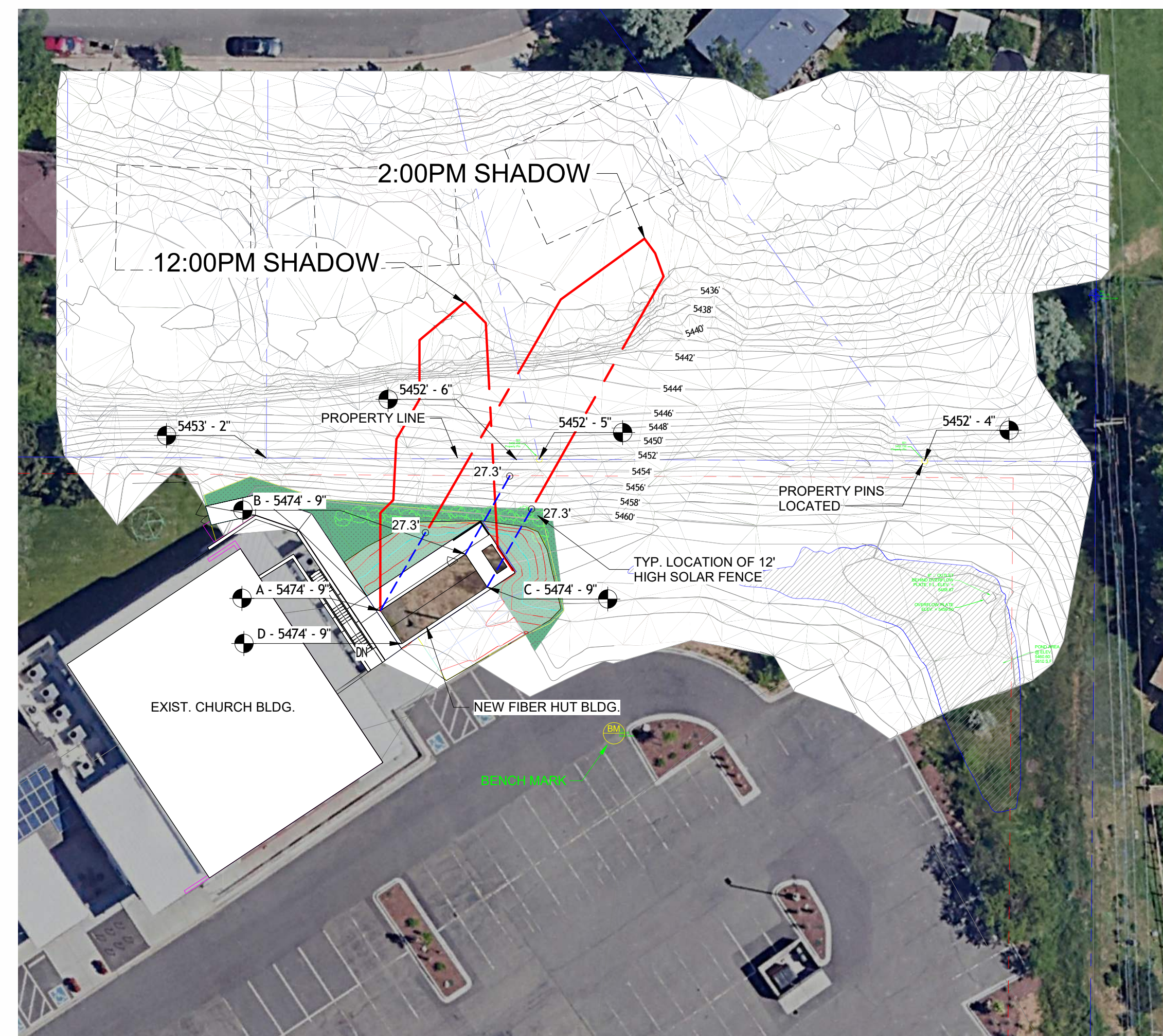
C-5

DATE: NOV., 2025

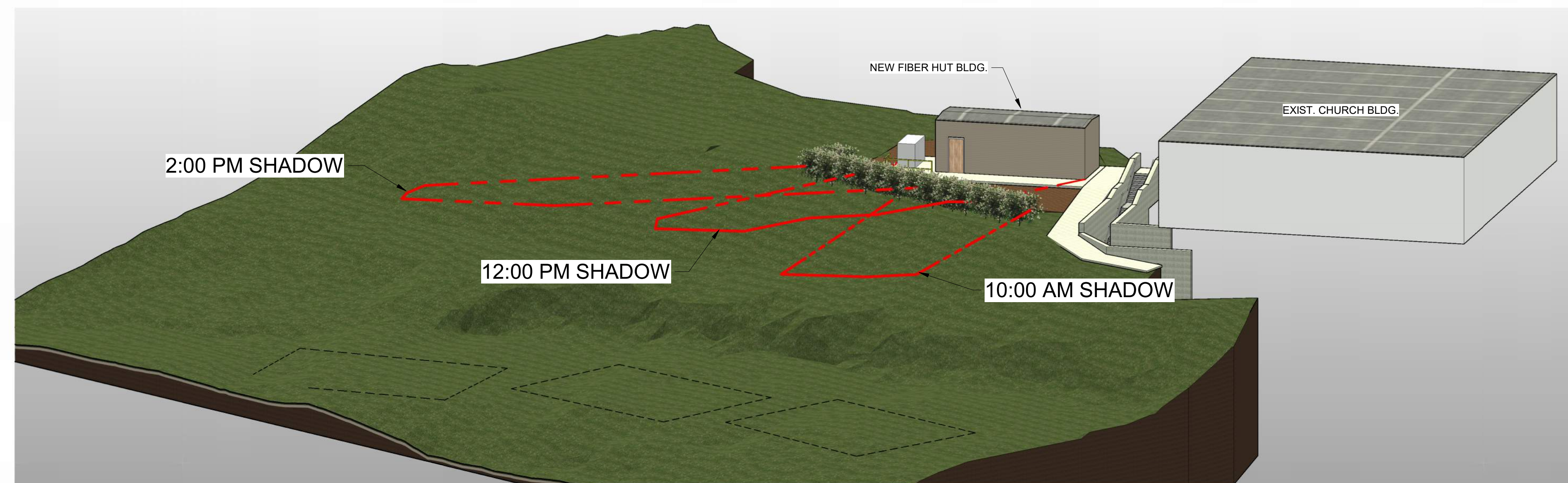
This bar is one inch long on original drawing. If not one inch on this sheet, adjust scales accordingly.



1 BUILDING SHADOW AREA @ 10:00 A.M.
Scale: 1" = 30'-0"



2 BUILDING SHADOW AREA @ 02:00 P.M.
Scale: 1" = 30'-0"



3 NORTHWEST ELEVATION
Scale:

SOLAR ANALYSIS WORKSHEET:

Property Zone District: RL-1 Solar Fence Height: 12

Roof Element	Step 1 Elevation of Roof Element (y)	Step 2 Elevation of Grade at Property Line (x)		Step 3 Relative Height of Roof Element (h)		Step 4 Length of Shadow (L)	
		10:00 AM	2:00 PM	10:00 AM	2:00 PM	10:00 AM	2:00 PM
Example	119.9	102.5	99.5	17.4	20.4	14.3	22.3
A	5474.75	5453	5452.5	21.8	22.3	26.0	27.3
B	5474.75	5453.0	5452.5	21.8	22.3	26.0	27.3
C	5474.75	5453.0	5452.5	21.8	22.3	26.0	27.3
D							
E							
F							
G							
H							
I							
J							
K							

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ALLO COMMUNICATIONS
FIBER HUT PROJECT (SOUTH)

1192 S. LASHLEY LANE, BOULDER, COLORADO 80303

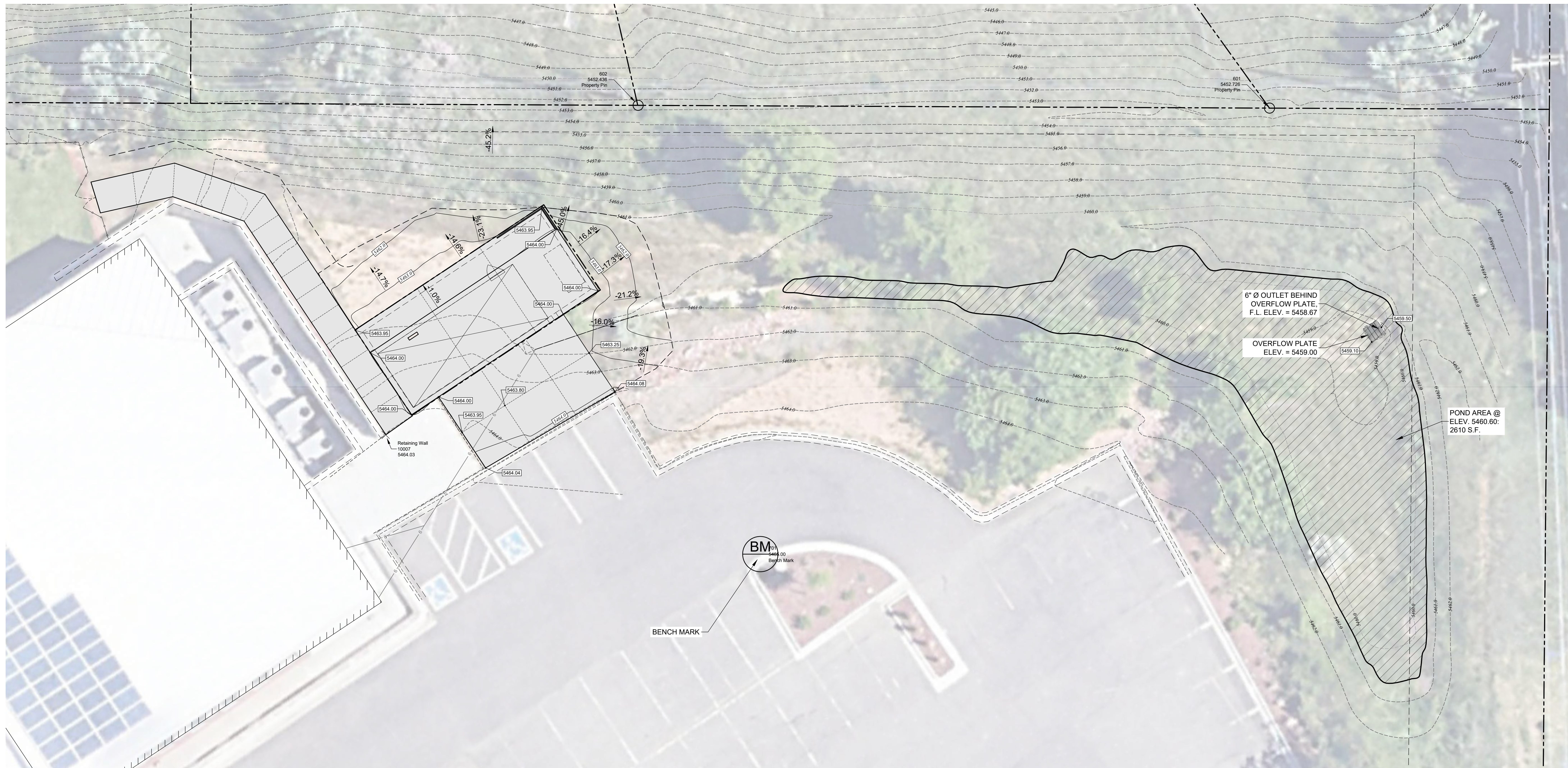
DESIGN ASSOCIATES
214 E. 1ST ST. MACDON, NE 68001 | 308.345.2370 | ENGINEERS ARCHITECTS
2028 W. 2ND ST. HASTINGS, NE 68011 | 402.463.1377 | WWW.WDESIGNCO.COM
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PROJECT #: 640BS-25
DRAWN: JMT
CHECKED: SWW
REVISIONS:
Revision: 01-15-2025

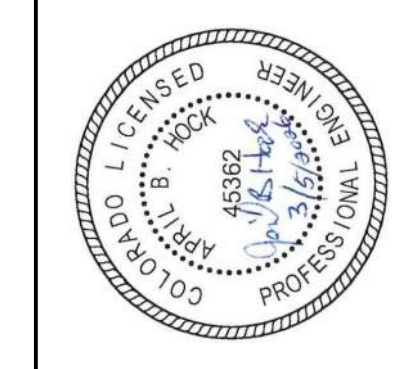
C-6
SITE SOLAR STUDY

DATE: AUGUST, 2025



ALLO COMMUNICATIONS
FIBER HUT PROJECT (SOUTH)
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POND VOLUME ANALYSIS
 PV-1
 C-6 SCALE: 1" = 10'

Cut/Fill Summary

Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
5460.6 POND SURFACE VOLUME	1.000	1.000	2610.12 Sq. Ft.	0.00 Cu. Yd.	81.10 Cu. Yd.	81.10 Cu. Yd.<Fill>
Totals			2610.12 Sq. Ft.	0.00 Cu. Yd.	81.10 Cu. Yd.	81.10 Cu. Yd.<Fill>



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DWG: 640BS-25 C-1
 DRAWN: JMT
 CHECKED: SWW
 REVISIONS

C-7

DATE: FEBRUARY, 2026

This bar is one inch long on original drawing.
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NOTES:

1. ALL CONDUIT SHOWN IS APPROXIMATE AND MAY NOT REFLECT ACTUAL RUNS IN BUILDING
2. RUN 3/4" ALARM CONDUITS FOR GENERATOR, ATS, HVAC, CARD READER, INTERIOR AND EXTERIOR CAMERAS TO BE RAN TO ALARM BOX. CUSTOMER IS IN CHARGE OF WIRING AND INSTALLING PUNCH BLOCK. IF NEEDED USE 1" CONDUIT FOR GENERATOR ALARMS.

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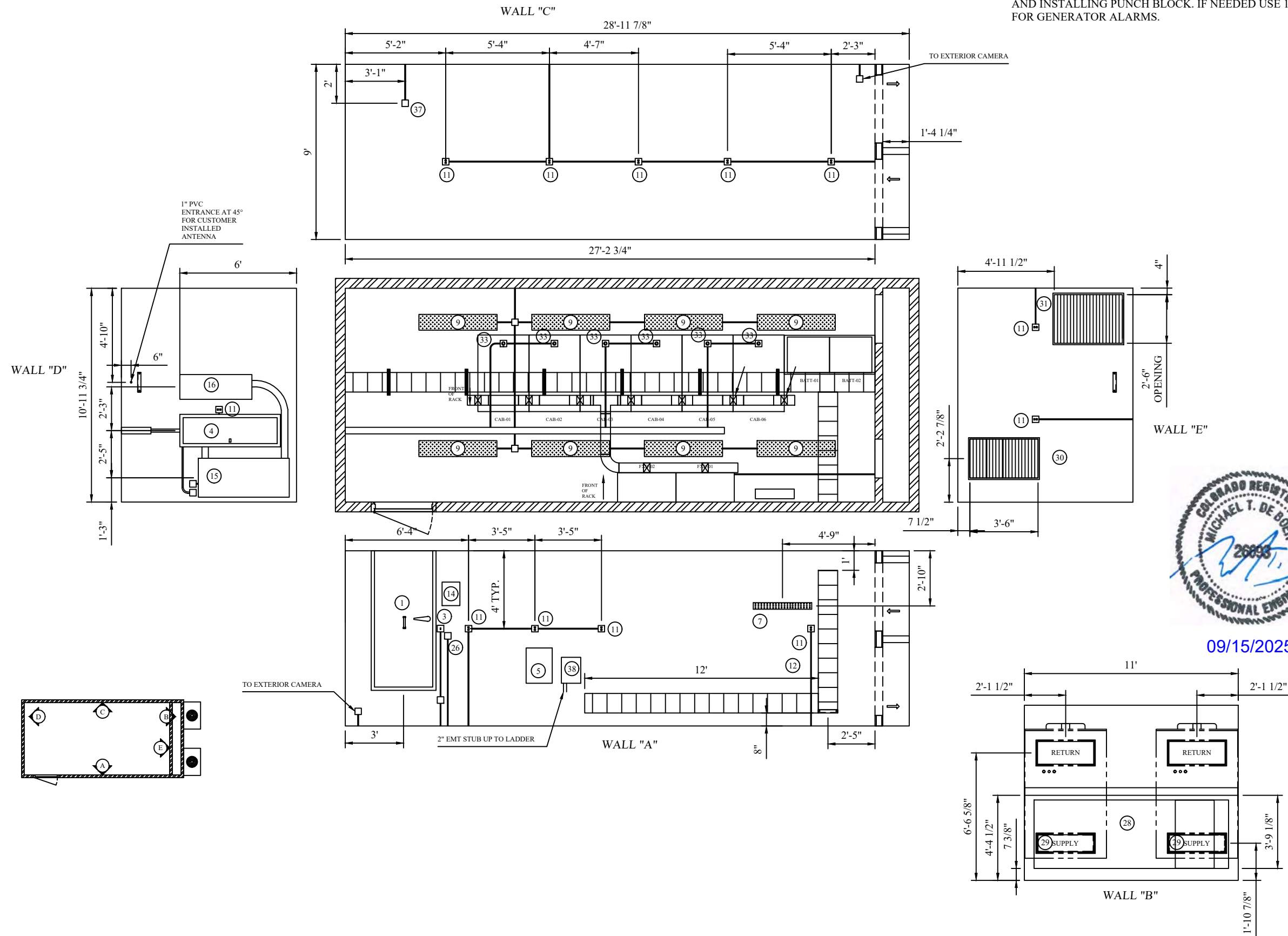
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 Elkhart, IN 46517
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 www.thermobond.com

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 Elk Point, SD 57025
 605-356-2080

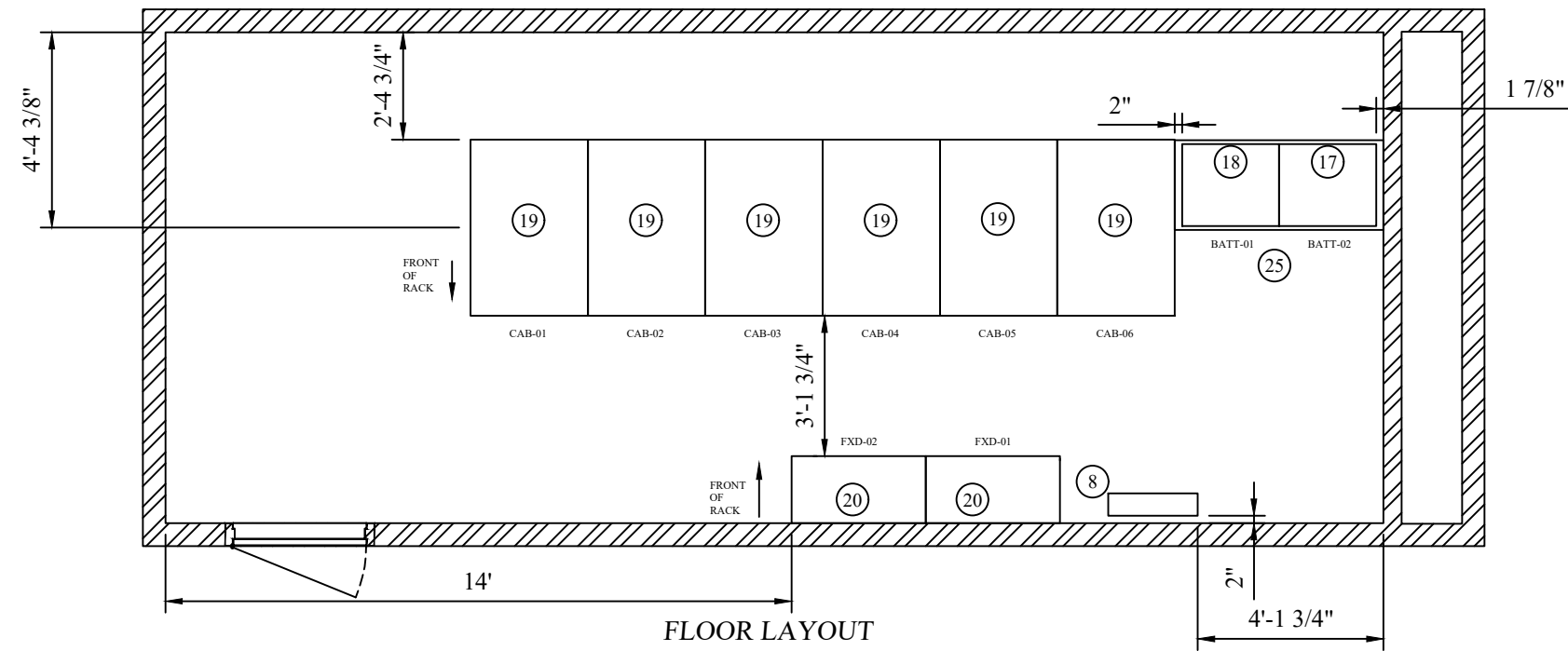
BOULDER, CO
 12"W. OD x 30"L. OD x 9"H. ID
 SHELTER
 Interior Layout

PROJECT NAME: ALLO
 DRAWING NUMBER: TBB1431

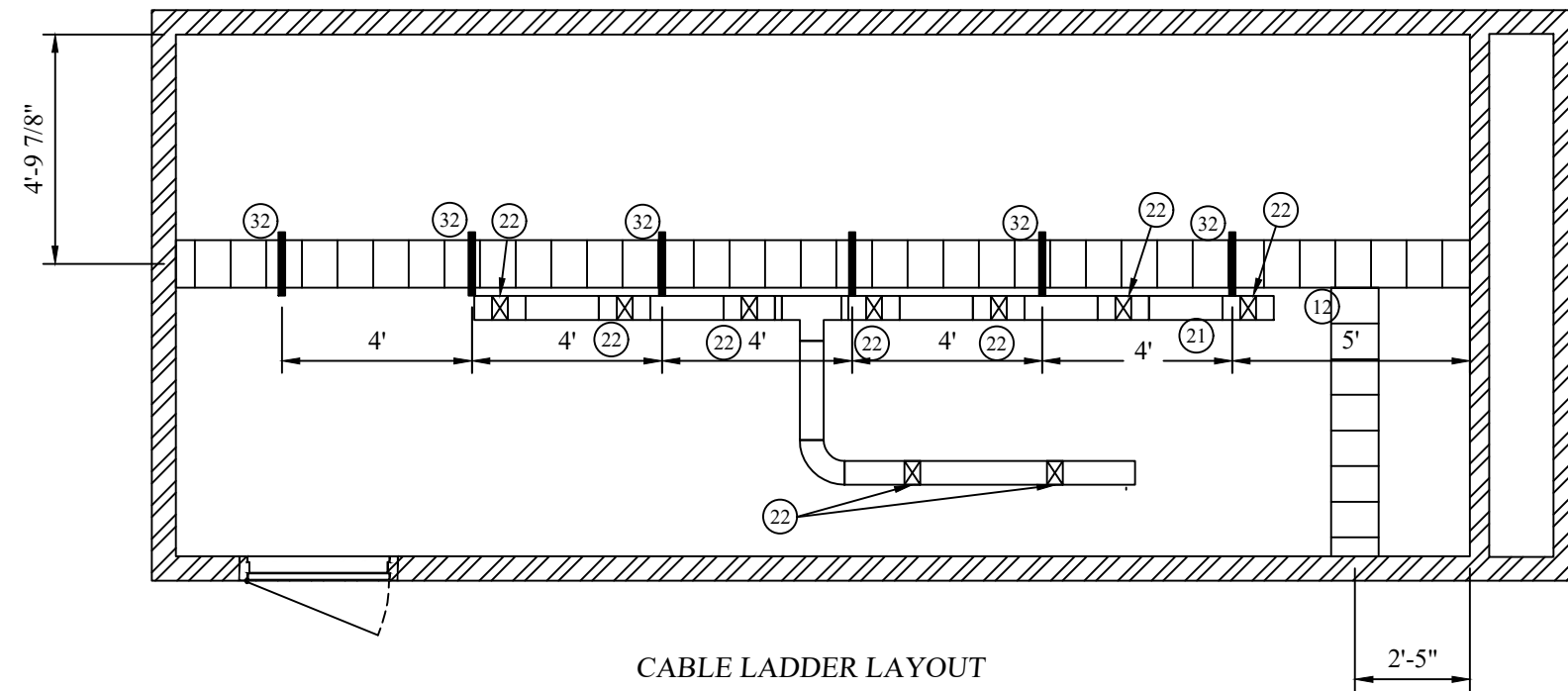
PROJECT NUMBER: 2108-500B-1
 SCALE: 1/16" = 1'-0"
 SHEET: 4 of 21
 DRAWN: 9/30/21
 REVISED: 9/12/25
 DRAWN BY: NRS



NOTES:
 I. ALL CONDUIT SHOWN IS APPROXIMATE AND MAY NOT REFLECT ACTUAL RUNS IN BUILDING



FLOOR LAYOUT



CABLE LADDER LAYOUT



09/15/2025

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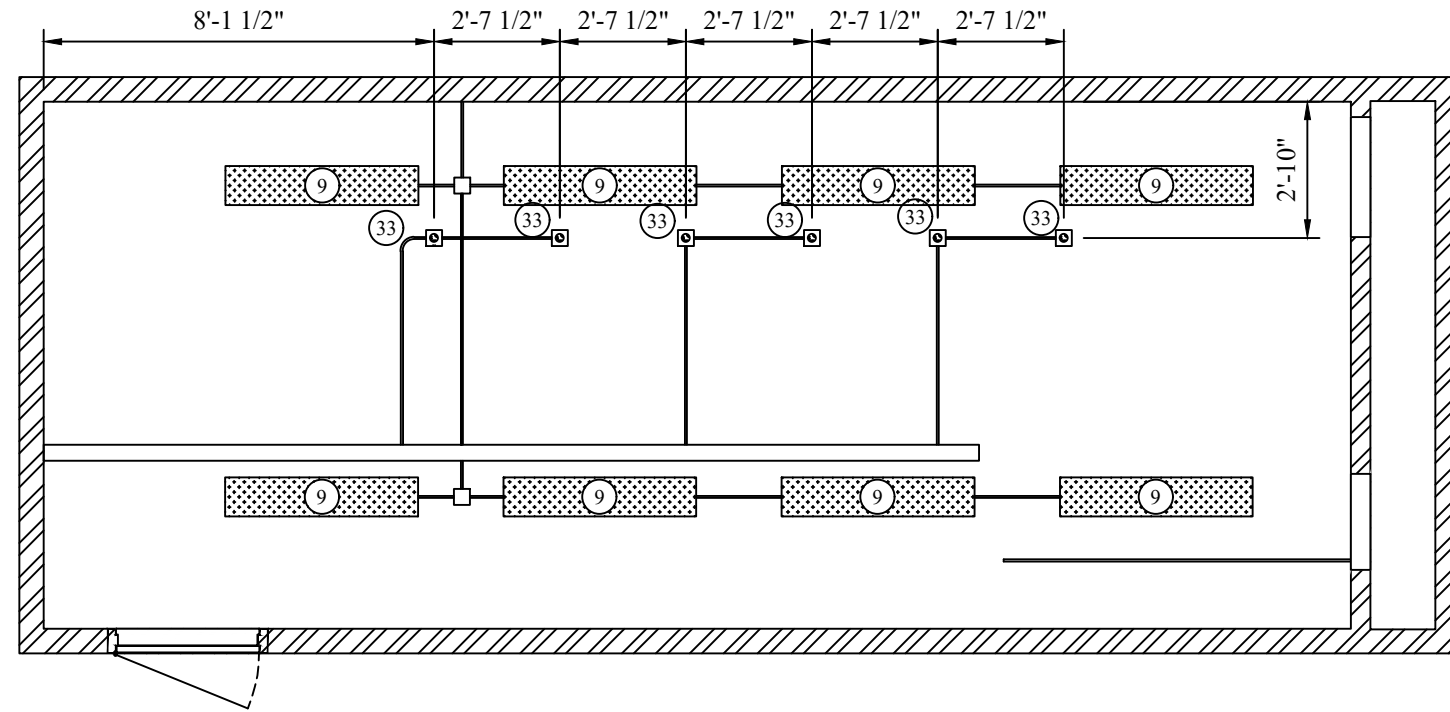
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 605-356-2090

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BOULDER, CO
 12"W. OD x 30"L. OD x 9"H. ID
 SHELTER
 Floor & Ceiling Layout

PROJECT NAME: ALLO
 DRAWING NUMBER: TBB1431

PROJECT NUMBER: 2108-500B-1	DRAWN: 9/30/21
SCALE ~ 11X17: 1/4" = 1'-0"	REVISED: 9/12/25
SHEET: 5 of 21	DRAWN BY: NRS



CEILING ELECTRICAL LAYOUT

NOTES:
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09/15/2025

BOULDER, CO
 12"W. OD x 30"L. OD x 9"H. ID
 SHELTER
 Ceiling Electrical Layout

PROJECT NAME: ALLO
 DRAWING NUMBER: TBB1431

PROJECT NUMBER: 2108-500B-1	DRAWN: 9/30/21
SCALE ~ 11X17: 1/4" = 1'-0"	REVISED: 9/12/25
SHEET: 6 of 21	DRAWN BY: NRS

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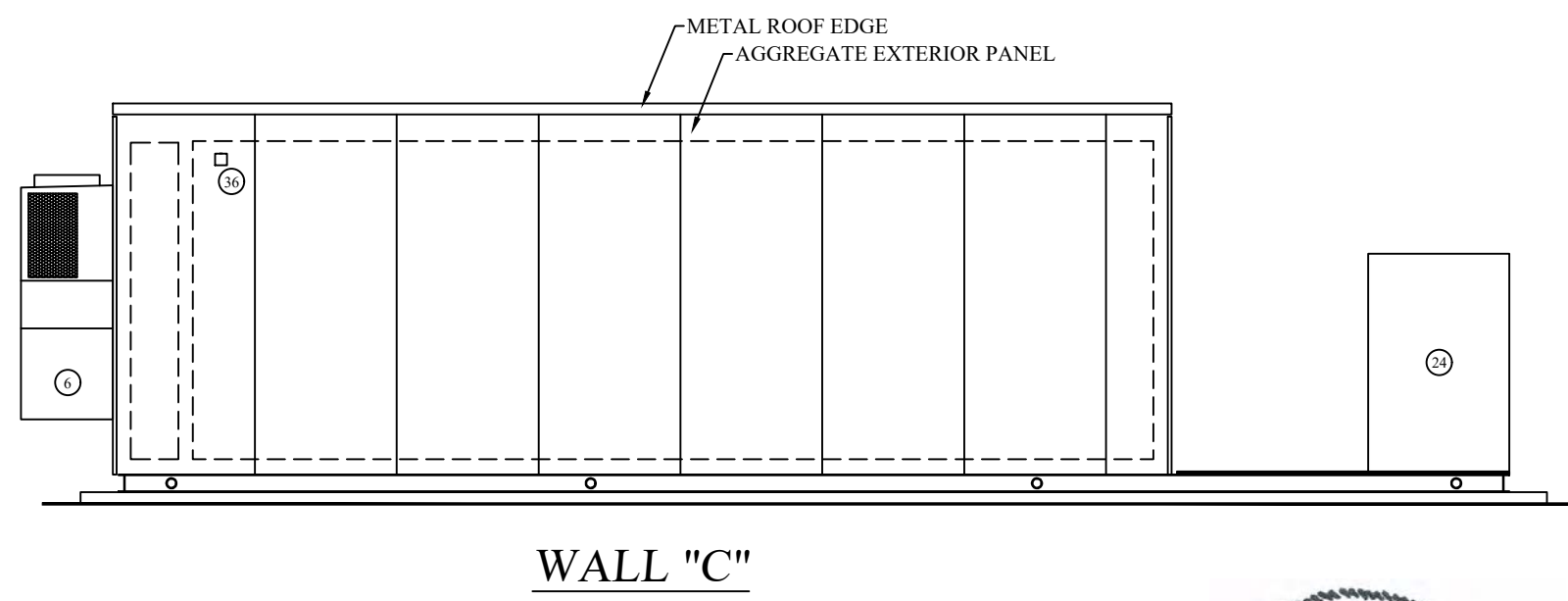
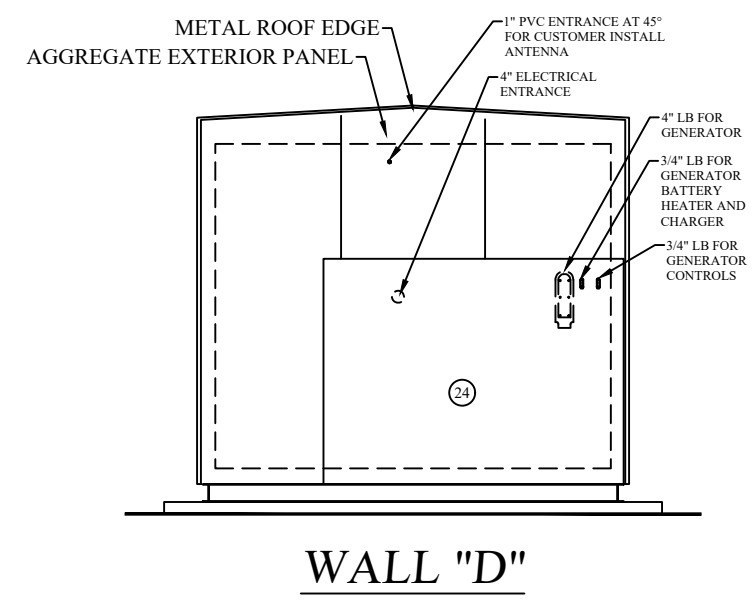
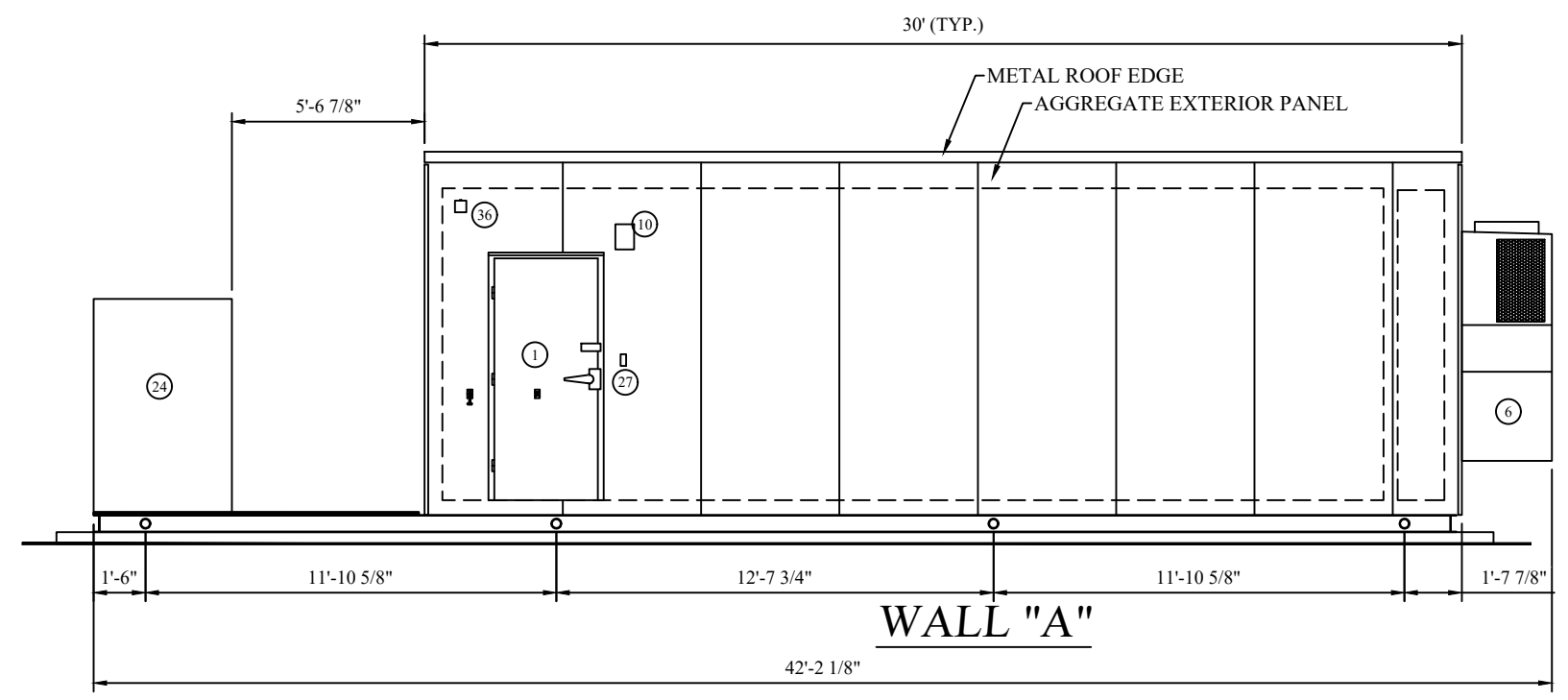
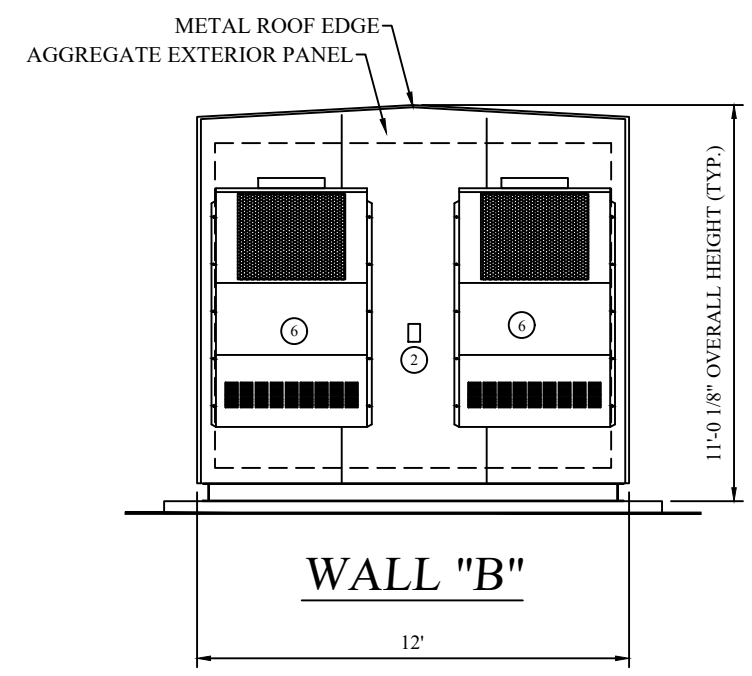
BOULDER, CO
 12'W. OD x 30'L. OD x 9'H. ID
 SHELTER
 Elevation Views

PROJECT NAME: ALLO
 DRAWING NUMBER: TBB1431

PROJECT NUMBER: 2108-500B-1
 SCALE ~ 11X17: 3/16" = 1'-0"
 SHEET: 8 of 21
 DRAWN: 9/30/21
 REVISED: 9/12/25
 DRAWN BY: NRS

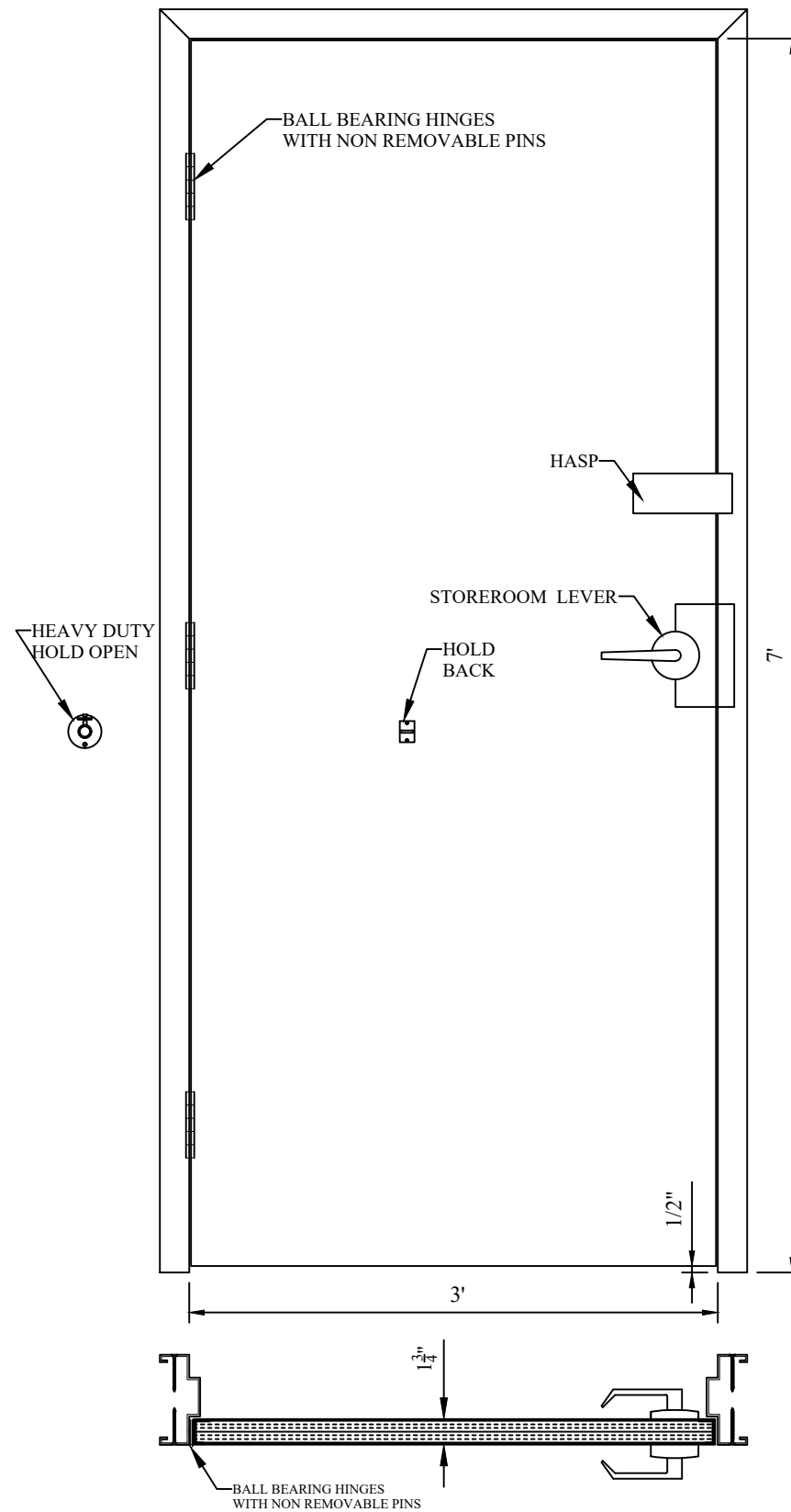


09/15/2025



NOTES:

- DOOR FRAME 16 GAUGE PRIMED AND PAINTED STEEL.
- DOOR SLAB 18 GAUGE PRIMED AND PAINTED STEEL.
- WEATHER STRIPPING AROUND DOOR OPENING.
- THRESHOLD BELOW DOOR.
- DRIP CAP ABOVE DOOR FRAME.
- STOREROOM LOCKSET
- ELECTRONIC STRIKE



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BOULDER, CO
 12"W. OD x 30"L. OD x 9"H. ID
 SHELTER

Door Detail

PROJECT NAME:
 ALLO

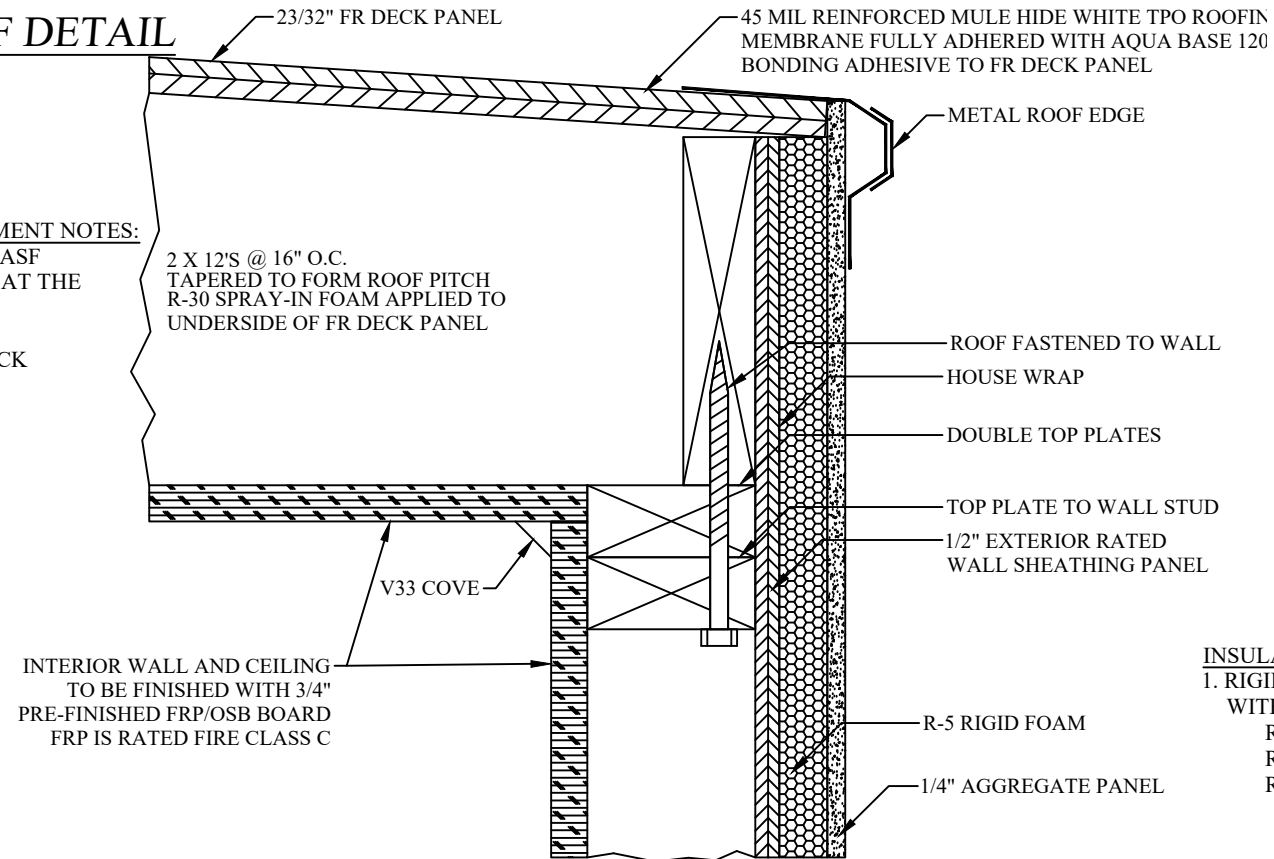
DRAWING NUMBER:
TBB1431

PROJECT NUMBER: 2108-500B-1	DRAWN: 9/30/21
SCALE ~ 1/16" = 1'	REVISED: 9/12/25
SHEET: 9 of 21	DRAWN BY: NRS

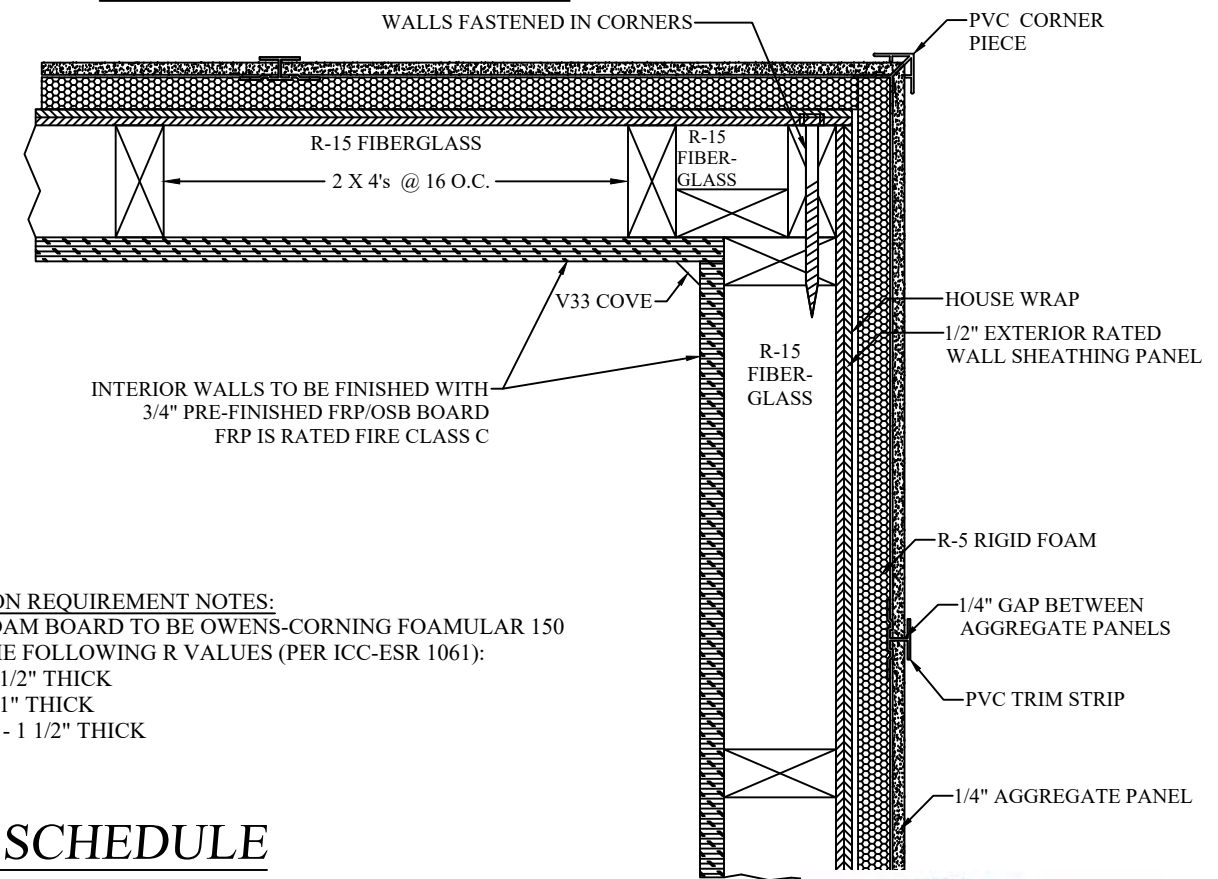
WALL TO ROOF DETAIL

SPRAY-IN FOAM REQUIREMENT NOTES:

- SPRAY-IN FOAM TO BE BASF SPRAYTITE 178 APPLIED AT THE FOLLOWING THICKNESS (PER ICC-ESR 2642):
 - R-21 3-1/2" THICK
 - R-25 4" THICK
 - R-30 5" THICK
 - R-35 6" THICK
 - R-38 6" THICK



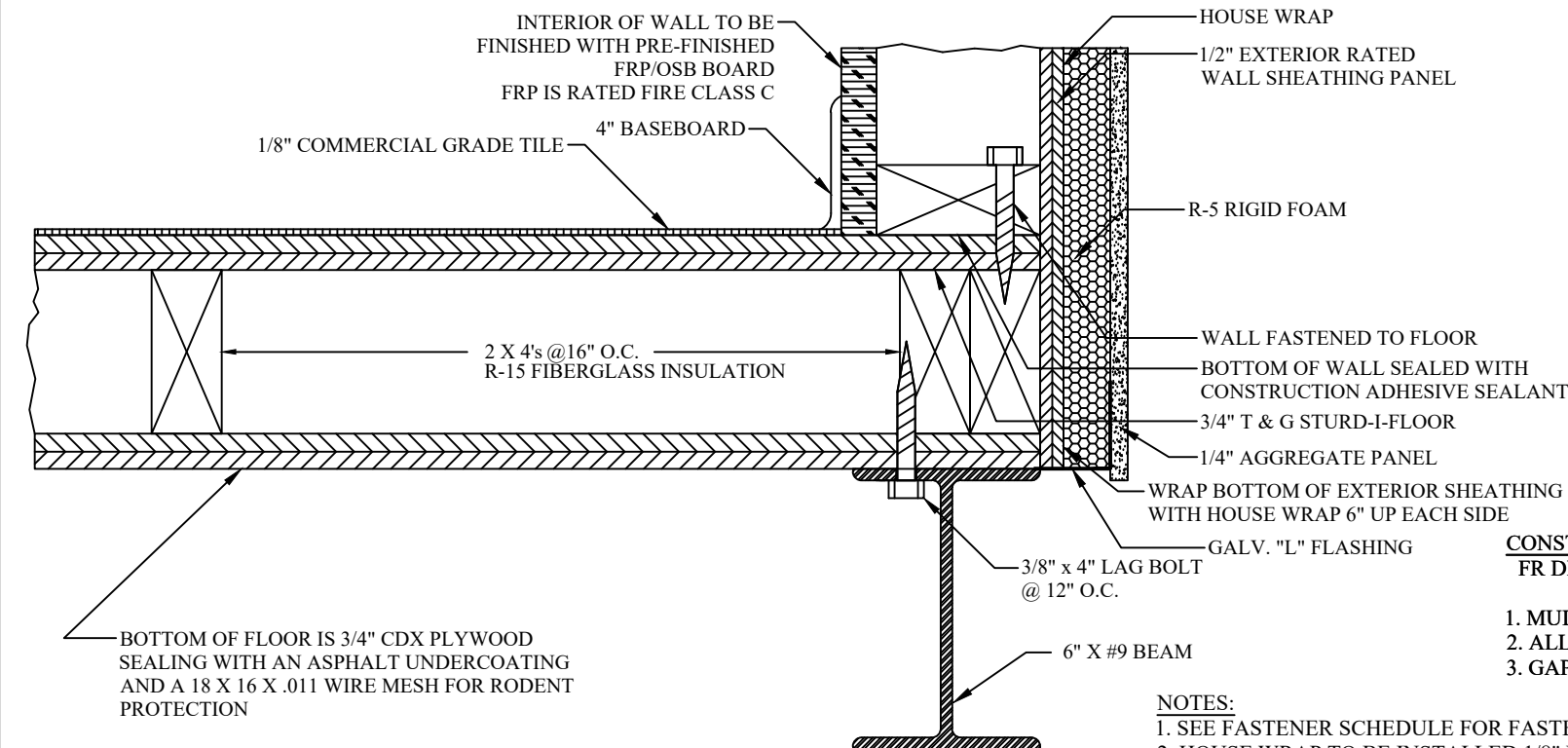
WALL CORNER DETAIL



INSULATION REQUIREMENT NOTES:

- RIGID FOAM BOARD TO BE OWENS-CORNING FOAMULAR 150 WITH THE FOLLOWING R VALUES (PER ICC-ESR 1061):
 - R-3 - 1/2" THICK
 - R-5 - 1" THICK
 - R-7.5 - 1 1/2" THICK

SEE FASTENER SCHEDULE



CONSTRUCTION NOTES:

FR DECK PANEL A AND TPO MEMBRANE MUST BE INSTALLED PER ICC-ESR 1776.

- MULE-HIDE FR DECK PANEL A ROOF DECK MUST BE INSTALLED WITH PYROTITE LAMINATE FACING UP.
- ALL DECK JOINTS MUST BE BLOCKED WITH 2X4 BLOCKING OR INSTALLED OVER A ROOF JOIST.
- GAPS IN THE DECK PANELS MUST BE CAULKED WITH RECTORSEAL FLAMESAFE FS9000+.

NOTES:

- SEE FASTENER SCHEDULE FOR FASTENER INFORMATION.
- HOUSE WRAP TO BE INSTALLED 1/8" BELOW SHEETING AND EXTEND TO TOP OF TOP PLATE. ALL SEAMS TO BE LAPPED 6" AND TAPED W/SEAM TAPE.
- ALL SCREW HOLES THROUGH PANELS FILLED WITH POLYURETHANE CAULK PRIOR TO SCREW BEING INSTALLED.
- ALL STRUCTURAL LUMBER SHALL BE SPF #1 OR #2.
- ALL CDX, EXTERIOR SHEATHING & T&G GLUED TO STUDS WITH ENERBOND SF GLUE (COMPLIES WITH ASTM D3498) TO ALL STUDS BEFORE NAILING.



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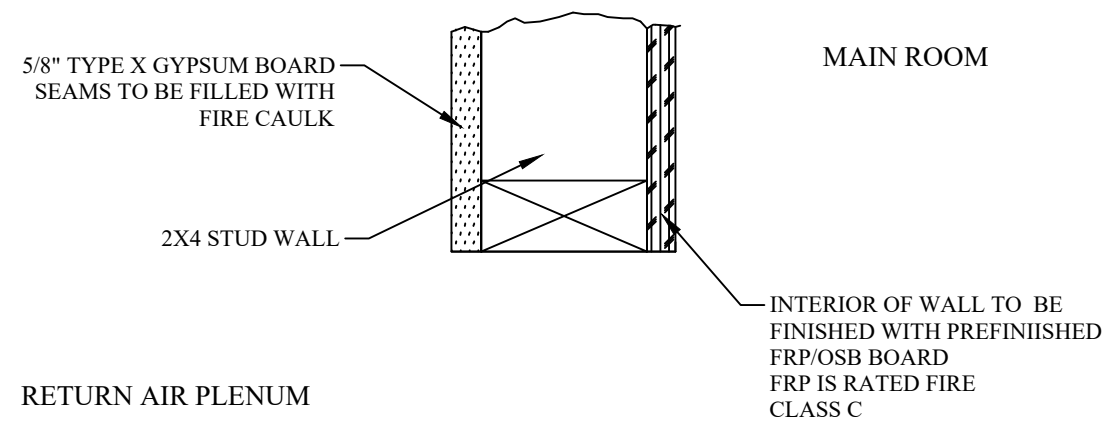
BOULDER, CO
12"W. OD x 30"L. OD x 9"H. ID
SHELTER

Corner Construction

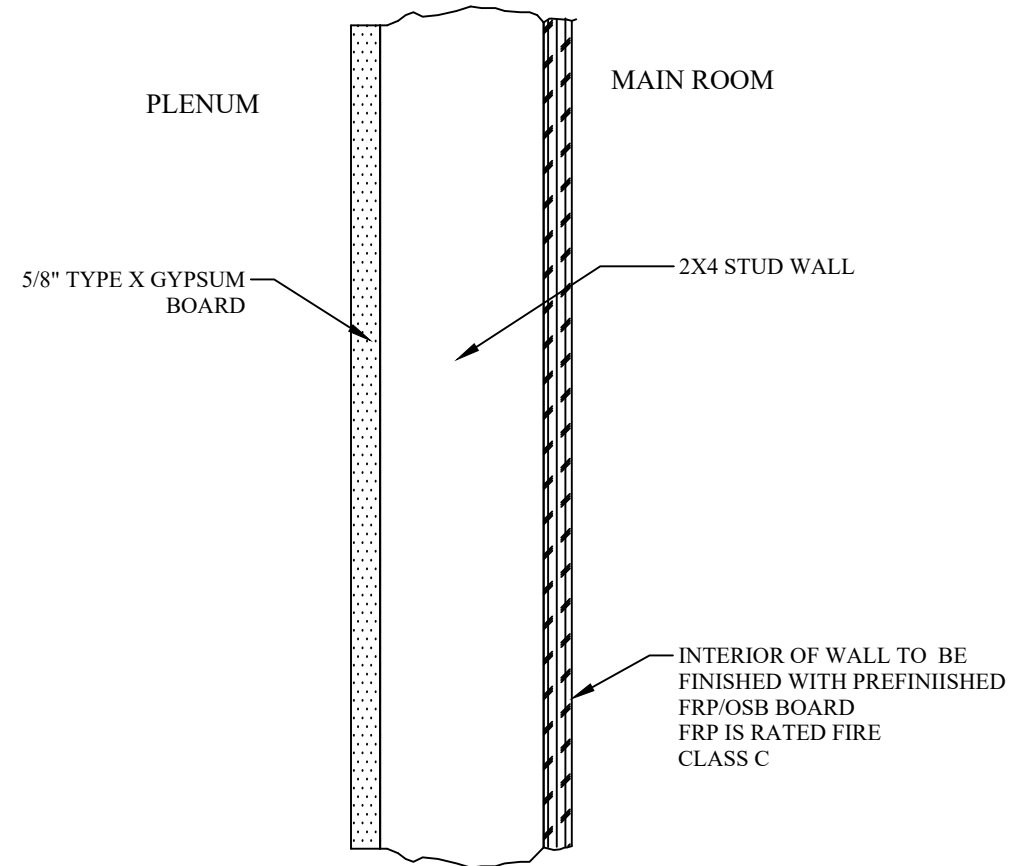
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DRAWING NUMBER: TBB1431

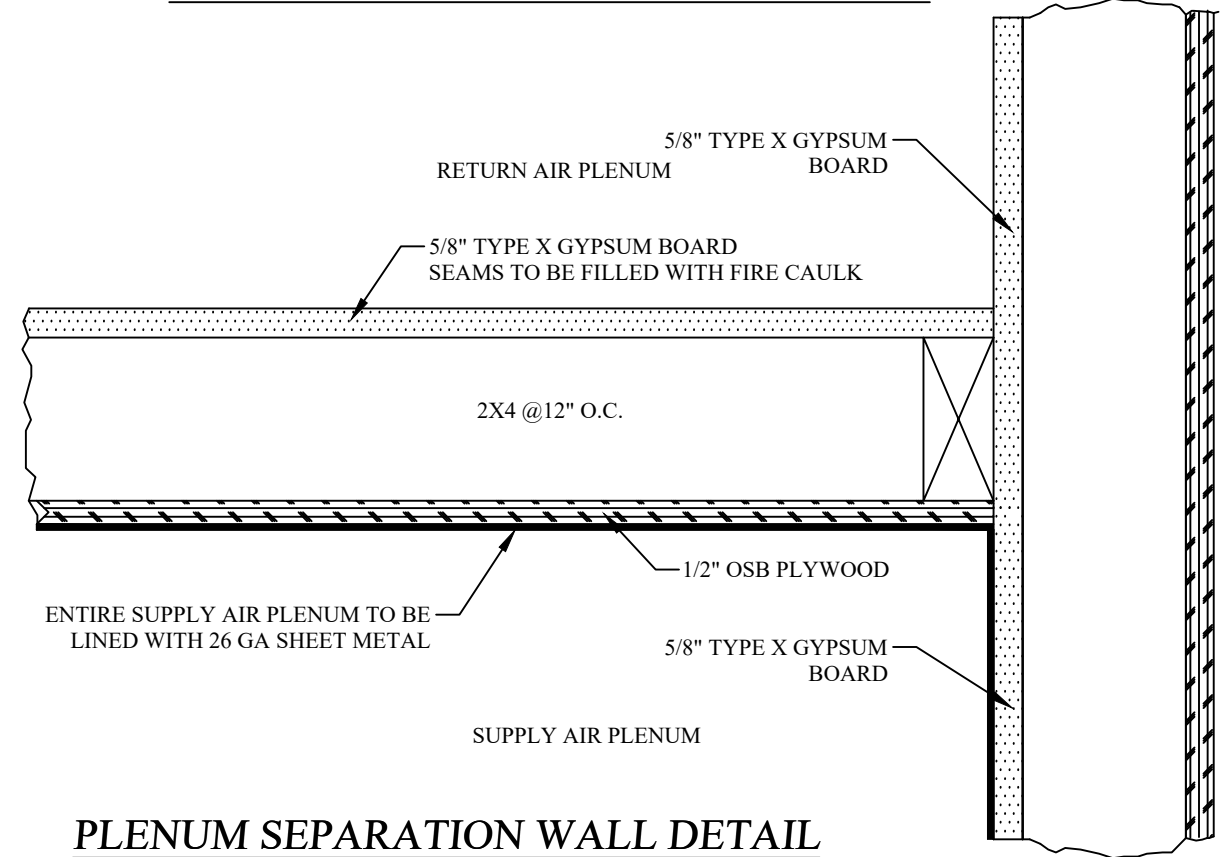
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SCALE: 1/8" = 1'-0"	NTS			
SHEET: 13 of 21				



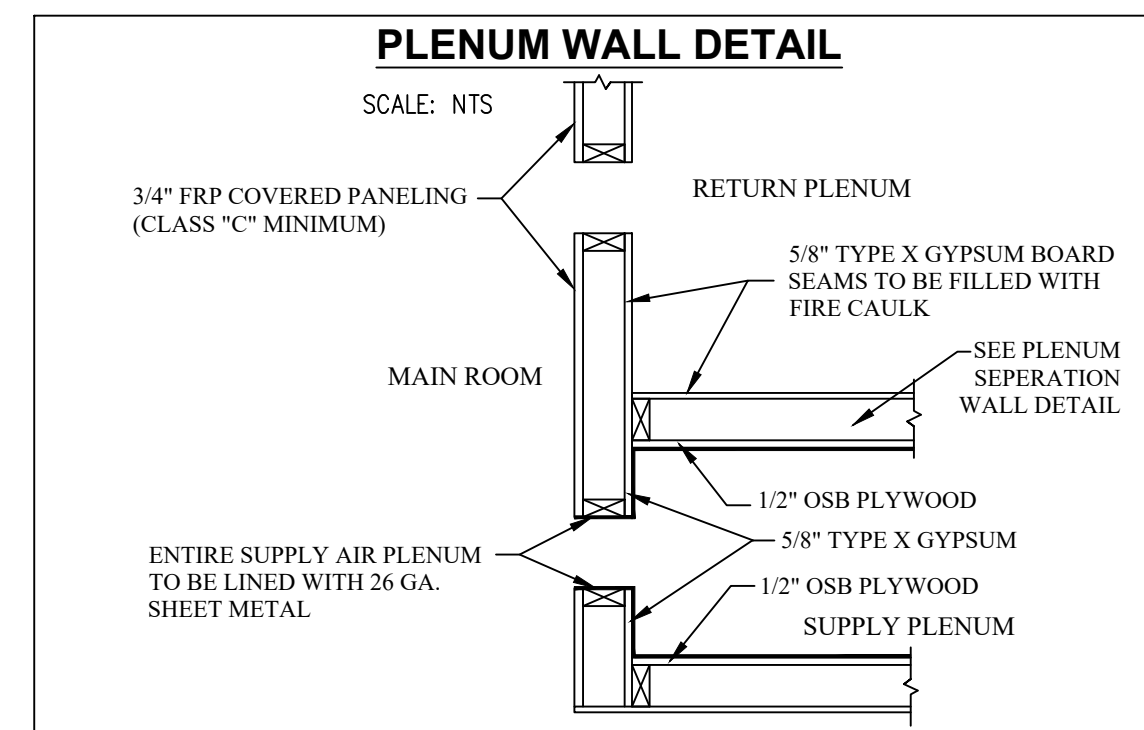
RETURN AIR INTERIOR WALL DETAIL



WALL E SUPPLY CAVITY WALL DETAIL



PLENUM SEPARATION WALL DETAIL



PLENUM WALL DETAIL



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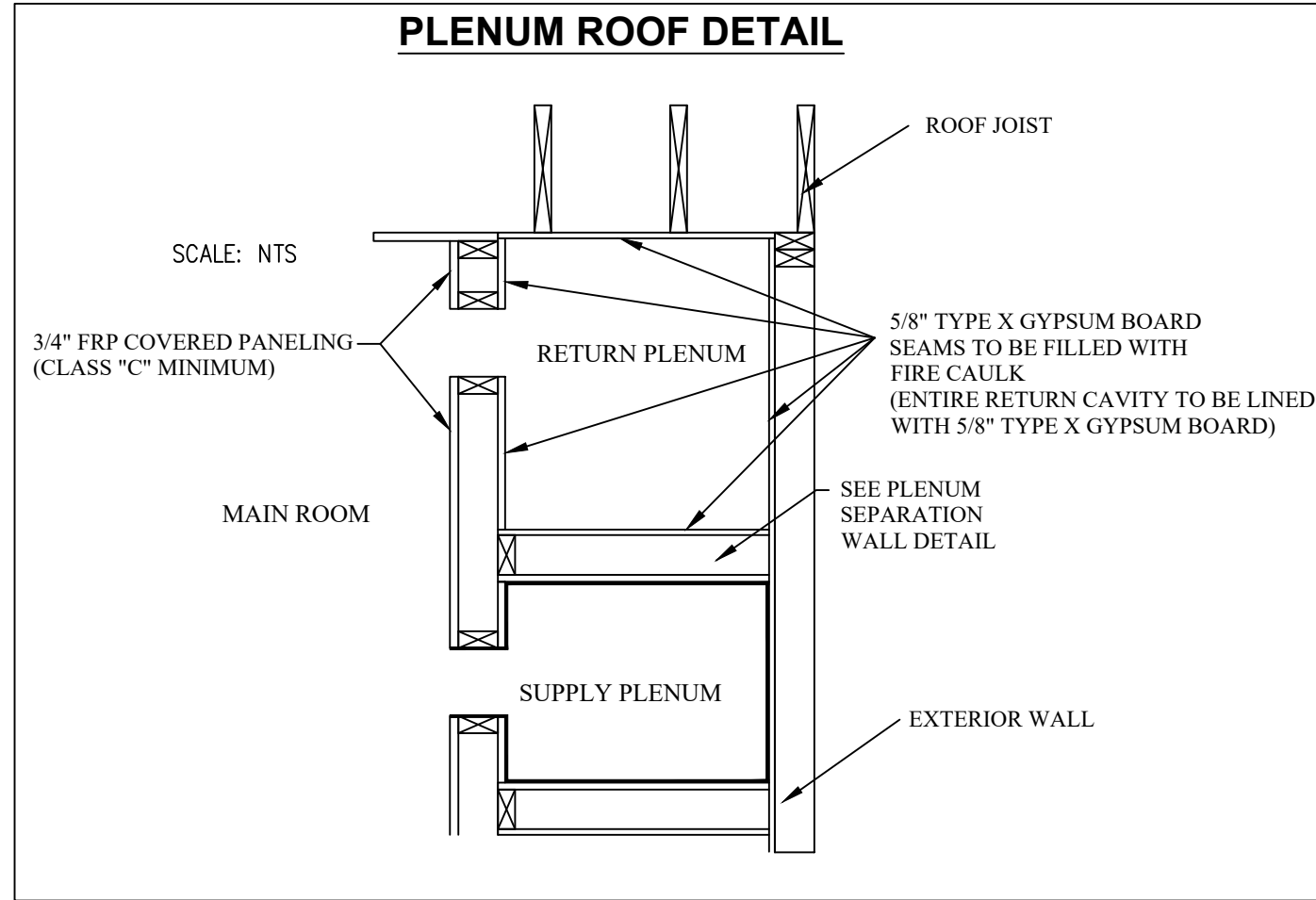
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BOULDER, CO
 12"W. OD x 30"L. OD x 9"H. ID
 SHELTER
 Plenum Construction

PROJECT NAME: ALLO
 DRAWING NUMBER: TBB1431

PROJECT NUMBER: 2108-500B-1
 SCALE: 1/16" = 1'-0"
 SHEET: 14 of 21

DRAWN: 9/30/21
 REVISED: 9/12/25
 DRAWN BY: NRS



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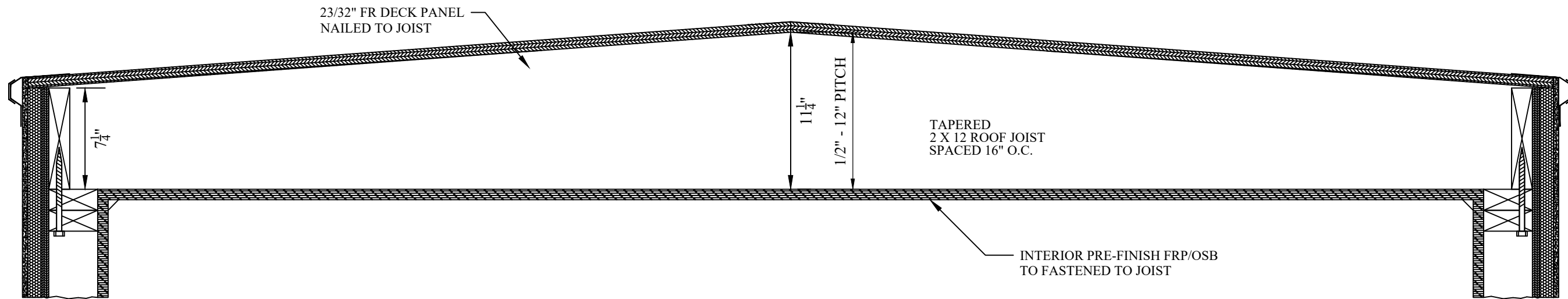


09/15/2025

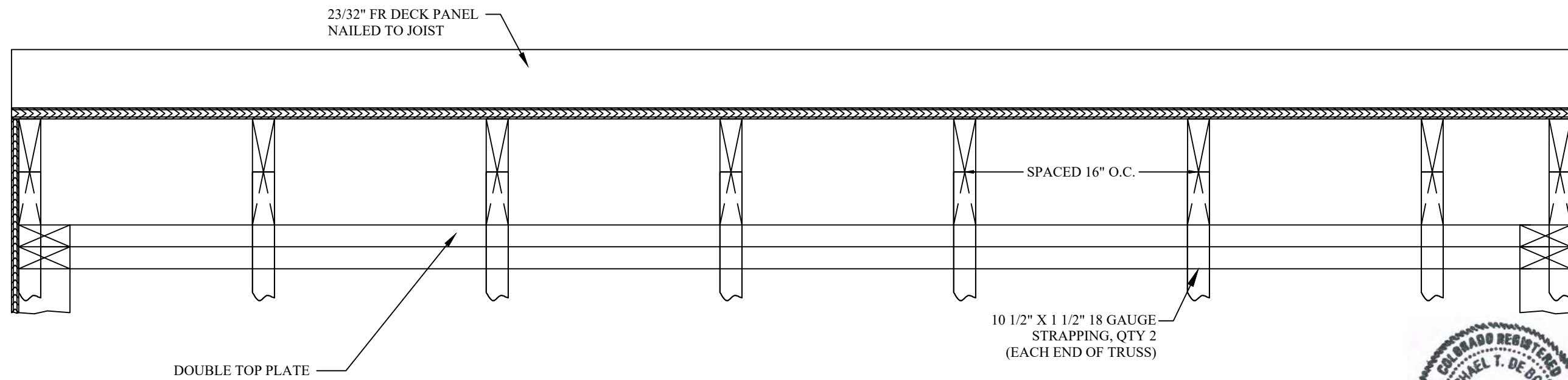
BOULDER, CO
 12"W. OD x 30"L. OD x 9"H. ID
 SHELTER
 Plenum Construction Cont.

PROJECT NAME: ALLO
 DRAWING NUMBER: TBB1431

PROJECT NUMBER: 2108-500B-1	DRAWN: 9/30/21
SCALE ~ 1/16" = 1'-0"	REVISED: 9/12/25
SHEET: 15 of 21	DRAWN BY: NRS



ROOF STRUCTURE END DETAIL



ROOF STRUCTURE SIDE DETAIL

NOTES:

1. SEE FASTENER SCHEDULE FOR FASTENER INFORMATION.
2. HOUSE WRAP TO BE INSTALLED 1/8" BELOW SHEETING AND EXTEND TO TOP OF TOP PLATE. ALL SEAMS TO BE LAPPED 6" AND TAPED W/SEAM TAPE.
3. ALL SCREW HOLES THROUGH PANELS FILLED WITH POLYURETHANE CAULK PRIOR TO SCREW BEING INSTALLED.
4. ALL STRUCTURAL LUMBER SHALL BE SPF #1 OR #2.
5. ALL CDX, EXTERIOR SHEATHING & T&G GLUED TO STUDS WITH ENERBOND SF GLUE (COMPLIES WITH ASTM D3498) TO ALL STUDS BEFORE NAILING.



09/15/2025

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BOULDER, CO
 12"W. OD x 30"L. OD x 9"H. ID
 SHELTER
 Roof Construction

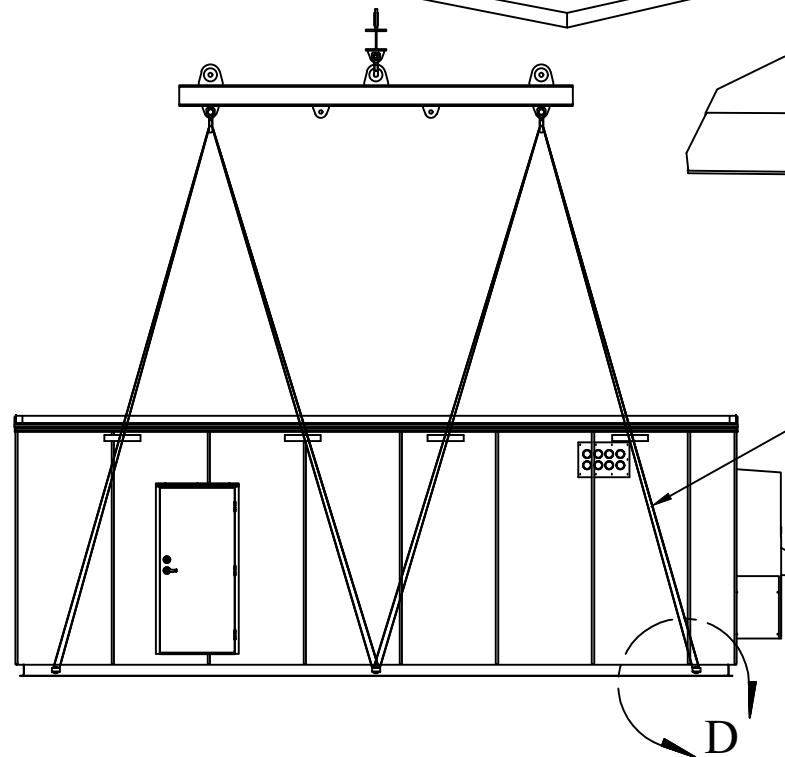
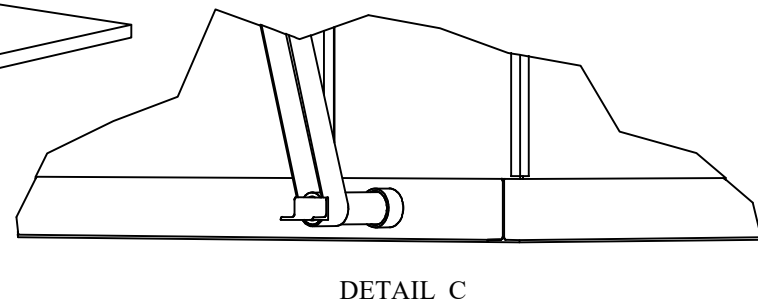
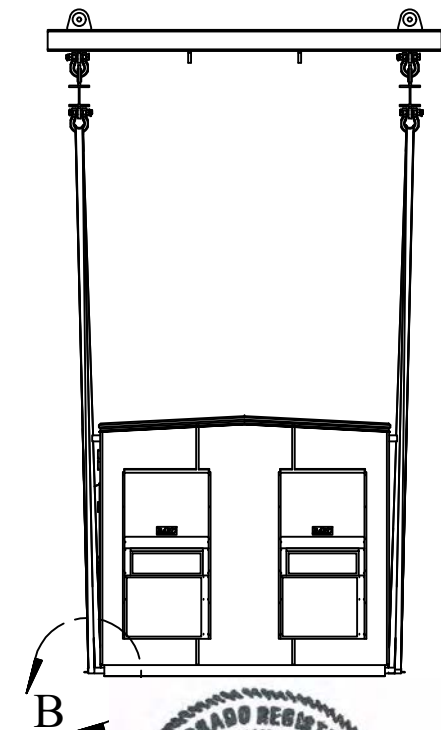
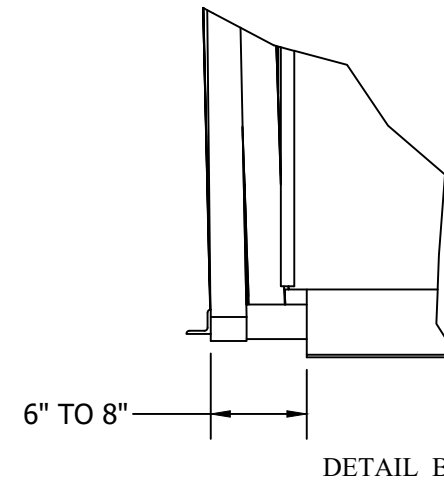
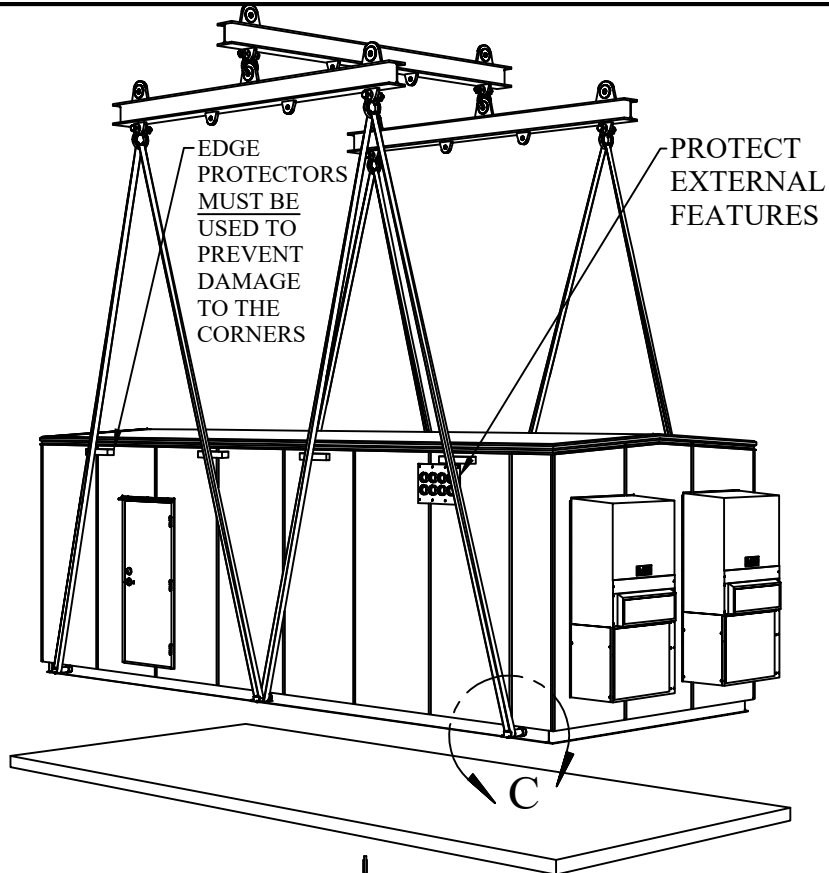
PROJECT NAME: ALLO
 DRAWING NUMBER: TBB1431

PROJECT NUMBER: 2108-500B-1	DRAWN: 9/30/21	REVISIONS: NTS	DRAWN BY: NRS
SCALE: 1/8" = 1'-0"	REVISED: 9/12/25		
SHEET: 16 of 21			

RIGGING DIAGRAMS ARE TYPICAL DEPICTIONS. ACTUAL RIGGING AND LIFTING IS THE RESPONSIBILITY OF THE RIGGING CONTRACTOR.

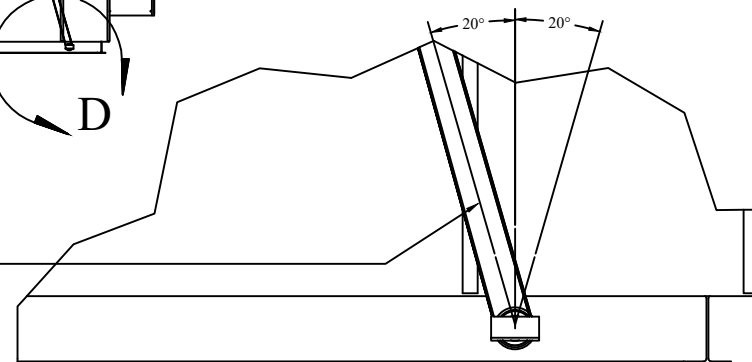
THE FOLLOWING INSTRUCTIONS ARE FOR LIFTING OF SHELTER WITH CRANE, SPREADER BAR, STRAPS AND LIFTING PIPES.

1. SLIDE LIFTING PIPES INTO PIPE OPENINGS ON SKID OF SHELTER. LEAVE ABOUT 6" TO 8" EXTENDING OUTSIDE OF SHELTER.
2. LOOP LIFTING STRAPS AROUND LIFT PIPE. MAKE SURE STRAPS WILL CLEAR EXTERNAL ITEMS ON BUILDING, DOOR KNOBS-LIGHTS ETC. CENTER CRANE LIFTING POINT OVER CENTER OF BUILDING.
3. BEGIN TO LIFT SLOWLY, MAKE SURE STRAPS ARE NOT CAUGHT ON ANYTHING. KEEP BUILDING LOW AND AS LEVEL AS POSSIBLE.
4. SWING BUILDING OVER AREA WHERE BUILDING LOCATION WILL BE. CENTER BUILDING ON AREA AND LOWER INTO POSITION.
5. AFTER BUILDING IS SET REMOVE STRAPS FROM LIFTING PIPES AND SWING STRAPS AWAY FROM BUILDING MAKING SURE STRAPS ARE NOT HOOKED ON SOMETHING. REMOVE LIFT PIPES.

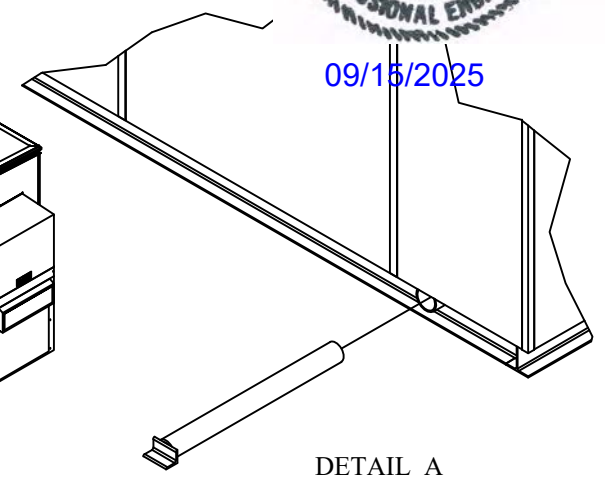
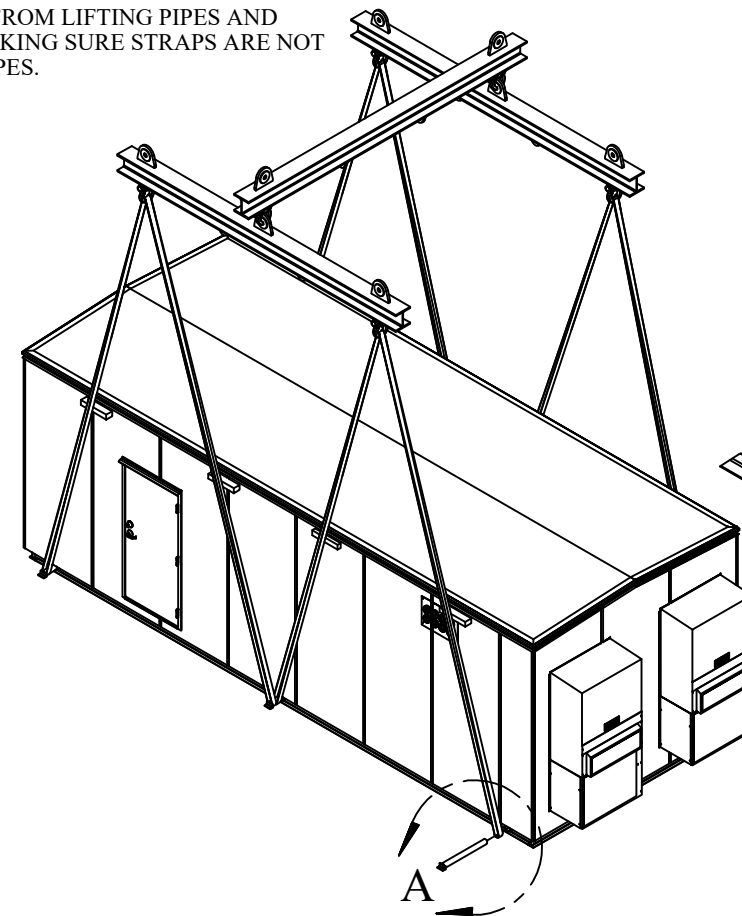


SEE INSTALLATION INSTRUCTIONS THIS PAGE FOR ALLOWABLE ANGLE OF LIFTING SLING

MAXIMUM ANGLE PARALLEL TO WALL DO NOT EXCEED



DETAIL D



RIGGING NOTES:

1. SHELTER MUST BE LIFTED ONLY AT POINTS PROVIDED, USING APPROPRIATE SPREADER BARS AND SLINGS.
2. UNLESS OTHERWISE APPROVED OR INDICATED, LIFT ONLY THE SHELTER SELF-WEIGHT. DO NOT LIFT THE SHELTER WITH ADDITIONAL EQUIPMENT INSIDE.
3. INSPECT EACH LIFT DEVICE FOR CRACKS, WARPING OR OTHER DEFECTS BEFORE INSTALLING ON SHELTER. DO NOT USE A LIFTING DEVICE THAT HAS ANY CRACKS, QUESTIONABLE WELDS, OR IS BENT OUT OF SHAPE.
4. DO NOT ROUTE SLING NEAR HVAC SYSTEMS.
5. REMOVE OR PROTECT DOOR HARDWARE AND OTHER PROTRUSIONS FROM DAMAGE.
6. RIGGER IS TO PROVIDE ALL EQUIPMENT ABOVE THE THERMOBOND EXTERIOR LIFTING DEVICE. THE RIGGER IS RESPONSIBLE FOR ENSURING THAT THE SAFETY REQUIREMENTS LISTED HEREIN ARE MET.
7. RIGGING SHALL CONFORM TO APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS.
8. IF SHELTER IS DELIVERED WITH TEMPORARY SHIPPING WALLS OR ANY OTHER TEMPORARY STRUCTURE INSTALLED FOR TRANSPORT, DO NOT REMOVE BEFORE SHELTER PLACEMENT.
9. DO NOT USE SINGLE HOLE POSITIONS FOR LIFTING.
10. DO NOT SET THE SHELTER ON AN UNEVEN OR UNSTABLE SURFACE.

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BOULDER, CO
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 SHELTER
 Lifting Detail

PROJECT NAME: ALLO
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PROJECT NUMBER: 2108-500B-1
 SCALE: 1/8" = 1'-0"
 SHEET: 21 of 21
 DRAWN: 9/30/21
 REVISED: 9/12/25
 DRAWN BY: NRS

Written Statement Use Review Narrative – Telecommunications Central Office

1190 S Lashley Lane, Boulder, CO

Zoning: RL-1 (Low Density Residential)

Use Review per B.R.C. 9-2-15

(1) Rationale

The proposed Telecommunications Central Office provides an essential public utility service that directly benefits the surrounding neighborhood and the wider Boulder community. Reliable telecommunications infrastructure is necessary to support emergency communications, home internet access, education, work-from-home functions, and citywide resilience. Locating this facility within an established service area enhances system reliability, reduces service interruptions, and improves operational redundancy. The project fulfills Boulder Valley Comprehensive Plan policies that prioritize the provision of critical public infrastructure, reliable communications networks, infrastructure that supports public safety and resilience, and essential utility services that enhance neighborhood livability. By strengthening critical communications services and reducing network vulnerabilities, the proposed use satisfies the intent of B.R.C. 9-2-15(e)(1)(A) and (C).

(2) Compatibility

The proposed use has minimal operational impacts and is designed to be compatible with the surrounding RL-1 residential neighborhood. The facility will be primarily equipment-based, with no customer visits, no public access, and only periodic maintenance personnel on-site. Operational noise is minimal and limited to an enclosed equipment environment that complies with City noise standards.

The building is designed with residential-scale massing and materials consistent with neighborhood character. The exterior finish consists of a natural gravel (stone) aggregate panel selected to reduce visual contrast and minimize visual impact. The structure is located behind the existing church building and remains visually subordinate to that structure. No towers, antennas, or tall vertical elements are proposed as part of this project.

In response to concerns raised by nearby property owners regarding visibility and potential impacts, the project incorporates targeted screening and site treatment measures. Screening is focused on the north side of the development where downhill residential views may occur. Landscape screening has been added along the north property line to buffer views of the new structure. Existing site features continue to provide screening in other directions, and no new obstructions are created beyond those already associated with the existing church development.

The total area impacted by the proposed development represents less than two percent of the overall property area. Existing drainage mitigations will be maintained and improved through the addition of new shrubs that increase water absorption and further reduce runoff. Exterior lighting is limited to a single fixture, which will be fully shielded and directed straight downward in compliance with City requirements, preventing light spill onto adjacent properties.

Mechanical equipment consists of two HVAC units located on the end of the building facing the church, away from nearby residences. The units operate at sound levels comparable to residential equipment, with only one

unit operating at a time and alternating use to minimize wear and operational noise.

Traffic generation is negligible and substantially lower than a single-family residence. Overall, the facility's physical presence and operations will have less impact than many uses already allowed within RL-1. The project therefore meets B.R.C. 9-2-15(e)(2).

(3) Infrastructure

The proposed use will not adversely impact public infrastructure compared to a permitted residential use. Water demand is minimal and substantially below a typical home. Wastewater flow is negligible. Stormwater is designed to meet City drainage standards. Transportation impacts are extremely low, with trip generation significantly less than a residential dwelling unit. Utilities are coordinated with the service providers and do not create adverse off-site impacts. Relative to an allowed RL-1 residential use, the project creates substantially lower demands on water, sewer, stormwater, and streets, satisfying B.R.C. 9-2-15(e)(3).

(4) Character of Area

The project does not alter the existing character of the surrounding RL-1 neighborhood. The development maintains residential-appropriate massing, setbacks, materials, roofline, and landscaping. The use is quiet, low-traffic, and visually unobtrusive, ensuring that the residential appearance and feel of the area remain unchanged. No adopted design guidelines or area-specific plans are negatively affected. The project respects and maintains the established neighborhood context, satisfying B.R.C. 9-2-15(e)(4).

(5) Conversion of Dwelling Units to Nonresidential Uses

While the site is in a residential zone, the proposed telecommunications facility supports a compelling public infrastructure need that benefits the community. Telecommunications central offices are essential for emergency response, internet reliability, community connectivity, and everyday communications functions needed by Boulder residents, schools, and businesses. This essential public utility function meets the criterion for overcoming the presumption against conversion in B.R.C. 9-2-15(e)(5).

Conclusion

The proposed Telecommunications Central Office directly serves community needs, is compatible with the residential context, has minimal impact on infrastructure, preserves neighborhood character, and provides a compelling public service that justifies approval within RL-1. Accordingly, the project meets all Use Review criteria specified in B.R.C. 9-2-15(e) and is appropriate for approval.

Use Review Application

Existing Use of Building and Land: Church

Existing Hours of Operation: 8am - 5pm

Existing Number of Employees (full and part time): 8-10

Existing estimated number of trips to site per day and mode of transportation used to reach the site: 8-10, vehicle

Proposed Use of Building and Land: An accessory building/use for an essential municipal and public utility service which will have a small, prefab, unmanned building that will house network equipment used to provide Boulder with ALLO service.

Proposed Hours of Operation: None

Proposed Number of Employees (full and part-time): 0

Proposed estimated number of trips to site per day and mode of transportation used to reach the site: 1-2 per month, vehicle

Site Review Compliance Statement – Allo Fiber

Project Location: 1191 S Lashley Ln, Boulder, CO

1) BVCP Criteria

1(A) BVCP Land Use Map & Policies

Response: - Consistent with BVCP built environment goals: discreet utility/office support function, minimal public realm impact, sustainability and screening practices that respect neighborhood context.

1(B) Subcommunity/Area Plans & Design Guidelines

Response: - Generally consistent; siting behind existing church improves compatibility. Materials and landscaping respect any applicable neighborhood design patterns.

1(C) Reducing Greenhouse Gas Emissions (EUI)

Response: - N/A if building <30,000 sf.

- If the floor area threshold is triggered, the project will be designed for net site EUI of zero or $\geq 10\%$ below the City's Energy Conservation Code baseline; compliance to be demonstrated at building permit.

1(D) Urban Edge Design

Response: - N/A (site is not along BVCP Area I/II/III urbanizing boundary). If City determines applicability, the discreet placement and low contrast façade provide a defined edge consistent with context.

1(E) Historic or Cultural Resources

Response: - No known significant resources on site; if discovered, we will coordinate on preservation/landmark actions.

1(F) Housing Diversity & Bedroom Unit Types

Response: - N/A (non-residential central office).

1(G) Environmental Preservation

- (i) Natural features: Plant palette favors native/adaptive species; construction avoids impacts to significant trees/wetlands; stormwater aware placement.

- (ii) Landform/excavation: No $> 50\%$ slope grading; building follows existing contours; disturbed areas stabilized with vegetation.

2) Site Design Criteria

2(A) Access, Transportation, and Mobility

- (i) Connectivity: Reasonable pedestrian permeability maintained; use of existing circulation; coordinate informal connections where practicable.

- (ii) Alternatives to auto: Small footprint; walking access; bicycle friendly approach; no expansion of parking.

- (iii) TDM plan: Comply if required for this scope; N/A if City doesn't require for the use/size.

- (iv) Safety & permeability: Entries legible; screening does not obstruct sightlines; safe movement across the site.

- (v) Efficient vehicular circulation: Existing stall used; minimizes pavement and impervious area.
- (vi) Curbside parking/loading: N/A unless directed by City curbside policies; coordinate if needed.

2(B) Open Space

- (i) Accessible/usable: Maintain functional open area with a mix of shade/sun, green/hardscape as feasible for staff/visitors.
- (ii) Mixed use balance: N/A (not mixed use or residential).
- (iii) Active recreation (≥ 50 dwelling units): N/A (no dwelling units).
- (iv) Links to public spaces/paths/parks: Where consistent and practicable; site is small and behind the church (limited linkage potential).

2(C) Landscaping & Screening

- (i) Exceed minimums by $\geq 15\%$: Yes—plant quantities exceed minimum by $\geq 15\%$; preserve healthy long-lived trees where practical.
- (ii) Diversity & quality: Varied textures/seasonality; high-quality hardscape if used (e.g., stone, flagstone, porous pavers).
- (iii) Water conservation: Native/adaptive plants, hydrozones, mulch, optional bioswales/rain gardens if feasible.
- (iv) Screen operations: Natural fencing + layered plantings to mitigate views of operational elements and the building from downhill neighbors.

3) Building Siting and Design Criteria

3(A) Building Siting & Public Realm Interface

- (i) Toward street/context: Placement behind church respects established context; minimal public realm exposure; defined pedestrian entry.
- (ii) Parking location: Existing stall ~15 ft from structure; not fronting streetscape.
- (iii) Emphasized entries: Single door emphasized via material framing, lighting, proportion, and reveal lines.
- (iv) Entry frequency: Fewer entries appropriate to industrial/utility-type use; allowed by code intent.
- (v) Transition to lower intensity: Scale/materials/landscaping buffer produce a soft transition to adjacent properties.
- (vi) Character compatibility: Low-contrast materials/colors; small mass; enhanced landscaping improve area character.

3(B) Building Design

- (i) Variety of forms/heights: N/A (single, small-volume building); still human-scaled.
- (ii) Mechanical concealment: Locate within building where possible; otherwise screen to minimize visibility (especially downslope).
- (iii) Windows/blank walls: Function limits glazing; stone texture, articulation, landscaping avoid blank-wall conditions at visible elevations.
- (iv) Simple detailing: Cornices/reveals/expression lines provide interest without complexity.
- (v) Balconies: N/A (no residential attached dwelling units).
- (vi) Design compatibility: Materials/color/roof treatment compatible with context; reduces visual impact.

3(C) Building Materials

- (i) High quality, durable, human scaled: Natural stone/pebble aggregate cladding (majority of façade); optional architectural metal for trim only.
- (ii) Roofing membranes: Not visible from street level; any potential visibility mitigated by parapet/screening; nonreflective finishes.
- (iii) Limit material types; logical organization: Limited palette; materials express entry/corners; logical, restrained composition.
- (iv) Materials turn corners; offsets ≥ 12 in.: Stone cladding returns at convex corners; any in-plane material change occurs at ≥ 12 in. wall offset.
- (v) Interior noise (residential near RR/freeway): N/A (nonresidential; no dwelling units).

Stone façade detail (expanded):

- Texture & color: River pebble aggregate/stone veneer in neutral earth tones (sand/beige/gray) to blend with hillside/church.
- Finish: Nonreflective, UV stable sealers (vapor permeable) to reduce water intrusion, hail resistant.
- Articulation: Subtle reveal lines and anchored trim around the single entry for legibility; no extensive ornamentation.
- Maintenance: Low maintenance cladding; accessible base course for inspection; proper weep/drainage plane behind veneer.

4) Additional Criteria: Height Modifications or Exceeding FAR

- 4(A) Form & massing (for height/FAR cases) Response: N/A (no height modification/FAR exceedance requested).
- 4(B) Requirements for height modifications (i)(a) ≤ 3 stories (compatibility): N/A (i)(b) Height bonus (≥ 4 stories): N/A

5) Additional Criteria: Poles or Emergency Ops Antennas Above Permitted Height

- 5(A) Poles (light/traffic/electrical utility) Response: N/A (none proposed).
- 5(B) Emergency operations antennas Response: N/A (none proposed).

6) Land Use Intensity & Height Modifications

- 6(A) Open space reduction Response: N/A (no reduction requested).
- 6(B) FAR increase with height bonus Response: N/A (no request).
- 6(C) Height bonus & intensity—community benefits/fees Response: N/A

Example of Similar Allo Fiber Site:



This project meets the applicable criteria under Section 9-2-14(h). Allo Fiber respectfully requests approval of the site review application. Please contact us for any additional information or documentation.

Joshua Kayser
Critical Infrastructure Manager
Allo Fiber
Phone: 314-971-5027
Email: joshua.kayser@allofiber.com



Re: 190 S Ashley LN questions

From Blaine, Alison <BlaineA@bouldercolorado.gov>

Date Thu 12/11/2025 8:58 AM

To Min <soyfoo@yahoo.com>

Hi Min,

Thank you for reaching out. See answers to your questions below.

Best,

Alison Blaine, AICP

Senior City Planner

(pronouns: she/her/hers)

O: 303-441-4410

blainea@bouldercolorado.gov

From: Min <soyfoo@yahoo.com>

Sent: Monday, December 8, 2025 11:53 PM

To: Blaine, Alison <BlaineA@bouldercolorado.gov>

Subject: 1190 S Ashley LN questions

External Sender Notice This email was sent by an external sender.

Hi,

I have a few questions about the proposed unmanned building at 1190 S Ashley Ln.

It appears that the building will be constructed directly above my location.

I would appreciate your response to the following questions.

- Has a solar/shade analysis been completed to show how the structure will affect sunlight for the residential properties below?

Compliance with solar access requirements has not yet been completed. Staff requested a complete solar diagram during the initial review so that staff can verify compliance as part of the current application review.

- During which times of day and year will the building cast shadows on nearby homes or yards?

The regulations are designed to protect solar access for a four hour period, between two hours before and two hours after local solar noon, on December 21st

- Are there requirements to ensure the project does not reduce existing or potential solar access for residents below?

Yes, properties in the RL-1 zone are protected by a 12-foot solar fence. This means that any property cannot cast a shadow on an adjacent property more than a hypothetical 12 foot solar fence would.

- Will setbacks or placement of the building be adjusted to protect sunlight for downhill properties? Exact building footprint is not provided. Exact height? Plans?

If staff finds that the proposed development is violating solar access, then the placement of the building may need to be adjusted to be setback further from the property line. The submitted architectural plans show that the height from grade is about 11 feet and the dimensions are 30 feet by 12 feet (360 sqft)

- What limits apply to exterior lighting to prevent light spill into downhill homes?

All development in Boulder is subject to the city's outdoor lighting regulations, which includes dark sky compliance. More information can be found in [Section 9-9-16](#) of the Land Use Code.

- How will privacy be protected, especially regarding window placement or visibility into downhill yards?

There are no proposed windows for this structure. Based on the submitted materials, employees will visit the site very occasionally to complete maintenance.

- How will noise from equipment be evaluated, and are there restrictions on hours of use? Specifically cooling fans.

All development in Boulder is subject to the city's noise code. More information can be found in [Section 5-9](#) of the Land Use Code.

- Does the project impact drainage patterns or runoff toward the residential properties below?

The project will be reviewed by staff engineers to conform compliance with all drainage and stormwater requirements per the Land Use Code and the City's Design and Construction Standards. Site drainage must be accommodated onsite and cannot impact adjacent properties.

- Will any trees or natural screening be removed, and if so, are replacement or mitigation measures required. Will any tree screening be provided?

A landscape plan was not provided in the original application but has been requested by staff for review. Staff has requested additional information on screening and treatment for the development.

Thanks much,
Min

4530 squires circle
Boulder 80305



Re: 1190 S Lashley Ln

From Blaine, Alison <BlaineA@bouldercolorado.gov>

Date Wed 12/3/2025 9:32 AM

To Scott Symmank <scottsymm@gmail.com>

Hi Scott,

The public notice that went out has a few typos, so it is getting re-issued and should arrive shortly. Apologies for the confusion! See answers to your questions below in highlights. Hope this helps clarify the process, but please let me know if you have any other questions or concerns.

Best,

Alison Blaine, AICP

Senior City Planner

(pronouns: she/her/hers)

O: 303-441-4410

blainea@bouldercolorado.gov

From: Scott Symmank <scottsymm@gmail.com>

Sent: Tuesday, December 2, 2025 9:33 AM

To: Blaine, Alison <BlaineA@bouldercolorado.gov>

Subject: Re: 1190 S Lashley Ln

blaine,

i am glad to hear that it will only be 11 ft tall, the proposal seemed to indicate that it could be up to 35 ft tall.

my main concerns were around light and noise pollution, and where on the church property the new commercial building would be located.

Based on the initial information provided by the applicant, they do not anticipate noise or light impacts. However, any development in Boulder must meet all applicable noise ([Chapter 5-9](#)) and light ([Section 9-9-16](#)) codes, including dark sky compliance.

additionally, during the last 3 year round of construction on the church property for the new sanctuary, there were substantial improvements made to mitigate the storm water drainage off the church property to properties to the north.

so, i wanted to confirm that the new commercial use building would not interfere with that mitigation that is mostly located on the north side of the church property.

The project will be reviewed by staff engineers to conform compliance with all drainage and stormwater requirements per the Land Use Code and the City's Design and Construction Standards. Site drainage must be accommodated onsite and cannot impact adjacent properties.

is it common to allow commercial use on a property that the city set aside for religious purposes ?
i guess i do have some concerns about that too.

I can't speak to how common or uncommon it is to have a commercial use on the same site as a religious assembly. However, the Code does provide a path forward for having two principal uses on an RL-1 zoned property, which is the trigger for this Site Review. The two principal uses are Religious Assembly (existing) and Essential municipal and public utility service (new). The new use will be evaluated for consistency with the Use Review criteria to confirm there are no adverse impacts to the surrounding area.

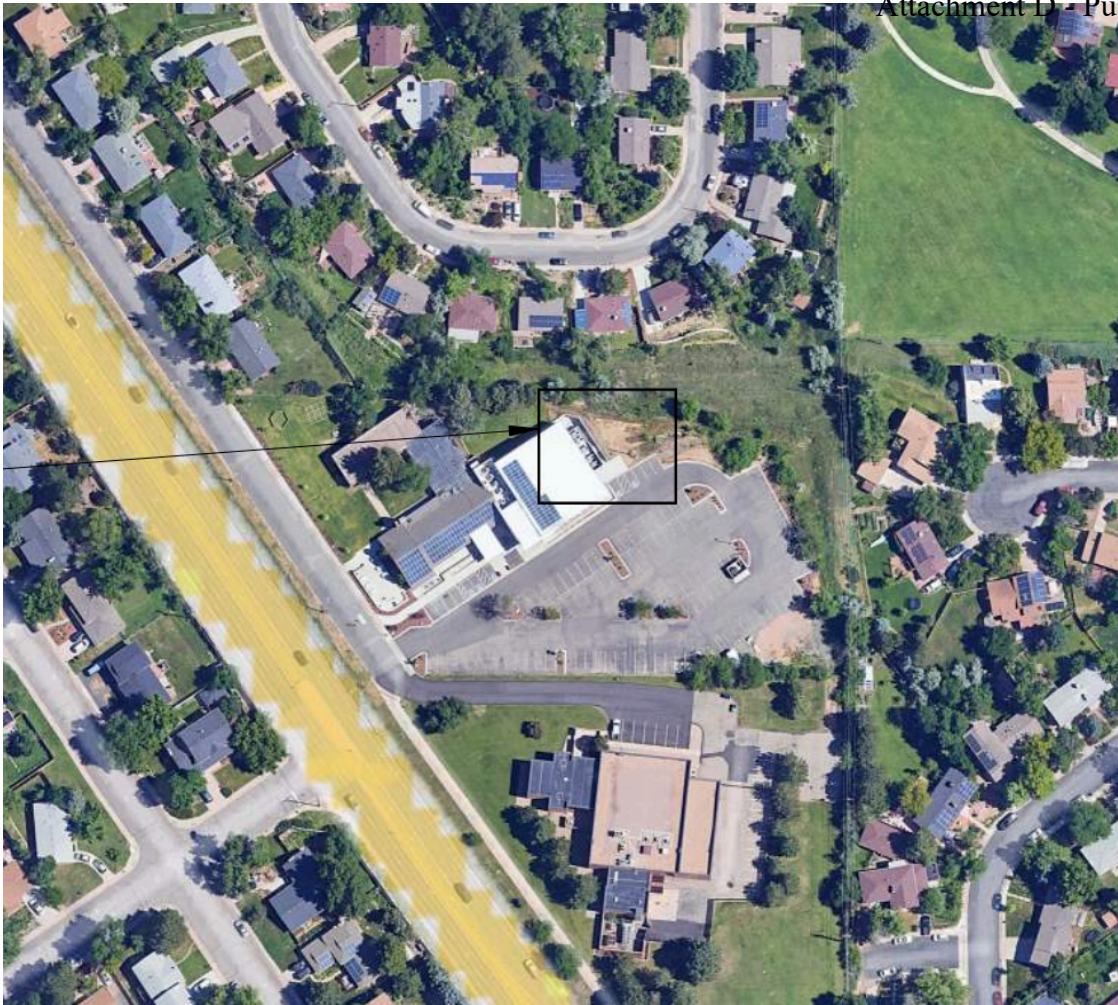
are the actual construction plans detailing the project proposal public ?

Yes, all submitted plans and staff comments are available to the public here:

<https://bouldercolorado.gov/development-review-cases-map>. Search "LUR2025-00085" and then you can view all uploaded documents, including the plan set. Staff comments will be posted at the end of the review track.

where on the property will the building be located ?

The building is proposed to be just northeast of the existing church. See screenshot from the submitted site plan:



do we have details on what it means to allow commercial use on this property, does the variance allow for other future commercial buildings or usage ?

The proposal is only for an "Essential Municipal and Public Utility Service" use and the associated building. Any future uses or development would be subject to additional review or a new development review application, depending on what is proposed. A by-right proposal would proceed straight to building permit, but would still need to meet all applicable codes and criteria.

will there be a public hearing on this issue ?

There is no public hearing. The decision is staff-level and subject to Planning Board call-up. I will add you to my contact list and update you when the item is scheduled for call-up consideration.

many thanks,
Scott Symmank

On Tue, Dec 2, 2025 at 8:42 AM Blaine, Alison <BlaineA@bouldercolorado.gov> wrote:

Hi Scott,

Do you have specific questions I can answer? The site review is to allow a second principal use and building on the current site. The new use is for Allo fiber internet. The new building will be about 750 square feet and 11 feet tall and will house mechanical equipment.

Best,

Alison Blaine, AICP

Senior City Planner

(pronouns: she/her/hers)

O: 303-441-4410

blainea@bouldercolorado.gov

From: Scott Symmank <scottsymm@gmail.com>

Sent: Thursday, November 27, 2025 8:02 PM

To: Blaine, Alison <blainea@bouldercolorado.gov>

Subject: 1190 S Lashley Ln

External Sender Notice This email was sent by an external sender.

do you have anymore information on the proposed site review for 1190 S Lashley Ln ?

many thanks,
scott symmank

Sent from my mobile device



1190 S Lashley Lane

From Walt Fricke <walterfricke@msn.com>

Date Mon 11/24/2025 8:43 PM

To Blaine, Alison <blainea@bouldercolorado.gov>

External Sender Notice This email was sent by an external sender.

I received the site/use review notice for this project. I have no objection at all to what is proposed, but have a comment and a question.

I had to look up what ALLO is. Nowadays not hard to do, but somehow I'd think a notice ideally wouldn't require the reader to do this. Not a big deal. But I realize you can only put so much information on one page, and were I more diligent perhaps reading the full development review on line would satisfy my curiosity.

What I don't understand is why a height review is required for such a small building. ALLO I think is fiber-optic stuff, which typically relies on buried cable (and small buildings here and there for some kind of ancillary services). It isn't something involving cell towers, is it? So how is height involved here? I doubt it will obstruct my view of the mountains, but no more than the power lines. But I can't help but be curious.

Walt Fricke
4561 Huey Circle



**CITY OF BOULDER
PLANNING BOARD AGENDA ITEM**

MEETING DATE: May 5, 2026

AGENDA TITLE

Public hearing and recommendation to City Council regarding an ordinance amending Title 9, “Land Use Code,” to create new use standards for special festival events, amend mobile food vehicle standards related to organized events, and amend the city’s sign code to regulate signs that may be erected for the duration of a special festival event and associated review and approval processes, and setting forth related details.

REQUESTING DEPARTMENT / PRESENTERS

Planning & Development Services

Brad Mueller, Director of Planning & Development Services
Charles Ferro, Development Review Planning Senior Manager
Karl Guiler, Development Code Amendment Manager

OBJECTIVE

Define the steps for Planning Board consideration of this request:

1. Hear staff presentation.
2. Hold public hearing.
3. Planning Board discussion.
4. Planning Board recommendation to City Council.

KEY ISSUES

Staff has identified the following key issues to help guide the board’s discussion:

1. Does Planning Board find that the proposed ordinance implements the adopted policies of the Boulder Valley Comprehensive Plan?
2. Does Planning Board recommend any modifications to the draft ordinance?

EXECUTIVE SUMMARY

Attachment A contains proposed land use code changes that would 1) add the new definition of “special festival event” to Title 9 and use table, 2) allow special festivals events subject to new specific use standards, 3) create a minor update to the mobile food truck use standards relating to their operation during such events, and 4) amend the sign code to regulate signs that may be erected for the duration of special festivals events. More detailed descriptions of these changes are found in the ‘Proposed Code Change’ section within this memorandum and within **Attachment A**. These changes are proposed in anticipation of the Sundance Film Festival scheduled to operate in the city in January 2027 and to address events of this scale and nature in the future.

Planning Board is required to make a recommendation to City Council on any changes to Title 9, “Land Use Code,” B.R.C. 1981. The City Council public hearing on the ordinance for these changes is tentatively scheduled for July 18, 2026. Staff’s goal has been to update the Boulder Revised Code well in advance of the Sundance Film Festival so that there is ample time for permit processing, that any potential impacts from such a festival can be adequately addressed before the festival, and to ensure the festival and any future festivals of similar nature operate in compliance with all applicable city policies and regulations.

STAFF RECOMMENDATION

Staff requests Planning Board consideration of this matter and action in the form of the following motion:

Suggested Motion Language:

Planning Board recommends that City Council adopt an ordinance amending Title 9, “Land Use Code,” to create new use standards for special festival events, amend mobile food vehicle standards related to organized events, and amend the city’s sign code to regulate signs that may be erected for the duration of a special festival event and associated review and approval processes, and setting forth related details.

PUBLIC FEEDBACKCommunity engagement is being conducted on an inform level of engagement given the limited number, geography, and duration of special festival events. A virtual open house open to the broader community is scheduled for May 15 and will be an opportunity for community feedback and questions and answers on the proposed changes. Notice of the open house will be sent out in the April Planning and Development Services newsletter.

Staff is also planning on presenting the proposed changes to the Boulder Chamber of Commerce and sharing the proposed changes with the Sundance Film Festival as the process and regulation changes will inform the festival planning anticipated for the second half of 2026. Feedback from these meetings may inform additional changes to the regulations and will be conveyed to City Council prior to its decision in June of 2026.

BACKGROUND

The Sundance Film Festival will be held in Boulder in January 2027. As the city has never hosted a festival of this scale, current regulations are not calibrated to such events and are proposed to be updated to accommodate such festivals and ensure that the public, health, and safety is maintained.

The city currently permits festivals such as the Boulder Creek Festival and the Bolder Boulder. These events are permitted by the City's Special Events Policy.

Special Events that occur on the Pearl Street Mall are referred to in Title 4, "Licenses and Permits," B.R.C. 1981, and all other special events in the City are only approved within the public rights-of-way and on public property. Festivals like the Sundance Film Festival do not meet this definition as they will have significantly larger attendance, a longer duration, and be within the public right-of-way, on public property, and within a variety of venues on private property. Therefore, staff is in the process of updating Title 4 to create a new permitting process and standards for festivals of this scale, as well as Title 8, "Parks, Open Space, and Public Ways," B.R.C. 1981, relative to activities occurring on public lands. The following definition for this use is proposed and would be added to Title 4:

Special Festival Event means an organized event that can occur on both public or private property or on both that 1) involves use of streets, sidewalks, parks, or other city property in a way that does not comply with normal or usual traffic, pedestrian, park, or similar regulations or controls; 2) is held over multiple consecutive days; and 3) involves a number of anticipated spectators or number of attendees that exceed 15,000 people. A Special Festival Event often involves a contractual relationship with the city and provides extraordinary economic benefit to the community.

This terminology (i.e., Special Festival Event) has already been referred to in other recently adopted ordinances by City Council relating to the upcoming festivals, including but not limited to changes to allow more short-term rentals during the duration of the event (see this website for more information: [Festival Lodging Rental License](#)).

Staff proposes to amend Title 9, Land Use Code, B.R.C. 1981, to create a special festival event use as a new use in the land use code subject to specific use standards. Further, minor updates to the mobile food vehicle standards are proposed to permit mobile food vehicles as part of special festival events.

As with many festivals, signage is also anticipated to be erected for the duration of the event allowing festival organizers, vendors and sponsors to identify themselves and convey messages and to create a unique festival atmosphere. Signage erected during events, such as banners, wall signs, awnings, or projected images, is common during events like the Bolder Boulder or the Boulder Creek Festival, but as stated above, those events are governed by Title 4 and Title 8, relative to public lands. The city's sign regulations have comprehensive requirements for signs permanently installed on private property. Therefore, the current sign regulations are proposed to be amended to add new standards for signs on private property that are part of a special festival event.

Attachment A contains proposed land use code changes to 1) add the new use definition of "special festival event" to Title 9 and use table, 2) allow special festivals event uses subject to new specific use standards, 3) allow mobile food truck uses at special festival

events, and 4) amend the sign code to allow signs to be erected during special festivals events.

Planning Board is required to make a recommendation to City Council on any changes to Title 9, “Land Use Code,” B.R.C. 1981. The City Council public hearing on the ordinance for these changes is tentatively scheduled for June 18, 2026. Staff’s goal has been to propose amendments to the Boulder Revised Code well in advance of the Sundance Film Festival so that there is ample time for permit processing, that any potential impacts from such a festival can be adequately addressed before the festival, and to ensure the festival and any future festivals of similar nature operate in compliance with all applicable city policies and regulations.

SUMMARY OF PROPOSED CODE CHANGES

Attachment A reflects the proposed Title 9 land use code changes proposed to regulate special festivals in Boulder. More specifically, the ordinance would do the following:

- **Chapter 9-6, “Use Standards,” B.R.C. 1981-**
 - Add a new “Special festival event” use to the use table, Table 6-1, as an allowable use subject to specific use standards (described below) and would be permitted in largely the same zoning districts as temporary events, differing in these aspects. The use:
 - would not permitted in city’s Agricultural (A) zone, and
 - would be further limited to an area identified in the specific special event boundary map that must be approved as part of a special festival event permit.

A definition for special festival event referencing the definition in Title 4 will be added to Title 9.

- Amend the existing mobile food vehicle use standards in Chapter 9-6 to include “special festival events” within the scope of the existing section on “organized events,” which currently allows food trucks only at special events.
- Creates new specific use standards in Section 9-6-5, as follows, and renumbers subsequent sections accordingly:
 - Allows the use through review of a special festival event permit per a new Title 4 permitting code section.
 - Requires festivals to be temporary, no more than 14 days plus additional days for set up and take down (unless approved otherwise by the city manager).
 - May not result in unsafe conditions or unacceptable levels of congestion or result in damage to private property or any city infrastructure.

- Lot or parcels must be returned substantially to their original condition after the festival.
 - May only be conducted by an owner or lessee of property or with an owner or lessee’s permission.
 - Clarifies that any property with a previous land use review (e.g., Site Review, Use Review) does not trigger an amendment or modification and, if applicable, does not qualify as an expansion of a nonconforming use.
 - Updates the existing temporary event use standards to create a city manager rule that allows the city, if necessary, to limit the number of permits issued for temporary events during a special festival event to avoid any undue congestion and uphold the public health, safety, and welfare.
- **Chapter 9-9, “Development Standards,” B.R.C. 1981-**
 - Amends existing sign code to add standards for signs erected for the duration of a special festival event.
 - Allows special festival event signage to be reviewed in a comprehensive sign plan submitted with a special festival event permit reviewed according to Title 4, Licenses and Permits.
 - Creates new standards specific to these special festival event related signs, as follows:
 - Establishes basic setback, area, and height requirements so that signs do not impede pedestrians or vehicles, or excessively cover buildings.
 - Signs may only be erected by applicants, sponsors, or vendors pursuant to a special event permit.
 - Avoids damage to any designated historic buildings or buildings in historic districts.
 - Specifies the time periods signs may be erected and when they must be removed.
 - Requires compliance with city’s outdoor lighting ordinance ([Section 9-9-16](#)) and updates the existing outdoor lighting ordinance variance criteria to add ‘special festival events’ as an organized event, which already allows flexibility for associated signs.
 - Applies minimum design and construction standards to ensure safe installation.
 - Recognizes that the nature of special festival event related signs reduces the concerns associated with signs that erected on a permanent basis and

therefore exempts signs erected during a special festival event from certain standards and prohibitions. Some examples are projected images, signs erected higher than 25 feet, etc., which could pose certain hazards and aesthetic concerns if existing on a more permanent basis.

ANALYSIS

Staff has identified the following key issues for Planning Board’s consideration:

1. Does Planning Board find that the proposed ordinance implements the adopted policies of the Boulder Valley Comprehensive Plan?
2. Does Planning Board recommend any modifications to the draft ordinance?

Staff finds that the proposed ordinance implements the adopted policies of the comprehensive plan. The following analysis is provided to demonstrate how the project objective is met through the proposed ordinance. **Attachment A** contains the proposed ordinance and includes footnotes that describe the rationale of each proposed change.

What is the reason for the ordinance and what public purpose will be served?

The Sundance Film Festival will be held in the city of Boulder in January 2027. As the city has never hosted a festival of this scale and scope, current regulations are not calibrated to such events and are proposed to be updated to accommodate the festival and ensure that public health and safety is maintained. An ordinance is proposed to permit the event and enable a unique festival to operate in the city offering a substantial economic and cultural benefit to the community and region.

How is the ordinance consistent with the purpose of the zoning districts or code chapters being amended?

The proposed ordinance is consistent with zoning districts by introducing a newly defined land use in the use table and establishing new standards intended to preserve the public, health, and safety and the efficient operation of the festival. The festival will largely be limited to areas around downtown Boulder and the university and some publicly zoned properties where most of the venues exist; however, code language will further limit any special festival events to a specific festival boundary map approved each year.

More specifically, the proposed ordinance would add a new “Special festival event” use to the use table, Table 6-1, as an allowable use subject to specific use standards (described below) and would be permitted in largely the same zoning districts as temporary events, which are infrequent outdoor events (typically retail sales) that occur in parking lots in the downtown, business, mixed-use, and industrial zones, but differs in these aspects. The use would:

- Not be permitted in city’s Agricultural (A) zone. Agricultural land use in the Boulder Valley Comprehensive Plan (BVCP) is described as follows: “An AG land use designation identifies land in the Service Area that is planned to remain in agricultural use. Given the urban nature of Boulder, the designation will rarely be

used. Uses that are auxiliary to agriculture, such as a home, a barn and outbuildings and the incidental sales of farm or horticultural products are expected on land with this designation.” Special festival events would be inconsistent with this land use, and

- Be more specifically limited to an area identified in the specific special event boundary map that must be approved as part of a special festival event permit.

Are there consequences in not passing this ordinance?

If this ordinance is not passed, the Sundance Film Festival may not be able to operate in the way the Sundance Institute and city envision. It will be more efficient and predictable for staff and applicants to have established procedures and approval processes. Given the Sundance Film Festival is scheduled for January 2027, any delays could have significant consequences for the festival and the city which have committed significant resources to securing the festival and effectuating agreements for the festival to operate.

The proposed amendments to the land use code seek to ensure relative compatibility and minimal impact to buildings, trees, infrastructure, city resources and private property.

What adverse effects may result with the adoption of this ordinance?

Staff finds that adoption of the ordinance is integral to accommodating and managing large festivals in the city while mitigating potential impacts as discussed above. Adoption of the ordinance will make it clear that the festival activities are an allowable use in the city. Allowing festivals such as the Sundance Film Festival is consistent with city policies on supporting the arts and growing the economy (see analysis on compliance with Boulder Valley Comprehensive Plan policies below). A festival of this scale has not occurred in Boulder. In light of that, impacts are anticipated. The proposed ordinance seeks to mitigate those impacts. As with any ordinance, the city will monitor the overall success of the festival and like festivals in the future and determine if future code updates are necessary to mitigate any unforeseen impacts.

What factors are influencing the timing of the proposed ordinance? Why?

In discussions with Park City, UT, where the Sundance Film Festival has been held for decades, it was common that permits and applications are submitted for review well in advance of the festival (as early as six months) to allow the city, organizer, and sponsors adequate time to collaborate on the conditions and details of the festival and help ensure an efficient operation of the festival. This includes, but is not limited to, proposed venue locations, festival schedule and duration, street closures, temporary buildings, queuing considerations, signage, transportation, and security.

Staff’s goal has been to update the Boulder Revised Code well in advance of the Sundance Film Festival so that there is ample time for permit processing, and to ensure that any potential impacts from such a festival can be adequately addressed before the festival.

How does the ordinance compare to practices in other cities?

As Park City is the closest analogue for the Sundance Film Festival, staff has met with Park City officials to understand how their rules for and management (from a city

perspective) of such a festival. These meetings have informed the content of the proposed ordinance and creation of processes to prepare for the festival. Park City has required a “master festival license” that includes all the particulars of the festival, including but not limited to road closures, security, plans for venue locations, and sign installation etc. and from a zoning perspective, has few specific rules and regulations for such a temporary event. In general, the approach has been focused on upholding public health, safety, and welfare during the event.

The proposed ordinance strikes a balance of upholding the public health, safety, and welfare with also outlining specific standards that can be applied to the Sundance Film Festival and future festivals of the same scale. It avoids the same level of detail that apply to other regulated aspects, particular as applied to permanent signs, as the signs that are installed are temporary and consistent with the goals of creating a unique festival atmosphere.

How will this ordinance implement the comprehensive plan?

The ordinance will implement the following applicable policies from the Boulder Valley Comprehensive Plan. In summary, the code changes are an example of important and effective governmental cooperation, as the city has been working with the state on securing the Sundance Film Festival in Boulder, as well as enhancing the role of downtown Boulder as a destination, and balancing the city’s values on ensuring compatible operations of the festival with the strong economic and arts and cultural aspects that the festival and future festivals will contribute to the city.

Intergovernmental and Growth Management Policy 1.01 Regional & Statewide Cooperation Many of the problems and opportunities faced by Boulder and other jurisdictions, particularly providing affordable housing, addressing the jobs-housing imbalance, creating a healthy economy, improving regional transportation, protecting the environment, managing open space, delivering human services and managing growth can only be dealt with effectively through regional or statewide cooperation and solutions. Therefore, the city and county will actively pursue cooperative planning opportunities, intergovernmental agreements, broader information exchange and communication, collaborative initiatives and closer cooperation with each other and with other entities in the region and state. This may include other cities, counties, unincorporated communities, the University of Colorado, the school districts, regional organizations and other policymaking bodies. These entities will be encouraged to identify and address issues of shared concern for which a multi-jurisdictional perspective can best achieve mutually beneficial solutions.

Built Environment Policy 2.20 Role of the Central Area Boulder’s Central Area will continue as the regional service center of the Boulder Valley for office, retail, financial, governmental, civic, cultural and university activities. As such, it will remain the primary activity center and focal point of the Boulder Valley. The Central Area includes distinct, interrelated centers such as the Downtown Business District, Civic Area, University Hill and Boulder Valley Regional Center. It also includes the University of Colorado Main Campus and Canyon Boulevard Cultural Corridor. A variety of land uses surround the centers and

complete streets and multimodal transportation alternatives provide direct connections between them. The Central Broadway Corridor Design Framework (“Framework”) focuses on the five key activity centers along the central stretch of Broadway (University Hill/CU, the Civic Area, Downtown, the Alpine-Balsam site and Boulder County’s Broadway and Iris site). With a focus on physical form and character, systems, community experiences and services and some housing, the Framework identifies opportunities to strengthen existing assets and opportunities to fill gaps and address challenges along the corridor and in the centers.

Built Environment Policy 2.31 Historic Preservation / Conservation Tools As guided by the Plan for Boulder’s Historic Preservation Program, the city will develop a variety of tools that address preservation and conservation objectives within the community. Specific tools that address historic preservation and conservation objectives will be matched to the unique needs of specific areas. Preservation tools may include financial and other incentives for owners of designated landmark properties and properties located in designated districts. Conservation districts, easements and other tools may be applied in areas that do not qualify as local historic districts but contain features that contribute to the quality of the neighborhood or community. These could include historic resources that have lost integrity, neighborhoods with significant character but that are not historically significant, and scattered sites that share a common historic or architectural theme.

Built Environment Policy 2.39 Outdoor Lighting/Light Pollution The city and county will encourage the efficient use of outdoor lighting to reduce light pollution and conserve energy while providing for public safety. The city will seek to provide a nighttime environment that includes the ability to view the stars against a dark sky so that people can see the Milky Way Galaxy from residential and other appropriate viewing areas. Measures such as using more energy-efficient lights, ensuring that the level of outdoor lighting is appropriate to the application, minimizing glare and using shielding techniques to direct light downward will be required.

Economic Policy 5.04 Vital & Productive Retail Base The city recognizes the importance of its retail base, including restaurants, and maintaining affordable retail space. The city will develop and implement a retail strategy that takes into account emerging trends, such as shifting demographics and changing consumer behavior, addresses the market opportunities and shopping needs of the community, ensures an appropriate mix of retail and identifies opportunities to improve the retail base and the city’s sales tax revenues.

Economic Policy 5.09 Role of Tourism in the Economy The city recognizes the importance of tourism (e.g., heritage, cultural, sports and open space) to the Boulder economy and will continue to work with various partners, including the Boulder Convention and Visitors Bureau, to study the existing and future role of different types of tourism in the community, track the benefits and impact of tourism on the economy and invest in opportunities to support and enhance the sector.

Economic Policy 5.10 Role of Arts, Cultural, Historic & Parks & Recreation Amenities The city and county recognize arts and culture, historic, and parks and recreation amenities as important contributors to the city’s economic vitality and quality of life. The city and county will work to support and, as appropriate, enhance the resiliency, sustainability and innovation of arts, cultural, historic, and parks and recreation amenities so they continue to contribute to the economic vitality of the community, provide unique offerings and foster meaningful connections to Boulder among its residents, workforce and visitors.

Community Well Being and Safety Policy 8.13 Support for Community Facilities The city and county recognize the importance of educational, health, cultural and non-profit community agencies that provide vital services to the residents of the Boulder Valley and will work collaboratively with these agencies to reasonably accommodate their facility needs and consider location based on transportation accessibility or other needs.

Community Well Being and Safety Policy 8.21 Arts & Cultural Facilities The city and county recognize the ability of cultural facilities and activity to positively contribute to community members’ well-being, sense of community and cultural understanding. The city and county will encourage the provision of venues and facilities for a wide range of arts and cultural expression that are available and affordable to everyone. The city supports neighborhood serving arts and cultural amenities, including public sculptures, murals, plazas, studio space and community gathering spaces.

Community Well Being and Safety Policy 8.22 The Arts & Community Culture The city and county recognize and support the arts and community members’ easy access to cultural experiences. Arts and culture advance civic dialogue, awareness and participation, contribute to people’s authentic expression of diversity and promote community inclusion. The city and county will encourage a rich mix of cultural offerings by supporting cultural organizations, artists, the expression of culture and creativity in the public realm and Boulder’s cultural destinations.

ATTACHMENTS

Attachment A: Draft Code Changes

ATTACHMENT A

PROPOSED TITLE 9, LAND USE CODE, CHANGES FOR
SPECIAL FESTIVAL EVENTS

9-3-10. - Airport Influence Zone.

...

(c) City-Wide Restrictions:

(1) Prohibitions: No person shall establish or maintain any structure or use which:

(A) Creates any electrical interference with navigational signals or radio communications at the airport;

(B) Mimics airport lights; or

(C) Results in glare affecting aircraft using the airport.

(2) Hazards: No person shall establish or maintain any hazard.

(3) Development Permits: No development permit shall be granted or approved that would create a hazard or that would allow an existing structure or use to become a greater hazard. Notwithstanding the provisions of this paragraph and Subsection 9-6-5(x¹), B.R.C. 1981, no person shall, on or after July 1, 1989, acquire any vested right to maintain any hazard which the city manager may subsequently determine to exist, nor shall the city be estopped from proceeding to remove such hazard, under the procedure set forth in Paragraph (c)(4) of this section.

9-6-1. - Schedule of Permitted Land Uses.

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Table 6-1: USE TABLE

¹ Renumbered due to the addition of a new land use.

Attachment A - Draft Code Changes

1 A = Allowed | C = Conditional Use | U = Use Review | [] = Specific Use Standards Apply | - = Prohibited

Zoning District	RR-1, RR-2, RE, RL-1	RL-2, RM-2	RM-1, RM-3	RMX-1	RMX-2	RH-1, RH-2, RH-4, RH-5, RH-7	RH-3, RH-7	RL-6	MH	MU-3	MU-1	MU-2	MU-4	BT-1, BT-2	BMS	BC-1, BC-2	BCS	BR-1, BR-2	DT-4	DT-5	DT-1, DT-2, DT-3	IS-1, IS-2	IG	IM	IMS	P	A	Specific Use Standards	
Use Module	R1	R2	R3	R4	R5	R6	R7	R8	MH	M1	M2	M3	M4	B1	B2	B3	B4	B5	D1	D2	D3	I1	I2	I3	I4	P	A		
...																													
COMMERCIAL USES																													
...																													
<i>Recreation and Entertainment</i>																													
Art studio or workshop	-	U	U	U	U	U	U	U	-	[A]	[A]	[A]	A	A	A	A	A	A	A	A	A	A	A	A	A	A	U	-	9-6-5(f)
Campground	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	U	U	U	-	-	U		
Indoor athletic facility	-	[U]	[U]	[U]	-	U	[A]	-	-	[A]	[A]	[A]	A	[A]	[A]	A	A	A	A	A	A	[A]	[A]	[A]	[A]	-	-		
Indoor commercial recreation	-	-	-	-	-	-	-	-	-	-	-	-	U	-	U	U	U	A	U	U	U	-	-	-	-	-	-		
Outdoor recreation or entertainment	-	-	-	-	-	-	-	-	-	-	-	-	-	U	-	U	U	U	U	U	U	-	-	-	-	U	U		
Small theater or rehearsal space	-	-	-	-	-	-	-	-	U	U	U	U	U	U	U	U	U	A	U	U	U	A	A	A	A	-	-		
Special festival event	-	-	-	-	-	-	-	-	[A]	[A]	[A]	[A]	[A]	[A]	[A]	[A]	[A]	[A]	[A]	[A]	[A]	[A]	[A]	[A]	[A]	[A]	[A]	-	9-6-5(h) ²
Temporary event	-	-	-	-	-	-	-	-	[C]	[C]	[C]	[C]	[C]	[C]	[C]	[C]	[C]	[C]	[C]	[C]	[C]	[C]	[C]	[C]	[C]	[C]	[C]	[C]	9-6-5(i)
<i>Office Uses</i>																													
Administrative office	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	A	A	-	-	-		
Medical office	-	U	U	U	-	U	U	-	-	[A]	[A]	[A]	[A]	A	A	[A]	A	A	[A]	A	A	-	[C]	-	-	U	-	9-6-5(j), (k) 9-6-2(c)	
Office	-	U	U	U	U	U	[A]	-	-	[A]	[A]	[A]	[A]	A	A	[A]	A	A	[A]	A	A	[A]	[A]	[A]	[A]	-	-	9-6-5(j), (l) 9-6-2(c)	
Research and development	-	-	-	-	-	-	[A]	-	-	[A]	[A]	[A]	[A]	A	A	[A]	A	A	-	-	-	[A]	A	A	[A]	-	-	9-6-5(j), (m) 9-6-2(c)	
<i>Retail Sales Uses</i>																													
Accessory sales	-	-	-	-	-	A	A	-	-	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	-	
Building material sales	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	[U]	-	U	-	-	-	[A]	[A]	[A]	[A]	-	-	9-6-5(n)	
Convenience retail sales	-	[U]	[U]	[U]	-	U	[A]	-	-	[A]	[A]	[A]	A	A	A	A	A	A	-	A	A	A	A	-	A	-	-	9-6-5(o)	
Fuel sales	-	[U]	[U]	[U]	-	[U]	[U]	-	-	[U]	[U]	[U]	[C]	[U]	[C]	[C]	[U]	[C]	-	[U]	[U]	[C]	[C]	-	[U]	-	-	9-6-5(p)	
Retail sales	-	-	-	-	-	-	-	-	-	[A]	[A]	[A]	[A]	[A]	[A]	[A]	A	A	A	A	[A]	[A]	[A]	[A]	[A]	-	-	9-6-5(q)	
<i>Service Uses</i>																													
Animal hospital or veterinary clinic	-	-	-	-	-	-	-	-	U	U	U	U	U	U	U	A	U	A	-	-	U	A	A	A	A	-	-		
Animal kennel	-	-	-	-	-	-	-	-	-	-	-	-	U	-	U	U	A	U	-	-	-	A	A	U	A	-	-		
Business support service	-	-	-	-	-	-	-	-	-	-	-	[A]	-	[A]	[A]	A	A	A	A	A	A	[A]	U	U	[A]	-	-	9-6-5(r) 9-6-2(c)	
Financial institution	-	-	-	-	-	-	[A]	-	-	[A]	[A]	[A]	[A]	U	[A]	[A]	A	A	[A]	[A]	[A]	-	-	-	-	-	-	9-6-5(s) 9-6-2(c)	
Media production	-	U	U	-	U	U	U	-	-	[A]	[A]	[A]	A	A	[A]	[A]	A	A	A	A	A	A	A	A	A	-	-	9-6-5(t) 9-6-2(c)	
Mortuary and funeral chapel	-	-	-	-	-	-	-	-	-	-	-	-	U	U	U	U	U	U	-	-	U	-	-	-	-	-	-		
Non-vehicular repair and rental service	-	-	-	-	-	-	-	-	-	[A]	[A]	[A]	[A]	[A]	[A]	U	A	U	U	U	U	A	U	-	A	-	-	9-6-5(u)	
Neighborhood business center	-	[U]	[U]	-	-	[U]	[U]	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	9-6-5(v)	
Personal service use	-	U	U	U	-	U	A	U	U	A	A	A	A	A	A	A	A	A	A	A	A	-	[A]	-	[A]	-	-	9-6-5(w)	
<i>Vehicle-Related</i>																													
Car wash	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	U	A	U	U	U	U	-	-	-	-	-	-		
Drive-thru use	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	[U]	[U]	[U]	[U]	[U]	[U]	[U]	-	-	-	-	-	9-6-5(x)	
Fuel service station	-	-	-	-	-	-	-	-	-	-	-	-	[U]	[U]	[U]	[C]	[U]	[C]	-	[U]	[U]	[C]	[C]	-	[U]	-	-	9-6-5(y)	

24 ² New land use (Special Festival Event) added to the use table and associated renumbering of other land
 25 uses in Section 9-6-5, B.R.C. 1981.

A = Allowed | C = Conditional Use | U = Use Review | [] = Specific Use Standards Apply | - = Prohibited

Zoning District	RR-1, RR-2, RE, RL-1	RL-2, RM-2	RM-1, RM-3	RMX-1	RMX-2	RH-1, RH-2, RH-4, RH-5	RH-3, RH-7	RH-6	MH	MU-3	MU-1	MU-2	MU-4	BT-1, BT-2	BMS	BC-1, BC-2	BCS	BR-1, BR-2	DT-4	DT-5	DT-1, DT-2, DT-3	IS-1, IS-2	IG	IM	IMS	P	A	Specific Use Standards
Use Module	R1	R2	R3	R4	R5	R6	R7	R8	MH	M1	M2	M3	M4	B1	B2	B3	B4	B5	D1	D2	D3	I1	I2	I3	I4	P	A	Specific Use Standards
Principal parking facility	U	U	U	U	U	U	U	U	U	U	U	U	U	U	U	[A]	U	U	-	[U]	[U]	A	A	A	U	U	-	9-6-5(z) 9-6-2(c)
Sales or rental of vehicles	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	[U]	[A]	[U]	-	-	-	[A]	[A]	-	-	-	-	9-6-5(aa)
Service of vehicles	-	-	-	-	-	-	-	-	-	-	-	-	[U]	-	[U]	U	[A]	U	-	-	-	A	A	[A]	A	-	-	9-6-5(bb)
...																												

9-6-5. - Specific Use Standards - Commercial Uses.

FOOD, BEVERAGE, AND LODGING

(a) Bed and Breakfast:

...

(d) Mobile Food Vehicle:

(1) General Standards: The following applies to any mobile food vehicle:

(A) Location: Mobile food vehicles may operate in any of the following locations:

...

(iv) Organized Event: As part of an organized event in any zoning district, as follows:

- a. On public property or in the public right-of-way as part of an organized event, special event, or street closure permit that is granted pursuant to the authority in Section 4-18-2, “Public Property Use Permit,” B.R.C. 1981, or other relevant code section; or
- b. On public or private property or in the public right-of-way as part of a special festival event pursuant to Chapter 4-12, “Special Festival Events,” B.R.C. 1981.³

...

RECREATION AND ENTERTAINMENT

³ Mobile food vehicles are currently allowed as part of organized events without the same restrictions as in other locations or circumstances. This change makes it clear that Special Festival Events are considered part of organized events and may be on public or private property.

1 ...

2 (h) Special Festival Event:⁴

3 (1) Standards: Special festival events are allowed by-right if the use meets the following standards:

- 4 (i) Such uses are temporary, limited to no more than 14 days in any annual
- 5 period per event, unless otherwise approved by the city manager, and are
- 6 part of a special festival event approved pursuant to Chapter 4-12,
- 7 "Special Festival Events," B.R.C. 1981;
- 8 (ii) The use is located within a special festival event boundary established in a
- 9 permit approved pursuant to Chapter 4-12, "Special Festival Events,"
- 10 B.R.C. 1981.
- 11 (iii) Such uses may not result in unsafe conditions or unacceptable levels of
- 12 congestion or result in damage to private or public property, including in
- 13 the public right of way;
- 14 (iv) Upon termination of the use and on days for which no event is approved,
- 15 the lot or parcel shall be returned substantially to its original condition
- 16 unless otherwise approved by the city manager. All litter, fences, borders,
- 17 tie-down materials, and other items associated with the temporary event
- 18 shall be promptly removed. Unless otherwise approved by the city
- 19 manager, "promptly," as used in this subparagraph, shall mean within five
- 20 days;
- 21 (v) Special festival events shall only be conducted by the owner or lessee of
- 22 the property or with the permission of the owner or lessee of the property
- 23 on which it is conducted;
- 24 (vi) Prior approvals and nonconformities: A special festival event does not
- 25 constitute a modification, enlargement, expansion or other modification to
- a prior approval under Chapter 9-2, "Review Processes," B.R.C. 1981, nor
- an expansion of a nonconforming use and does not require a development
- review application under Chapter 9-2 nor any amendment or modification
- of a prior approval thereunder.⁵

20 i) **Temporary Event:**

21

22

23 ⁴ These are newly proposed standards that would apply to Special Festival Events. Compliance with

24 these standards would be affirmed during review of a special festival event permit.

25 ⁵ Avoids unnecessary land use review applications that would otherwise be triggered for what is an event of limited duration.

(1) Temporary events may be approved as a conditional use if the following standards are met:

...

(I) City Manager Authorized to Issue Rules. The city manager may adopt rules necessary for the implementation and interpretation of this subsection under the procedures of Chapter 1-4, "Rulemaking," B.R.C. 1981. Such rules may include, without limitation, limiting the number of permits issued for temporary events during a special festival event to avoid any undue congestion and uphold the public health, safety, and welfare.⁶

OFFICE USES

(j) **Office Uses:**

(1) This subsection sets forth standards for uses in the office uses category that are subject to specific use standards pursuant to Table 6-1, Use Table.

(k) **Medical Office:**

(l) **Office:**

(m) **Research and Development:**

RETAIL SALES USES

(n) **Building Material Sales:**

(o) **Convenience Retail Sales:**

(p) **Fuel Sales:**

⁶ This provision would allow the city to react quickly through a city manager rule (not an ordinance change) to any unforeseen circumstances of multiple outdoor temporary events that could occur during the same time as a special festival event. It would enable new restrictions to be placed on the number or location of temporary events at that time if it is determined that the simultaneous events could create undue congestions or pose any safety concerns.

1 (q) **Retail Sales:**

2 ...

SERVICE USES

3 (r) **Business Support Service:**

4 ...

5 (s) **Financial Institution:**

6 ...

7 (t) **Media Production:**

8 ...

9 (u) **Non-Vehicular Repair and Rental Service:**

10 ...

11 (v) **Neighborhood Business Center:**

12 ...

13 (w) **Personal Service Use:**

14 ...

VEHICLE-RELATED USES

15 (x) **Drive-Thru Use:**

16 ...

17 (y) **Fuel Service Station:**

18 (1) The following standards apply to any fuel service station that may be approved as a conditional use or pursuant to a use review:

19 (A) General Standards: Any fuel service station that may be approved as a conditional use or pursuant to a use review shall meet the following standards:

20 ...

21 (v) In addition to the stacking requirements of Subparagraph (1)(A)(ii) of this subsection, adequate space is provided for the storage of two vehicles per service bay off-street.

22 ...

23 (z) **Principal Parking Facility:**

24 (1) In the DT-1, DT-2, DT-3, and DT-5 Zoning Districts:

25 ...

(v) Floor Area Ratio Requirements: The maximum floor area ratio for non-parking uses shall be 0.7. Uninhabitable space shall not be

included in the floor area ratio calculation for non-parking uses. The floor area ratios set forth in Section 9-7-1, "Schedule of Form and Bulk Standards," B.R.C. 1981, and the floor area ratio requirements applying to the Downtown (DT) districts, as shown in Section 9-8-1, "Schedule of Intensity Standards," B.R.C. 1981, shall not be applied to an automobile parking garage.

- (vi) Modified Through Site Review: The provisions in Subparagraphs(1)(A)(i), (iii), (iv), and (v) of this section may be modified as part of a site review pursuant to Section 9-2-14, "Site Review," B.R.C. 1981, if the approving authority finds that the design of the structure provides other features that mitigate the adverse effects of the building on the street and on pedestrians.

...

(aa) **Sales or Rental of Vehicles:**

...

(bb) **Service of Vehicles:**

...

9-6-7. Specific Use Standards - Agriculture and Natural Resource Uses.

(a) **Community Garden:**

(1) Standards: The following standards apply to all community garden uses:

- (A) Retail Use Prohibited: Sales of goods or products are prohibited on the community garden unless otherwise permitted by Subsection 9-6-5(i), "Temporary Event," B.R.C. 1981, or within any commercial use permitted within a nonresidential zoning district.

...

9-9-16. - Lighting, Outdoor.

(a) Purpose: The purposes of the outdoor lighting standards are to:

- (1) Provide adequate light for safety and security;
- (2) Promote efficient and cost effective lighting and to conserve energy;
- (3) Reduce light pollution, light trespass, glare and offensive light sources;
- (4) Provide an environmentally sensitive nighttime environment that includes the ability to view the stars against a dark sky so that people can see the Milky Way Galaxy from residential and other appropriate viewing areas;
- (5) Prevent inappropriate, poorly designed or installed outdoor lighting; and
- (6) Encourage quality lighting design; light fixture shielding, establish maximum uniformity ratios and establish maximum light levels within and on property lines.

...

1 (j) Variances and Exemptions: The city manager is authorized to grant variances to this
2 section in accordance with the following standards:

3 ...

4 (4) Temporary Lighting Exemption: The city manager may grant an exemption from
5 the requirements of this section for temporary outdoor activities that include,
6 without limitation, fairs, carnivals, special events, special festival events pursuant
7 to Chapter 4-12, "Special Festival Events," B.R.C. 1981,⁷ sporting events,
8 concerts, and promotional activities, if the city manager finds the following:

- 9 (A) The length of time that the temporary lighting is to be used is not longer
10 than thirty days;
- 11 (B) The proposed lighting is designed in such a manner as to minimize light
12 pollution, light trespass, and glare as much as feasible; and
- 13 (C) The proposed lighting will comply with the general purpose of this
14 section.

15 **9-9-21. – Signs.**

16 (a) Application and Legislative Intent:

17 ...

18 (2) Intent: The purpose of this section is to protect the health, safety, and welfare of
19 the residents of the city by regulating the design, construction, and installation of
20 private signs in the city. The city council recognizes that signs are necessary
21 means of visual communication for the public convenience and that businesses
22 and individuals have the right to identify themselves and convey messages by
23 using signs that are accessory and incidental to the use on the premises where the
24 signs are located. In this section the council intends to provide a reasonable
25 balance between the right of a business or an individual to identify itself and to
convey its message and the right of the public to be protected against the visual
discord that results from the unrestricted proliferation of signs, especially off-
premises billboards. The ability to convey messages by signs is important to the
proper and efficient functioning of society. However, the natural desire to speak
more "loudly" through signs which are more numerous, larger, higher, and closer
to the street than the signs used by one's neighbors and competitors requires a set
of rules applicable to all similarly situated. With a level playing field the
community as a whole benefits and no individual is disadvantaged in
communicating. The council also intends by this section to ensure that signs are
compatible with adjacent land uses and with the total visual environment of the
community and that the value of nearby property and the economic health of the
community as a whole are protected from visual blight. Another purpose of this

⁷ This change makes it clear that special festival events, like other events, may necessitate variances to the outdoor lighting standards for any temporary lighting.

section is to protect the public from hazardous conditions by prohibiting signs that: are structurally unsafe, particularly in light of the unique wind hazards in the city, obscure or distract the vision of motorists, or compete or conflict with necessary traffic signs and warning signals. In adopting this section, the council recognizes that the size of signs that provide adequate identification in pedestrian-oriented areas differs from that necessary in vehicular-oriented areas where traffic is heavy, travel speeds are greater, and required setbacks are greater.

...

(E) Council finds that signs erected under a special festival event permit are temporary in nature and will not cause the aesthetic blight of the sort unacceptable to the city. Such signs will contribute to a unique festival experience for residents and visitors in the city for a limited time and within a limited area of the city. City council, therefore, finds separate standards for these temporary signs appropriate that ensure that these signs do not pose any risk to the health, safety and welfare of persons and property in the city.⁸

(b) Prohibitions and Prohibited Signs:

(1) Conformity With Sign Code Required: No person shall display, construct, erect, alter, use, or maintain any sign in the City except in conformance with the provisions of this section. No person shall display, alter, use, maintain, or enlarge any legal, nonconforming sign except in conformity with the provisions of this section. No person shall perform or order the performance of any act contrary to the provisions of this section or fail to perform any act required by the provisions of this section.

(2) Sign Permit Required: Except as provided in subsection (c) and (d)(15) of this section, no person shall display, construct, erect, alter, or relocate any sign without first applying to the city manager and obtaining a permit under this section.

(3) Specific Signs Prohibited:⁹ No person shall erect, install, post, display, or maintain any of the following signs, except as may be allowed pursuant to subsection (d)(15):

...

(d) Size Limitations and Other Rules for Certain Signs:

⁸ This section adds to the legislative intent that the city recognizes the unique circumstance of special festival events and the involved signage and that standards for permanent signs need not be as pertinent.

⁹Searchlights and beacons are also prohibited by section 9-9-16, "Lighting, Outdoor," B.R.C. 1981.

...

(15) Special Festival Event¹⁰: In addition to other such signs that may be allowed, the city manager may approve signs located within a special festival event boundary established in a permit approved pursuant to Chapter 4-12, "Special Festival Events," B.R.C. 1981, consistent with the following:

(A) Comprehensive sign plan: The signs must be approved as part of a special festival event comprehensive sign plan submitted pursuant to Section 4-12, "Special Festival Events," B.R.C. 1981. The comprehensive sign plan shall:

- (i) Be submitted to the city by the special festival event permit applicant or a vendor or sponsor identified in the special festival event permit, no less than 90 days prior to the special festival event. Modifications to the comprehensive sign plan may be submitted no less than 30 days prior to the special festival event;
- (ii) Identify the type, size, and specific mapped location of all signs including color renderings, pictures, and diagrams of all temporary signs;
- (iii) Specify how the different types of signs will be affixed to or projected upon buildings or structures, as applicable;
- (v) Specify the first and last day of the special festival event for which the sign plan is approved, and
- (vi) Any additional information necessary to demonstrate compliance with this section.

(B) Exemptions: Signs meeting the standards of paragraph (d)(15) of this section are exempt from the following standards: Subsections (d), "Size Limitations and Other Rules for Certain Signs," except paragraph (d)(15), (e), "Limitations on Area, Number, and Height of Signs by Use Module," (h), "Expiration of Permit," and (k), "Signs in Approved Site Review Development."¹¹

(C) Exceptions to Subsection (b), "Prohibitions and Prohibited Signs:" The following signs, designated as prohibited pursuant in subsection (b), are permitted if signs meet the standards of paragraph (d)(15) of this section: Subparagraphs (b)(3)(C), "Height," (b)(3)(D) "High Window," (b)(3)(F), "Non-Appurtenant or Off-Premises," (b)(3)(J), "Projected Image,"

¹⁰ Adds new special festival event signage standards, which would be reviewed in a comprehensive sign plan submitted as part of any special festival event permit.

¹¹ As the signs will only be up for limited duration, they would not have to meet the other standards that are more pertinent to permanent signs.

(b)(3)(M), “String of Lights,” (b)(3)(P), “Vehicular,” (b)(3)(Q), “Wind,” and (b)(3)(R), “Bicycles.”¹²

(D) Standards: The signs shall:

(i) Not extend beyond the width and height of the building frontage to which they are affixed.

(ii) Meet the following area, setback, and height requirements:

a. Wall Signs, Awning Signs, or Banners: The total cumulative area of all wall signs, awning signs, or banners on a face of a building may not exceed sixty percent of the area of that portion of the building face between ground level and the roof line;

b. Free-Standing Signs: Free-standing signs shall not be located within eighteen inches of a public sidewalk or obstruct the view of motor vehicle operators entering or leaving any parking area, service drive, private driveway, street, alley, or other thoroughfare; and

c. Projecting Signs: Projecting signs must have a minimum clearance above the sidewalk of eight feet and may not extend twelve feet or more above the sidewalk nor above the roof line.¹³

(iii) When attached to a building that is on a designated landmark site or in a designated historic district or when attached to a designated feature, all established pursuant to Chapter 9-11, “Historic District,” B.R.C. 1981, be easily removable and attached using only non-structural elements, such as reversible adhesive product ties or bands, and not require drilling of masonry or stone units, or clamping. Signs approved pursuant to this paragraph (d)(15) do not require a landmark alteration certificate.

(iv) Comply with Chapter 9-9-16, “Outdoor Lighting,” B.R.C. 1981.

(v) Be designed, constructed, installed, and maintained consistently with the following:

a. The signs do not impede adequate ingress and egress nor traffic flow.

¹² The sections also excepts special festival event signs from certain signs that are ordinarily prohibited for largely aesthetic (and some safety) reasons. Some signs may be allowed if they otherwise meet the standards in the new code section.

¹³ This section sets up basic parameters for signs during a special festival event.

- b. The signs do not create a traffic hazard or distraction to operators of vehicles or pedestrians in the public right-of-way.
- c. The signs do not create a fire hazard.
- d. The signs do not damage buildings and trees.

(vi) Not be erected more than seven days prior to the associated special festival event and be removed no more than three days following the last day of the special festival event for which the sign plan was approved. The signs shall not be erected for a period exceeding twenty days.

9-10-2. - Continuation or Restoration of Nonconforming Uses and Nonstandard Buildings, Structures, and Lots.

...

(d) Drive-Thru Facilities: A drive-thru facility that was established prior to July 31, 1986, on a property not abutting Canyon Boulevard in the DT zoning districts, and has not expired pursuant to subsection (a) of this section, shall be considered a nonconforming use, and may:

- (1) Be renovated or remodeled, by improvements the cumulative total of which increases the structure's fair market value by no more than twenty-five percent of the value of the structure, without meeting the criteria for drive-thru uses in Subsection 9-6-5(x), B.R.C. 1981;
- (2) Be renovated or remodeled by improvements the cumulative total of which increases the facility's structure's fair market value by more than twenty-five percent of the value of the structure; or be relocated on site if the development meets the criteria for drive-thru uses in Subsection 9-6-5(x), B.R.C. 1981; or

...

9-16-1. - Definitions.

...

Neighborhood business center means nonresidential uses in a residential district that are constructed and operated in accordance with the standards of Subsection 9-6-5(v), B.R.C. 1981.

...

1 *Special festival event* means a use that is part of an event permitted pursuant to Chapter 4-
2 12, “Special Festival Events,” B.R.C. 1981, and may include festival activities by the festival
operator and its sponsors and vendors.¹⁴



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¹⁴ Adds new land use definition for special festival event and links to Title 4, Licenses and Permits.



**CITY OF BOULDER
PLANNING BOARD**

MEETING DATE: May 5, 2026

AGENDA TITLE: Concept Plan Review and Comment on a on a proposal to redevelop the existing Unity Church property at 2855 Folsom with 21 detached dwelling units. Reviewed under case no. LUR2026-00015.

Applicant: Coburn Architecture
Owner: Unity of Boulder

REQUESTING DEPARTMENT / PRESENTERS

Brad Mueller, Director, Planning & Development Services
Charles Ferro, Senior Planning Manager
Shannon Moeller, Planning Manager

OBJECTIVE

1. Planning Board hears staff and applicant presentations
2. Planning Board holds Public Hearing
3. Planning Board asks questions of applicant, the public, and staff
4. Planning Board discussion and comments on Concept Plan

SUMMARY

Project Name: 2855 FOLSOM
Location: 2855 Folsom Street
Size of Property: Approx. 8.8 acres
Zoning: Residential - Medium 1 (RM-1), Residential - Low 1 (RL-1)
Comprehensive Plan: Medium Density Residential (MR), Low Density Residential (LR)

KEY ISSUES FOR CONCEPT PLAN DISCUSSION

Staff has identified the following key issues to help guide the board's discussion:

1. Is the proposed concept plan generally consistent with the Boulder Valley Comprehensive Plan (BVCP) land use designation and the goals, objectives, and recommendations of the BVCP?
2. Does the Board have general overall feedback on the conceptual site plan and building design's consistency with the Site Review criteria in Section 9-2-14, B.R.C. 1981?
3. Other key issues as identified by the Planning Board.

EXECUTIVE SUMMARY

The purpose of this item is for Planning Board to review and comment on the Concept Plan for the above-referenced project. Per [Section 9-2-14, B.R.C. 1981](#), the proposal is eligible for a Concept Plan Review because more than five dwelling units are permitted on the property in the RM-1 zoning district (Table 2-2 of Section 9-2-14, B.R.C. 1981).

The proposal would involve redevelopment of the portion of the property currently occupied by the church building and parking lot, which would be demolished and replaced by the proposed 21 detached dwelling units and associated site improvements.

Staff analysis found the proposal preliminarily consistent with the BVCP land use and several city goals and policies related to a compact development pattern, sensitive infill, and preservation of open lands, while less consistent with other policies related to site design and housing types. Staff has also provided a preliminary analysis of the Site Review criteria. Key feedback for the applicant will include the proposal's consistency with the BVCP policies and site review criteria. Refer to the Concept Plan Review Criteria and the Key Issues.

PUBLIC FEEDBACK

Consistent with [Section 9-4-3, Public Notice Requirements, B.R.C. 1981](#), staff provided notification to all property owners within 600 feet of the subject location of the application, and signs have been posted by the applicant indicating the review requested. Staff received comments included in [Attachment C](#), which included concerns regarding wildlife and natural areas and impacts of overbuilding.

BACKGROUND

As shown below in **Figure 1**, the approximately 8.8-acre property at 2855 Folsom is located south of Edgewood Drive and west of Folsom Street.

The property includes the existing approximately 27,755 square foot Unity Church building built in 1992 and an approximately 190 space parking lot. Goose Creek and the multi-use path run through the property and along the southern edge.

The property is part of the Trout Farm PUD (#P-88-29, #P-91-10) that encompasses the subject property and the 92-unit condo property to the south at 2727 Folsom.

The property is split-zoned with the western portion of the property zoned Residential - Low 1 (RL-1) and the eastern portion zoned Residential - Medium 1 (RM-1). RL1 is described as "Primarily detached dwelling units with some duplexes and attached dwelling units at low to very low residential densities" per Subsection 9-5-2(c)(1)(A), B.R.C. 1981. RM-1 is described as "Medium density residential areas which have been or are to be primarily used for attached residential development, where each unit generally has direct access to ground level, and where complementary uses may be permitted under certain conditions" per Subsection 9-5-2(c)(1)(C), B.R.C. 1981.

The property is not located within any adopted area or subcommunity plans.



Figure 1: Vicinity Map

As shown below in **Figure 2**, portions of the property are located in the High Hazard Zone, Conveyance Zone, 100-year floodplain, and High Functioning Wetlands and associated wetland buffers.

The property is an irregular shape and contains areas of steep slopes, in particular at the west side of site, which is not proposed for development. The overall site generally slopes toward Goose Creek. In the area proposed for redevelopment (the existing church and parking lot, which is located north and east of the existing multi-use path) the site generally contains more moderate slopes, which slope downward to the south and east, with steeper slopes closer to the creek.

The property contains many existing mature trees in particular along Goose Creek which limit mountain views to the south and southwest. Sensitive areas exist within the site including the steep slope area on the western portion of the site which is covered by an open space scenic easement, as well as the floodplain and wetlands areas along Goose Creek which are subject to floodplain and wetlands regulations. The city has received many public comments encouraging protection of sensitive areas due to the abundance of wildlife in the area (refer to **Attachment C** for public comments).

The property is subject to multiple existing easements that were granted on the recorded Trout Farm subdivision plat including an Open Space Scenic Easement, Bicycle/Pedestrian Path Easement, Sidewalk & Utility Easement, PSCO Easement, Emergency Access Easement, Flood & Drainage Easement, and Utility Easements. These easements are shown in orange dashed lines on the applicant's overall site plan shown in **Figure 3**. Considering the sensitive areas of the site subject regulatory floodplains and wetlands areas and existing easements, additional development of the property is limited and the proposal is focused on redevelopment of the existing developed area where the church and parking lot currently exist.

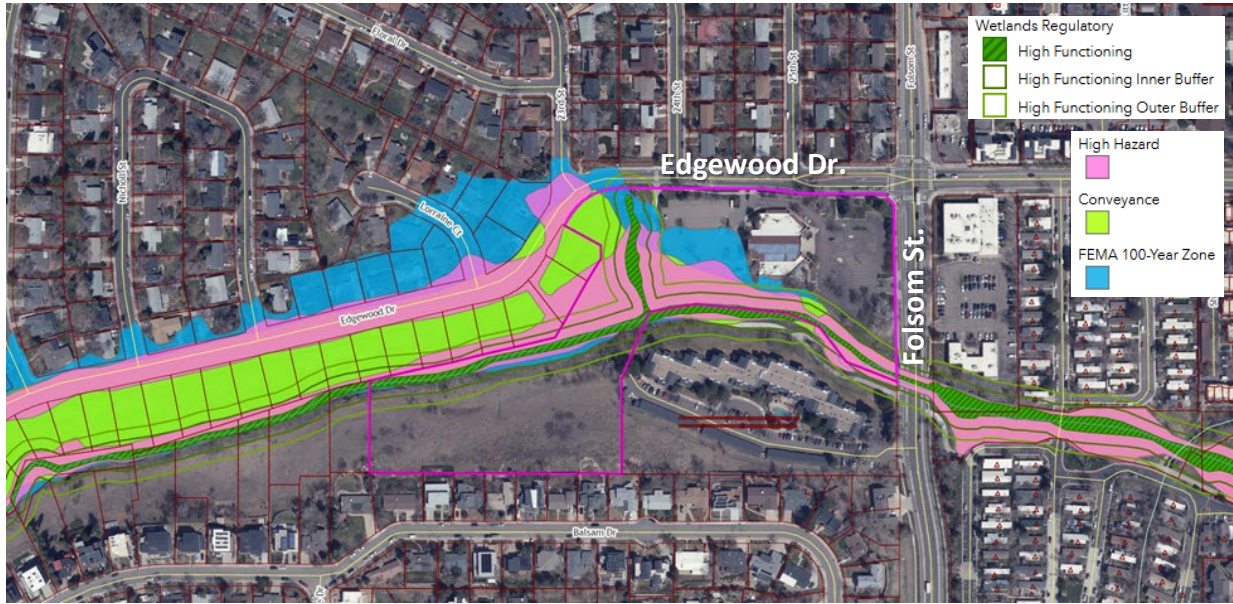


Figure 2: Regulatory Floodplain

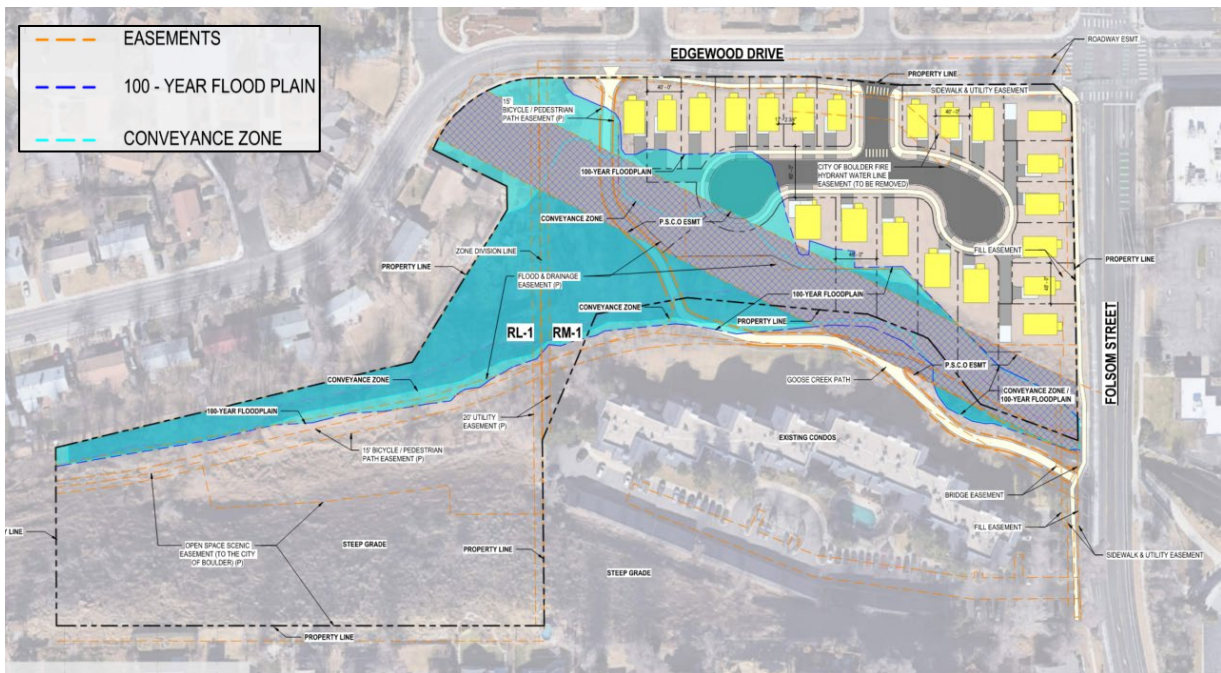


Figure 3: Site Plan and Existing Easements

Surroundings. The property is located at the intersection of Edgewood Drive and Folsom Street, where several different uses exist.

To the west of the property and north across Edgewood Drive are detached dwelling units in the RL-1 zoning district, largely one-story brick homes built in the 1950s.

To the northeast and east of the property across Folsom are commercially zoned (Business – Community 1) properties including the Goose Creek medical office building at 2880 Folsom, the 7-Eleven convenience store at 2605 Valmont, and a mix of personal service uses and retail at Item 5B - 2855 Folsom Concept Plan

3000 Folsom. Further east is the Mapleton Mobile Home Park at 2635 Mapleton Ave. and the Red Oak Park / Canopy at Red Oak Park affordable housing at 2625 Valmont and 3025 Littleleaf Ln.

To the south across Goose Creek and the multi-use path is the 92-unit Trout Farm Condominiums.

PROCESS

Concept Plan is the initial step in the Site Review process. Per [Section 9-2-14, B.R.C. 1981](#), the project is eligible for a Concept Plan Review because more than five dwelling units are permitted on the property in the RM-1 zoning district (Table 2-2 of Section 9-2-14, B.R.C. 1981). The purpose of Concept Plan is to review a general development plan for the site, evaluate general architectural characteristics, land uses, and transportation considerations.

PROJECT DESCRIPTION

The applicant is proposing redevelopment of the portion of the property where the Unity Church building and parking lot currently exist. The project would involve removing the church building and parking lot and subdividing that portion of the property into residential lots for 21 detached homes and associated site improvements such as a street, sidewalks, and landscaping. The proposal does not involve development of natural areas on the site such as the steep slope area on the west side or the creek corridor. **Figure 4** shows the proposed site plan.



Figure 4: Conceptual Site Plan

As shown in **Figure 5**, the property is split-zoned with the western portion of the property zoned Residential - Low 1 (RL-1) and the eastern portion zoned Residential - Medium 1 (RM-1). The proposed homes are located in the portion zoned RM-1 and subject to those zoning standards.

Land Use - The proposed use for the site includes detached dwelling units. Residential uses including detached dwelling units are permitted by-right in the RM-1 zoning district pursuant to the “Use Standards” found in Section 9-6-1, B.R.C. 1981.

Intensity – Intensity is permitted pursuant to the “Intensity Standards” found in Section 9-8-1, B.R.C. 1981. In the RM-1 zoning district, new dwelling units are permitted at a rate of one dwelling unit per 2,000 square-foot minimum open space per dwelling unit. There is no maximum floor area limitation in this zoning district.

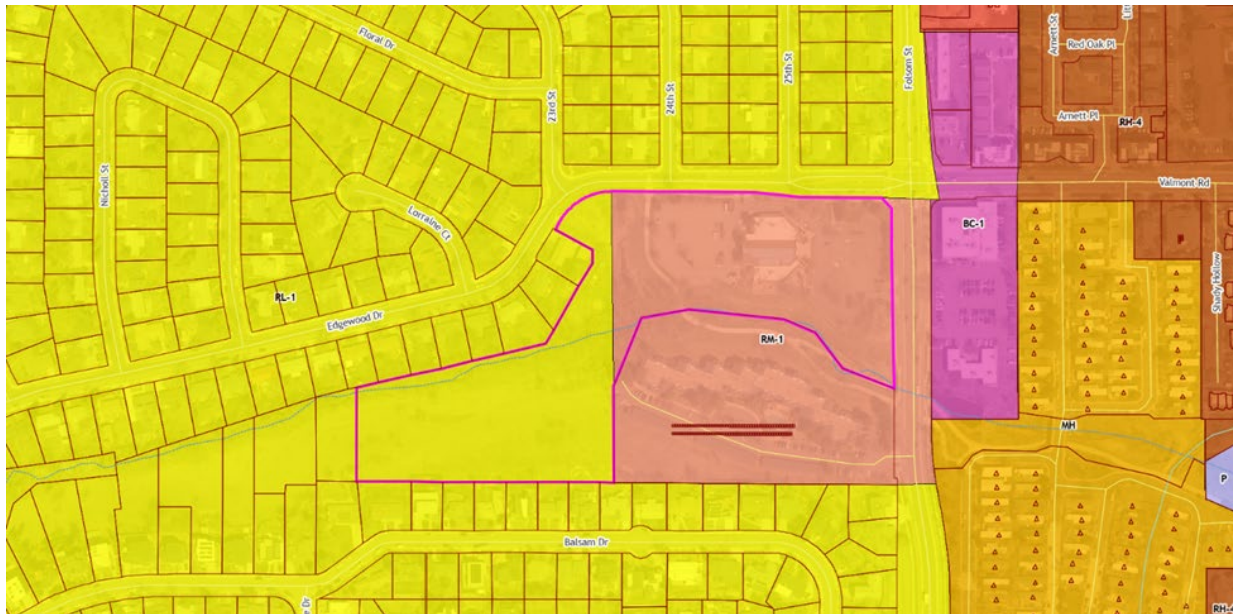


Figure 5: Zoning Districts

Open Space - Open space is subject to the requirements of Section 9-9-11, “Useable Open Space,” B.R.C. 1981, and the open space criteria within the Site Review criteria (Section 9-2-14(h)(2), B.R.C. 1981).

For the 21 proposed dwelling units, a minimum of 42,000 square feet of open space must be provided (2,000 square feet per unit). The proposal indicates that 43,495 square feet of open space is provided for the new homes, meeting this requirement. The property is part of the Trout Farm PUD which has been meeting its minimum open space requirements averaged across the RM-1 zoned properties of the PUD. The PUD is proposed to continue to meet the minimum open space requirements across the PUD, including the existing condo development to the south and the proposed redevelopment.

The applicant’s conceptual site plan, as seen in **Figure 4**, provides open space areas throughout the site, including existing natural areas, within rights-of-way, and on individual lots and front porches. The land use code provides greater flexibility to count areas of lots for detached dwelling units toward open space requirements, such as individual driveways.

Architecture and Massing - The proposal consists of 21 detached dwelling units on individual lots. Proposed home sizes range from 2,400 square feet to 3,600 square feet per home. The units along the north and east edges of the site are oriented outward with front doors and porches facing Edgewood and Folsom. The units internal to the site are oriented northward with garages, front doors, and porches oriented to a proposed new public street. Architecture includes a mix of traditional and contemporary design elements. See **Figure 6** for some of the applicant’s conceptual images and refer to **Attachment A** for the complete set of images.



Figure 6: Conceptual Renderings

Parking / Connectivity - Parking is proposed in individual garages, on driveways, and on-street along the new proposed internal street. One vehicular connection for the new street is proposed along Edgewood Drive. The new internal street would include a detached sidewalk and tree lawn.

Bike parking standards are found in Section 9-9-6(e), B.R.C. 1981. Detached dwelling units and units with a private garage are not required to provide short- or long-term bike parking.

CONCEPT PLAN REVIEW CRITERIA, SECTION 9-2-13(E), B.R.C. 1981

Guidelines for Review and Comment: The following guidelines will be used to guide the Planning Board's discussion regarding the site. It is anticipated that issues other than those listed in this section will be identified as part of the Concept Plan review and comment process. The Planning Board may consider the following guidelines when providing comments on a concept plan:

(1) Characteristics of the site and surrounding areas, including, without limitation, its location, surrounding neighborhoods, development and architecture, any known natural depressions, steep slopes and prominent views to and from the site;

See description under “Background” above for characteristics of the site and surrounding area.

(2) Community policy considerations including, without limitation, the review process and likely conformity of the proposed development with the Boulder Valley Comprehensive Plan (BVCP) and other ordinances, goals, policies, and plans, including, without limitation, sub-community and sub-area plans;

As shown in **Figure 7** below, the BVCP Land Use Designation on the properties is Medium Density Residential (MR) which is described as:

Medium Density Residential (MR)	<p>Characteristics and Locations: MR is characterized by a variety of housing types. Medium-density areas are generally situated near neighborhood and community shopping areas or along some of the major arterials of the city.</p> <p>Uses: Consists of a variety of housing types ranging from single-family detached to attached residential units such as townhomes, multiplexes and some small lot detached units (e.g., patio homes), not necessarily all on one site.</p> <p>BVCP Density/Intensity: 6 to 14 dwelling units per acre</p>
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Figure 7: BVCP Land Use Designations

The immediately surrounding context includes other Medium Density Residential, Low Density Residential, General Business, and Manufactured Housing land use designations.

During Site Review, the project will be evaluated for consistency “with the BVCP land use map and, on balance, with the goals and policies of the BVCP particularly those that address the built environment. In applying this, the approving authority shall consistently interpret and apply this criterion and consider whether a particular goal or policy is intended to be applied to individual development projects or is to guide city policy decisions, such as regulatory actions. The BVCP does not prioritize goals and policies, and no project must satisfy one particular goal or policy or all of them” (Section 9-2-14(h)(1)(A), B.R.C. 1981).

A discussion of the project’s preliminary compliance can be found in the Key Issue Discussion that follows this section.

(3) Applicable criteria, review procedures, and submission requirements for a site review;

Per [Section 9-2-14, B.R.C. 1981](#), the proposal is eligible for a Concept Plan Review because more than five dwelling units are permitted on the property in the RM-1 zoning district (Table 2-2 of Section 9-2-14, B.R.C. 1981).

The development proposal will require a Site Review Amendment as it is part of an existing PUD. Submittal requirements are based on those specified in the land use code, including but not limited to, detailed site plans, landscape plans, floor plans and elevations, preliminary stormwater and utility plans.

At the time of Site Review, the proposed project will be evaluated for conformance with the following:

- The land use designation in the BVCP;
- All relevant policies of the BVCP, particularly those addressing the built environment;
- The Site Review criteria of the Land Use Code, Section 9-2-14(h), B.R.C. 1981;
- Zoning regulations, unless modified through Site Review;
- The criteria of Section 9-9-11, B.R.C. 1981, of the Land Use Code for usable open space. A detailed open space diagram will be necessary at Site Review.
- The City of Boulder Design and Construction Standards (DCS).

Submission Requirements. At the time of site review, the following items will be required:

- a. Preliminary Storm Water Report and Plan to address storm water runoff, water quality treatment issues, and detention ponding.
- b. Utility Report to establish the impacts of this project on the City of Boulder utility systems and outline water main and wastewater main construction necessary to serve the development and perpetuate the overall system.
- c. A water system distribution analysis in order to assess the impacts and service demands of the proposed development and to demonstrate conformance with the Treated Water Master Plan, October 2011.
- d. A collection system analysis to determine any system impacts based on the proposed demands of the development and to demonstrate conformance with the city's Wastewater Collection System Master Plan, July 2016.
- e. A landscape plan that is consistent with or exceeds city code requirements.
- f. A detailed tree inventory including the species, size and condition of all existing trees on the site.

(4) Permits that may need to be obtained and processes that may need to be completed prior to, concurrent with, or subsequent to site review approval;

The following review processes would be required in addition to a Site Review for the proposal:

- Preliminary and Final Plat: A preliminary and final plat would be necessary for a proposal to subdivide the property into individual residential lots and outlots, and

dedicate any necessary easements and/or right of way.

- Technical Documents: Following the Site Review, Technical Documents including any required final plans for site, architecture, landscaping, lighting, and civil plans are required.

(5) Opportunities and constraints in relation to the transportation system, including, without limitation, access, linkage, signalization, signage, and circulation, existing transportation system capacity problems serving the requirements of the transportation master plan, possible trail links, and the possible need for a traffic or transportation study;

As shown in **Figure 8**, the site is located near several multi-modal transportation connections including the Goose Creek multi-use path, the protected bike lanes in Folsom and on-street bike lane in Edgewood, and nearby designated bike routes.



Figure 8: Transportation Connections

As shown in **Figure 9**, the site is located over a quarter-mile from the nearest bus stops along 28th Street and 19th Street. Bus routes along those streets include the 204, 205, and BOLT routes.

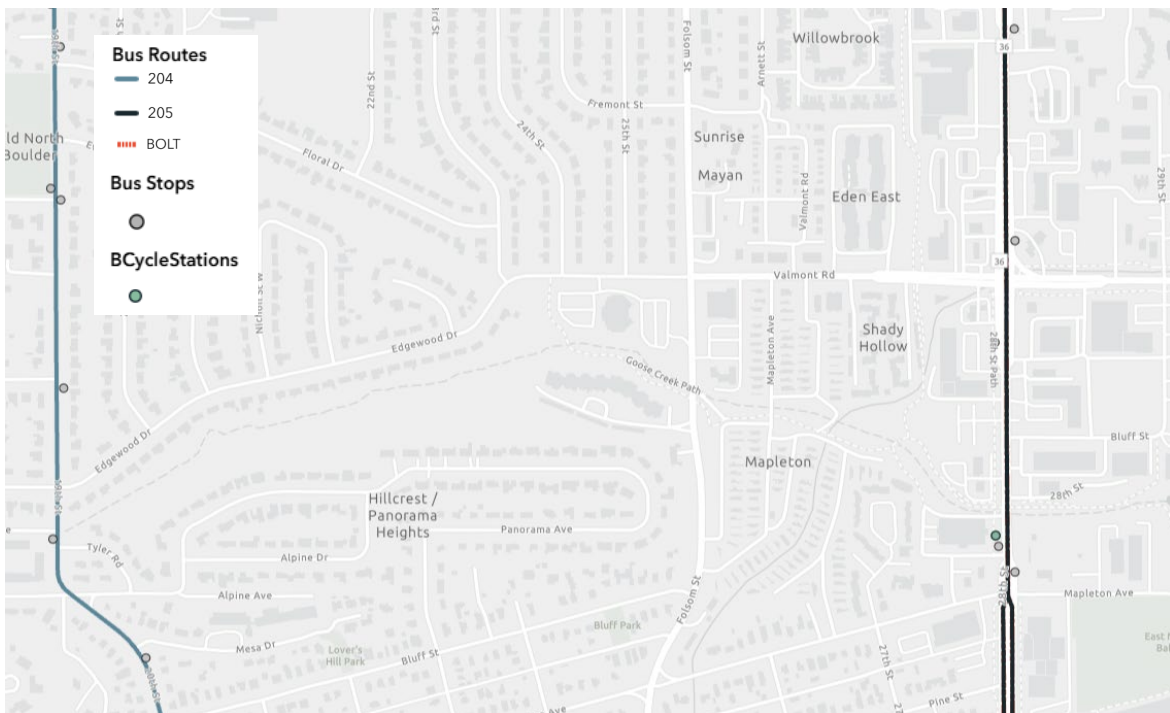


Figure 9: Transit Routes

With the redevelopment of the subject property, the city will require build-out and dedication of any necessary rights-of-way to meet the city’s Design and Construction Standards (DCS). Preliminary staff comments on the proposed design of the transportation improvements include:

- **Right-of-way improvements:** Improvements to the existing street sections along Edgewood and Folsom are required to provide a minimum eight-foot-wide planting strip and detached sidewalks, construction of the southwest corner of the intersection as a protected intersection, and buffered bike lanes along Edgewood Drive.
- **Streets and Access:** The proposed new access point to Edgewood Drive does not meet minimum spacing requirements along a collector street. An alternative connection point and design must be reviewed by a transportation engineer to assess potential safety or operational issues. Creation of a proposed new public street is not supported for this parcel; alternative designs should be evaluated. Individual driveway access points, shared driveways, on-street parking, and sight triangles will also require adjustments; refer to the staff DRC comments (**Attachment B**) for additional detail.
- **Multi-modal Connections:** Connections to the protected bike lanes on Folsom Street and the Goose Creek multi-use path should be provided where feasible to prioritize walking and biking and access to these key transportation routes.

Refer to the DRC comments (**Attachment B**) for complete staff transportation comments.

(6) Environmental opportunities and constraints including, without limitation, the identification of wetlands, important view corridors, floodplains and other natural hazards, wildlife corridors, endangered and protected species and habitats, the need for further biological inventories of the site and at what point in the process the information will be necessary;

As shown earlier in **Figure 2**, portions of the property are located in the High Hazard Zone, Conveyance Zone, 100-year floodplain, and High Functioning Wetlands and associated wetland buffers.

The property contains areas of steep slopes, in particular at the west side of site, which is not proposed for development. The overall site generally slopes toward Goose Creek. In the area proposed for redevelopment (the existing church and parking lot, which is located north and east of the existing multi-use path) the site generally contains more moderate slopes, which slope downward to the south and east, with steeper slopes closer to the creek.

The property contains many existing mature trees in particular along Goose Creek which limit mountain views to the south and southwest. Sensitive areas exist within the site including the steep slope area on the western portion of the site which is covered by an open space scenic easement, as well as the floodplain and wetlands areas along Goose Creek which are subject to floodplain and wetlands regulations. The city has received many public comments encouraging protection of sensitive areas due to the abundance of wildlife in the area (refer to **Attachment C** for public comments).

At the time of site review, a tree inventory is required to identify any healthy long-lived trees that may be preserved; the proposal notes that an area of mature trees at the southern edge of the site is planned for preservation.

Any activities in the regulated wetland and associated buffers may require a separate wetland permit application per Section 9-3-9(b) B.R.C. 1981 and any activities in a floodplain would be reviewed per the requirements in Section 9-3-2, Floodplains, B.R.C. 1981.

(7) Appropriate ranges of land uses;

As shown earlier in **Figure 7**, the BVCP designates the property as “Medium Density Residential,” which is characterized by a variety of housing types generally situated near neighborhood and community shopping areas at a density of six to 14 units per acre. Within this Medium Density Residential area, the 21 additional homes along with the 92 condos to the south would bring the density to about 12 units per acre, consistent with the BVCP land use designation.

(8) The appropriateness of or necessity for housing.

See above.

KEY ISSUE DISCUSSION

Key Issue #1: Is the proposed concept plan generally consistent with the Boulder Valley Comprehensive Plan (BVCP) land use designation and the goals, objectives, and recommendations of the BVCP?

As part of the future Site Review, the applicant must demonstrate that the project is consistent with the land use map and, on balance, consistent with BVCP policies as described in Site Review criterion 9-2-14(h)(1)(A), B.R.C. 1981, “BVCP Land Use Map and Policies,” which states:

The proposed project is consistent with the BVCP land use map and, on balance, with the goals and policies of the BVCP particularly those that address the built environment. In applying this, the approving authority shall consistently interpret and apply this criterion and consider whether a particular goal or policy is intended to be applied to individual development projects or is to guide city policy decisions, such as regulatory actions. The BVCP does not prioritize goals and policies, and no project must satisfy one particular goal or policy or all of them.

As mentioned above, the Boulder Valley Comprehensive Plan designates the site as “Medium Density Residential.” Staff finds that the proposed development is generally consistent with the Boulder Valley Comprehensive Plan land use designation and role of this area in providing medium density housing near neighborhood and community shopping areas.

The proposal includes features that support several BVCP policies, including:

- *2.03 Compact Development Pattern* – The proposal would redevelop the currently developed portion of the property near existing urban services to provide additional housing.
- *2.22 Urban Open Lands* – The proposal would preserve existing open lands along the Goose Creek corridor and steep hillside area by placing redevelopment on the location of the existing church and parking lot.
- *2.33 Sensitive Infill & Redevelopment* – The proposal would limit and avoid impacts to adjacent residential neighborhoods and natural areas.
- *2.41 Enhanced Design for All Projects*
 - *c. Relationship to the public realm and h. Permeability* – The proposed homes are largely oriented with front entries accessible to public streets and facing the public realm along Edgewood Drive and Folsom Street.
 - *j. Buildings* – The proposed building designs are human scale, provide inviting front porches, and include four-sided cohesive designs.

Staff is recommending that the proposal better address the following BVCP policies at the time of site review:

- *2.11 Accessory Units and 7.07 Mixture of Housing Types* – The proposal provides for 2,400 - 3,600 square foot detached dwelling units. Staff recommends incorporating some attached dwelling units at appropriate locations to better address the surrounding context, particularly along Folsom Street, as well as incorporating Accessory Dwelling Units (ADUs) where detached dwelling units are provided to create additional living options in support of housing policies. Providing smaller sized homes would also support the city’s goals toward providing moderately sized and priced homes.
- *2.15 Compatibility of Adjacent Land Uses* – The proposal is located adjacent to Folsom Street, a minor arterial, and across from a mix of commercial land uses. Providing attached dwelling units such as duplexes or townhomes with detached dwelling units further west could provide a more appropriate transition across the site.
- *2.41 Enhanced Design for All Projects:*
 - *b. The context* – The proposal should better address the surrounding context

including noise and traffic along Folsom Street to ensure the site design and unit typology are appropriate for this context. Both Folsom Street and Edgewood Drive are identified as Major Streets in Appendix A, where subdivision standards call for a design to reduce noise in residential lots to a reasonable level.

- *e. Transportation connections* – Refer to staff Transportation comments earlier in the memo and in **Attachment B** regarding improvements and dedications toward providing a complete network of vehicular, bicycle and pedestrian connections. If practicable considering slopes and impact to natural areas, provide a pedestrian connection from the western edge of the internal sidewalk to connect to the existing multi-use path network, to allow residents to access the path more directly.
- *f. Parking* – Where garage entrances and front entries are on the same side of homes, ensure that garages are setback from the front facade whenever possible.
- *i. On site open spaces* – Residential proposals should generally provide for common areas for residents to gather. Given that much of the common open spaces are existing natural areas, consider limited and low impact improvements such as benches/seating at an area of overlook where the creek corridor can be enjoyed, or incorporating a pedestrian access and seating to landscaping features such as pollinator/raingardens.

Key Issue #2: Does the Board have general overall feedback on the conceptual site plan and building design’s consistency with the Site Review criteria in Section 9-2-14, B.R.C. 1981?

The concept plan submittal included site plans and architectural perspectives (**Attachment A**). Additional details will be provide at the time of Site Review to determine conformance with the Site Review criteria. Staff has listed relevant Site Review criteria below with a brief preliminary consistency analysis, including suggestions for improvements for Planning Board consideration.

9-2-14(h)(2) Site Design Criteria:

(A) Access, Transportation, and Mobility:

(iv) Streets, bikeways, pedestrian ways, trails, open space, buildings, and parking areas are designed and located to optimize safety of all modes and provide connectivity and functional permeability through the site.

If practicable considering slopes and impact to natural areas, provide a pedestrian connection from the western edge of the internal sidewalk to connect to the existing multi use path network, to allow residents to access the path more directly.

(B) Open Space:

(i) Useable open space is arranged to be accessible and designed to encourage use by incorporating quality landscaping, a mixture of sun and shade, hardscape areas and green spaces for gathering.

Residential proposals should generally provide common areas for residents to gather. Given that much of the common open spaces are existing natural areas, consider limited and low impact improvements such as benches/seating at an area of overlook where the creek corridor can be enjoyed, or incorporating a pedestrian access and seating to landscaping features such as pollinator/raingardens.

9-2-14(h)(3) Building Siting and Design Criteria:

(A) Building Siting and Public Realm Interface:

(i) New buildings and, to the extent practicable, additions to existing buildings are positioned towards the street, respecting the existing conditions or the context anticipated by adopted plans or guidelines. In urban contexts, buildings are positioned close to the property line and sidewalk along a street; whereas, in lower intensity contexts, a greater landscaped setback may be provided to match the surrounding context.

(ii) Wherever practical considering the scope of the project, parking areas are located behind buildings or set back further from the streetscape than the building façade.

(vi) The building's siting and relationship to the public realm is consistent with the character established in any adopted plans or guidelines applicable to the site or, if none apply, is compatible with the character of the area or improves upon that character, consistent with the intent of paragraph (3), Building Design Criteria.

The proposal should better address the surrounding context including noise and traffic along Folsom Street to ensure the site design, setbacks, and unit typology are appropriate for this context. Where minimal setbacks along busy streets are proposed, attached dwelling units such as duplexes or townhomes may be more appropriate, with detached dwelling units further west.

Where garage entrances and front entries are on the same side of homes, ensure that garages are setback from the front facade whenever possible.

CONCLUSION

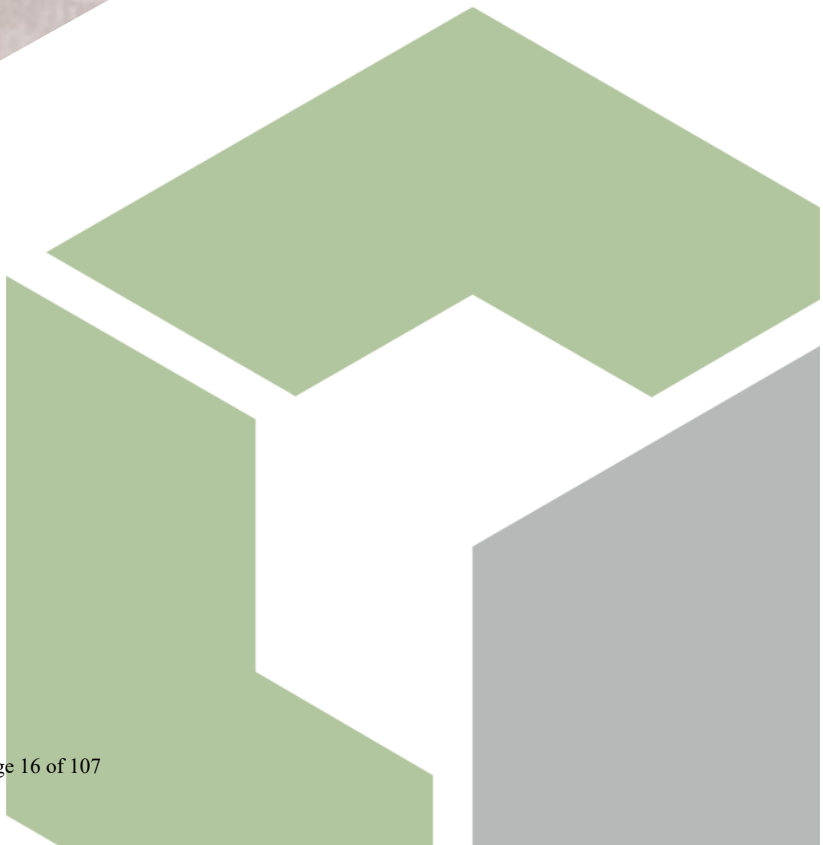
No action is required by Planning Board. Planning Board, Public and staff comments will be documented for use by the applicant. Concept Plan review and comment is intended to give the applicant preliminary feedback on the development concepts and direction for site review applications.

Attachments:

- A: Applicant's Written Statement and Proposed Plans
- B: DRC Review and Referral Comments
- C: Public Comments
- D: Trip Generation Report

Concept Plan Review and Comment

2855 Folsom



**CREATING
GREAT
PLACES**

Concept Plan Review & Comment – Written Statement

2855 Folsom Street

3/4/2026

Introduction

The Unity of Boulder church is considering alternatives for their property at 2855 Folsom Street, including subdivision and redevelopment as a single family neighborhood. The result of the subdivision will be 22 individual lots – 21 small lots with a single family home each and one large lot consisting of the remaining area to the west. The property is part of a PUD (established 1989 and amended 1991) together with the Trout Farm Condominiums parcel adjacent to the South and this proposal will amend the PUD through a Site Review process.

Project Site

The project site is located on the eastern part of the 2855 Folsom parcel, in the southwestern corner of Folsom St and Edgewood Dr in Central Boulder. Adjacent land uses are single family homes to the north and east, condominiums to the south, and a mix of uses including commercial, multifamily, single family, and mobile homes to the east and northeast. Goose Creek and its associated multiuse path is directly adjacent to the South. The site is currently occupied by the church building and surrounding surface parking lots. The size of the property is 382,717 square feet (8.8 acres). The western half is zoned RL-1 while the eastern half, where redevelopment is proposed to occur, is zoned RM-1. The property is also encumbered by the Goose Creek floodway and easements for an overhead Xcel Energy transmission line as well as the Goose Creek multiuse path.



Site Plan

The proposed site plan includes 21 detached single family homes, the majority of which will front on Edgewood Drive to the North and Folsom Street to the East. Vehicular access to the individual lots is via a new T-shaped public street aligned with 25th Street to the North and terminating in a cul-de-sac at each end. The area of development is constrained into a triangular area by a public utility easement as well as the multiuse path and the flood zones associated with Goose Creek.



PUD and Open Space

Open space is the primary density limiter in the RM-1 zone and across the PUD. When the PUD was established, 3,000 square feet of open space was required for each of the 92 Trout Farm Condominium units, or 276,000 square feet total. The PUD lists 277,495 square feet of open space provided, an excess of 1,495 square feet over required:

MRD SITE LAND USE DATA		TOTAL DENSITY - 92 UNITS	3000 S.F. PER UNIT
TOTAL LAND AREA		OPEN SPACE REQUIRED	276,000 S.F.
	9.27 A	TOTAL OPEN SPACE PROVIDED	245,023 S.F.
	403,523 S.F.	SITE AREA	
BUILDING COVERAGE		PRIVATE BALCONIES	5,472 S.F.
APARTMENTS	37,500 S.F.	(72 S.F. / EA. X 76)	
CHURCH	15,750 S.F.	OPEN SPACE CREDIT	
TOTAL	53,250 S.F.	FOR 9 LRE D.U.S.	
		@ 3000 S.F.	27,000 S.F.
PARKING/DRIVE COVERAGE		TOTAL PROVIDED	277,495 S.F.
APARTMENTS	37,250 S.F.		
CHURCH	68,000 S.F.		
TOTAL	105,250 S.F.		
NET SITE OPEN SPACE			245,023 S.F.



The land use code has since been updated to alter the density metrics in the RM-1 zone from 3,000 square feet of open space per unit to 2,000 square feet, allowing for an increase in dwelling units on the parcels.

To avoid impacting the Trout Farm Condominium Owners' development rights, this proposal will maintain the 277,495 square feet total open space originally provided and repurpose the 15,750 square feet of church coverage and 68,000 square feet of church parking/drive coverage in addition to a portion of the PUD's excess open space to building coverage for the new single family homes (21,649 sf), the open space required for those new dwelling units (42,000 sf), as well as the new street and new shared driveways not qualifying as open space (21,407 sf):

MRD SITE LAND USE DATA		TOTAL DENSITY - 92 UNITS	3000 S.F. PER UNIT
		21 UNITS	2000 S.F. PER UNIT
TOTAL LAND AREA		OPEN SPACE REQUIRED	318,000 S.F.
	9.27 A		
	403,523 S.F.	TOTAL OPEN SPACE PROVIDED	
BUILDING COVERAGE		SITE AREA***	285,717 S.F.
APARTMENTS	37,500 S.F.	PRIVATE BALCONIES	
SINGLE-FAMILY	21,649 S.F.	(72 S.F. / EA. X 76)	5,472 S.F.
TOTAL	59,149 S.F.	OPEN SPACE CREDIT	
		FOR 9 LRE D.U.S.	
		@ 3000 S.F.	27,000 S.F.
PARKING/DRIVE COVERAGE		TOTAL PROVIDED	318,189 S.F.
APARTMENTS	37,250 S.F.		
PUBLIC STREET	21,407 S.F.		
TOTAL	58,657 S.F.		
NET SITE OPEN SPACE			285,717 S.F.

The 42,000 square feet of open space for the 21 detached dwelling units will consist of landscaped areas, covered porches per B.R.C. 9-9-11(f)(2), individual driveways per B.R.C. 9-9-11(f)(3), and landscaped areas of the new public street right-of-way (up to 10% of the total required open space of 318,000 sf) per B.R.C. 9-9-11(f)(4).

Community Benefit

This project will satisfy a host of City of Boulder goals. It will provide additional residential units of a type that is in limited supply: single family homes on the smaller end of the scale. The site is well connected to the multiuse path system via the adjacent Goose Creek path and just over ¼ mile from mass transit and employers along the 28th Street corridor. The project repurposes a developed parcel that is well situated to take advantage of existing alternative modes of transportation, thereby providing an opportunity for existing vehicular traffic to become bike and buss traffic.

Concept Plan Written Statement Requirements

(A) *Techniques and strategies for environmental impact avoidance, minimization, or mitigation:*

The development repurposes existing impervious areas (the church building and associated surface parking areas) to create a single family neighborhood with new pervious areas such as front yards and back yards.

(B) *Techniques and strategies for practical and economically feasible transportation demand management techniques, including without limitation site design, land use, covenants, transit passes, parking restrictions, information or education materials, or programs that may reduce single-occupant vehicle trip generation to and from the site:*

The public sidewalks within the development will connect to the Goose Creek multipurpose path, providing quick and easy access to many neighborhood services within 15 minutes or less of biking. Mass transit options are available just over ¼ mile to the east along 28th Street.

(C) Proposed land uses and, if it is a development that includes residential housing type, mix, sizes, and anticipated sale prices, the percentage of affordable units to be included; special design characteristics that may be needed to assure affordability:

The 21 single family homes are currently proposed to range approximately from 2,400 square feet to 3,600 square feet, likely as a mix of two, three, and four bedrooms. This size range is smaller, and therefore more affordable, than the typical new construction home in Boulder.

Boulder Valley Comprehensive Plan

Specific examples of consistency with the purposes and policies of the Boulder Valley Comprehensive Plan:

1.11 Jobs: Housing Balance:

This project creates housing near areas of employment.

1.22 Channeling Development to Areas with Adequate Infrastructure:

This development is located in an area with excellent infrastructure of all types.

2.24 Commitment to a Walkable & Accessible City:

The project will provide easy and safe access to neighborhood centers, community facilities, and transit stops through its connection to the Goose Creek multiuse path and well developed sidewalks along Folsom Street and Valmont Road.

2.38 Importance of Urban Canopy, Street Trees & Streetscapes:

The site has many well-established existing trees along the multiuse path that will remain. The new streetscapes will increase the amount of planting over that existing on the current parking areas.

2.41 Enhanced Design for All Projects:

The project will integrate with the existing single family neighborhoods to the North and West. The houses will be oriented to front on the streets rather than turn their backs to the public realm. Connections will be established to the surrounding street, sidewalk, and multiuse path network. Parking will be in private garages and on private drives, complemented by on-street parking. The houses will exhibit cohesive design and attractive architecture and embrace the streetscape.

4.07 Energy Efficient Land Use:

The proposed development is more compact than traditional single family neighborhoods and utilizes smaller building footprints. This allows the majority of the property to remain undeveloped.

6.03 Low Stress Walk and Bike Network:

The project will integrate into the area's established walk and bike network.

6.05 Reduction of Single Occupancy Auto Trips:

The development is located near mass transit options and well connected to the biking/walking network.

7.17 Market Affordability:

In providing moderately sized homes, the project adds a housing type that is more affordable to families and middle-income households.

CONCEPT PLAN REVIEW

2855 FOLSOM

SCOPE OF WORK

SCOPE OF WORK: APPROXIMATELY 21 RESIDENTIAL SINGLE FAMILY HOMES
 ZONING: RM-1 / RL-1
 SETBACK MINIMUMS: TBD
 BUILDING TYPE: SINGLE
 NUMBER OF BUILDINGS: 21
 PROPOSED BUILDING AREA: TBD

SHEET INDEX

- C.0 COVER SHEET
- C.1 CONTEXT / CONNECTIONS
- C.2 OVERALL SITE PLAN
- C.3 ILLUSTRATIVE SITE PLAN
- C.4 CHARACTER SKETCHES
- C.5 OPEN SPACE & PARKING
- C.6 PRECEDENTS
- C.7 RENDERINGS
- C.8 RENDERINGS
- C.9 RENDERINGS
- C.10 RENDERINGS
- C.11 RENDERINGS

ARCHITECT

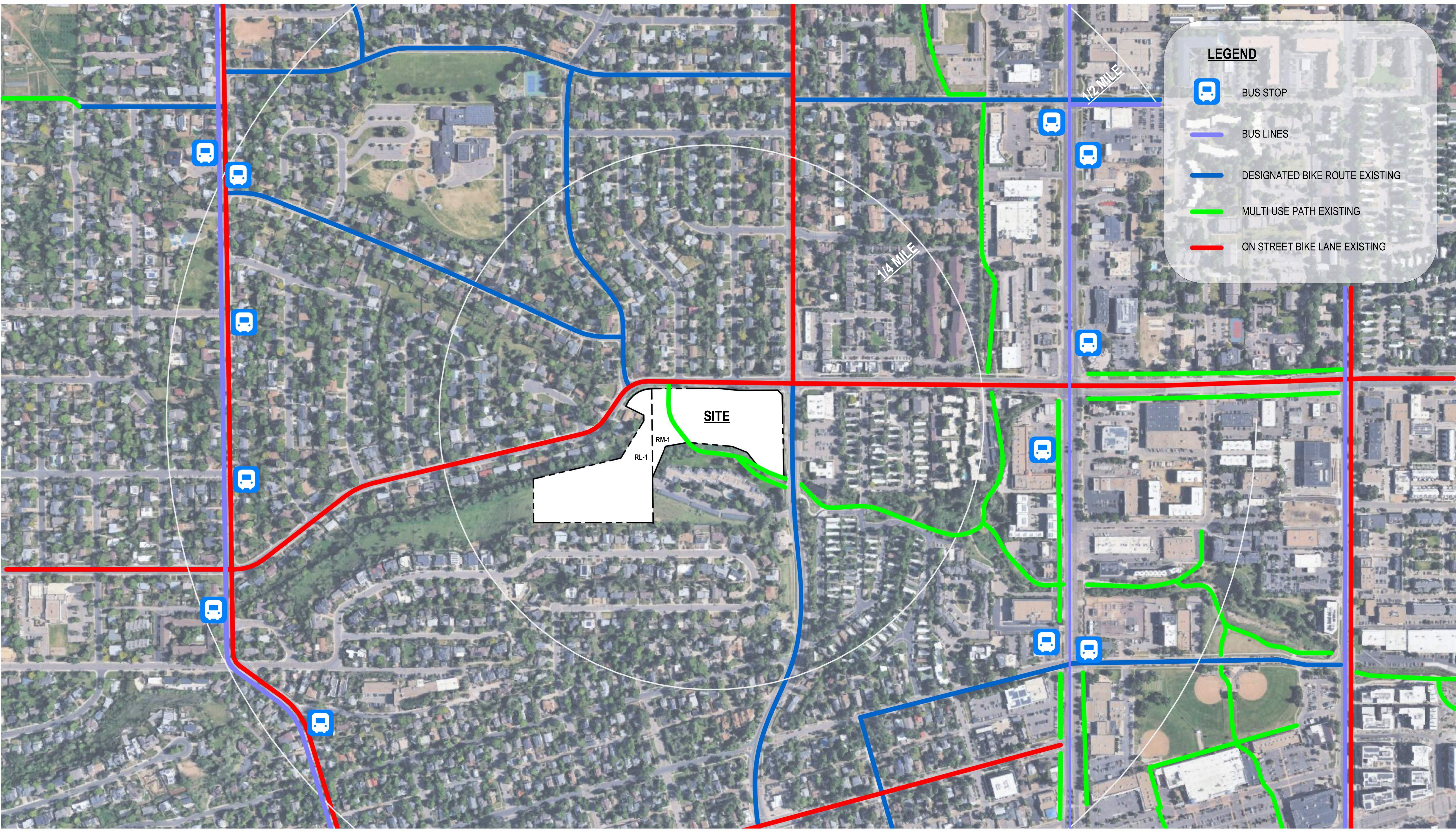
COBURN ARCHITECTURE
 2718 PINE ST #100
 BOULDER, COLORADO 80302
 P: (303) 442-3351

OWNER




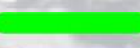

UNITY OF BOULDER
 2855 FOLSOM ST
 BOULDER, COLORADO 80304
 P: (303) 442-1411

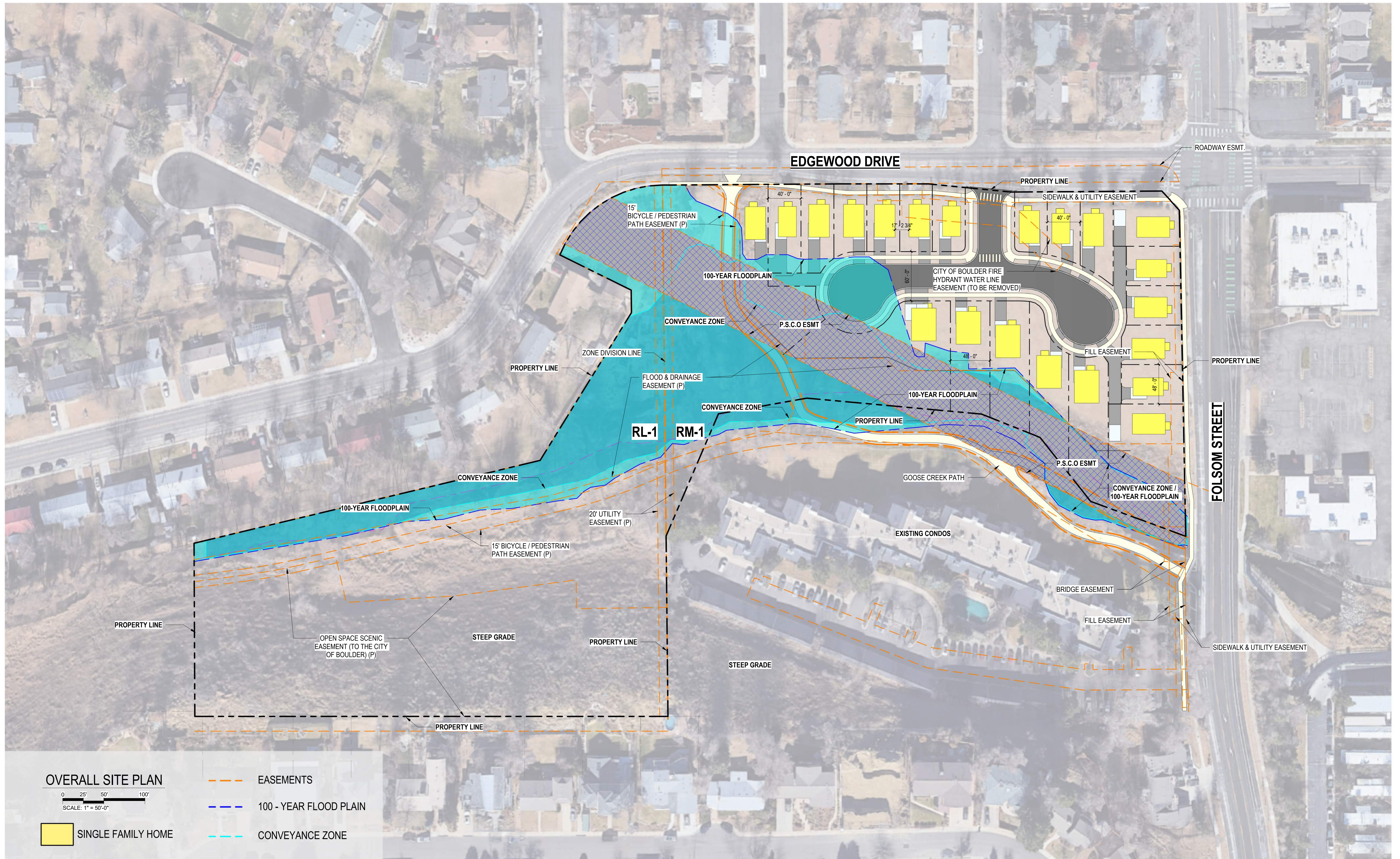


VICINITY MAP
 1" = 200'-0"

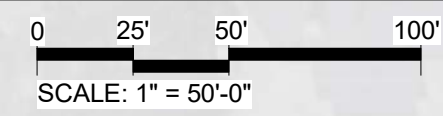


LEGEND

-  BUS STOP
-  BUS LINES
-  DESIGNATED BIKE ROUTE EXISTING
-  MULTI USE PATH EXISTING
-  ON STREET BIKE LANE EXISTING



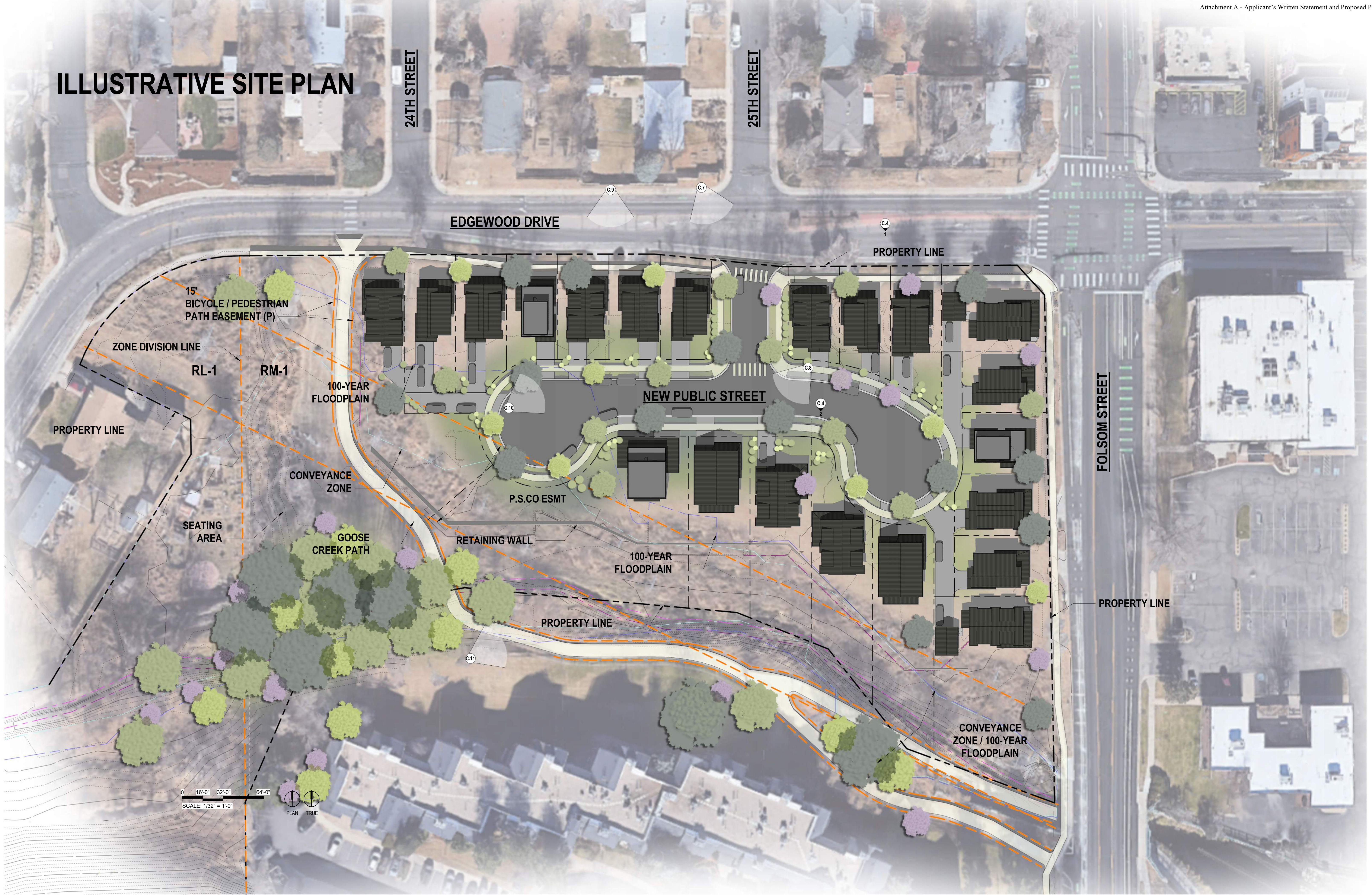
OVERALL SITE PLAN

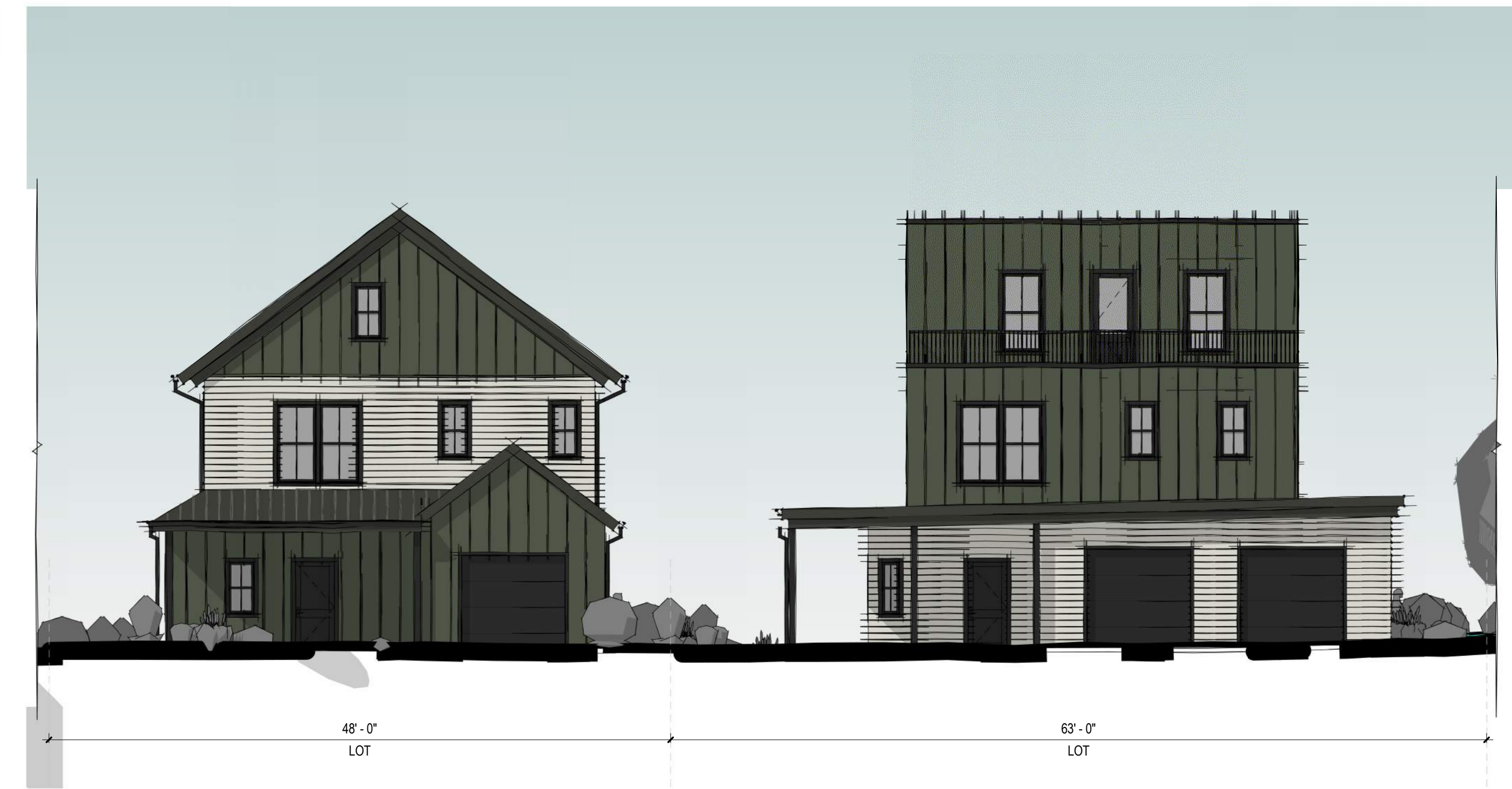
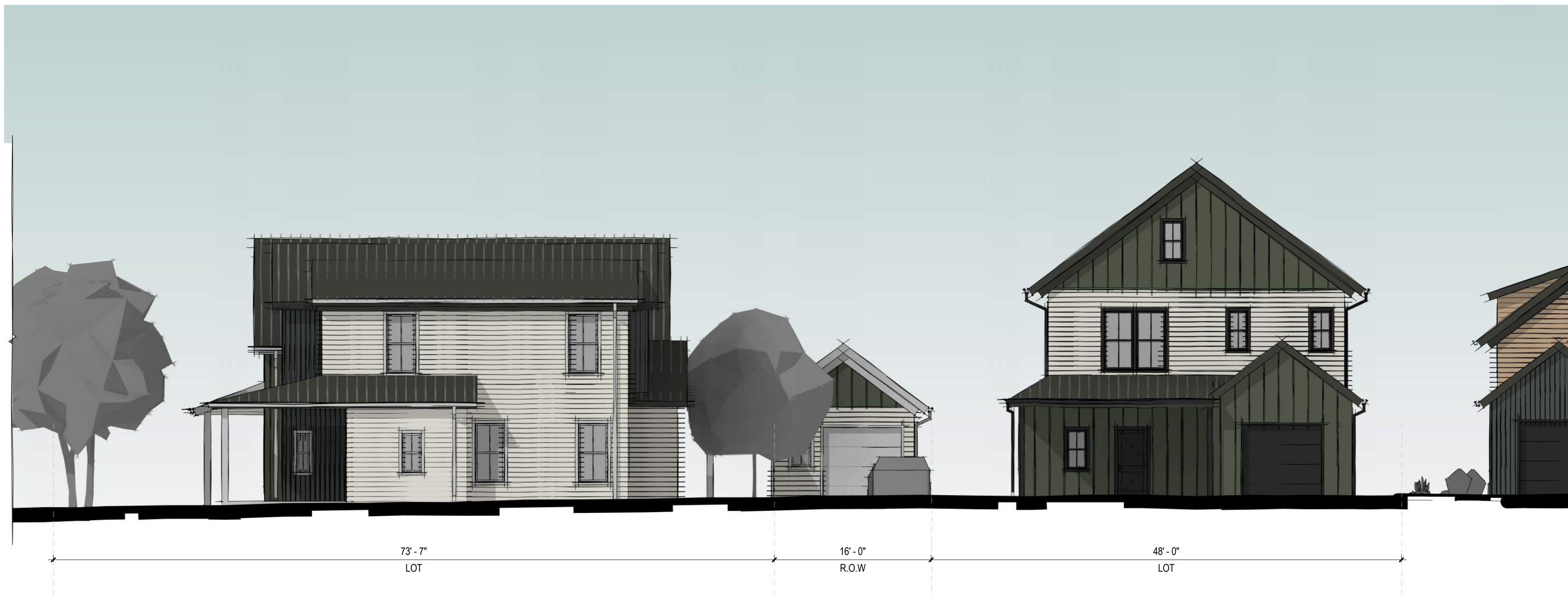


SINGLE FAMILY HOME

- EASEMENTS
- 100 - YEAR FLOOD PLAIN
- CONVEYANCE ZONE

ILLUSTRATIVE SITE PLAN





CHARACTER SKETCHES B



CHARACTER SKETCHES A



EXISTING PER PUD P-91-10

MRD SITE LAND USE DATA		TOTAL DENSITY - 92 UNITS	3000 S.F. PER UNIT
TOTAL LAND AREA	9.27 A 403,523 S.F.	OPEN SPACE REQUIRED	276,000 S.F.
BUILDING COVERAGE		TOTAL OPEN SPACE PROVIDED SITE AREA	245,023 S.F.
APARTMENTS	37,250 S.F.	PRIVATE BALCONIES (72 S.F. / EA. X 76)	5,472 S.F.
CHURCH	15,750 S.F.	OPEN SPACE CREDIT FOR 9 LRE D.U.S. @ 3000 S.F.	27,000 S.F.
TOTAL	53,250 S.F.		
PARKING/DRIVE COVERAGE		TOTAL PROVIDED	277,495 S.F.
APARTMENTS	37,250 S.F.		
CHURCH	68,000 S.F.		
TOTAL	105,250 S.F.		
NET SITE OPEN SPACE	245,023 S.F.		

EXISTING CHURCH BUILDING + PARKING/DRIVE COVERAGE = 83,750 S.F.

PROPOSED

MRD SITE LAND USE DATA		TOTAL DENSITY - 92 UNITS	3000 S.F. PER UNIT
TOTAL LAND AREA	9.27 A 403,523 S.F.	21 UNITS	2000 S.F. PER UNIT
BUILDING COVERAGE		OPEN SPACE REQUIRED	318,000 S.F.
APARTMENTS	37,500 S.F.	TOTAL OPEN SPACE PROVIDED SITE AREA***	285,717 S.F.
SINGLE-FAMILY	21,649 S.F.	PRIVATE BALCONIES (72 S.F. / EA. X 76)	5,472 S.F.
TOTAL	59,149 S.F.	OPEN SPACE CREDIT FOR 9 LRE D.U.S. @ 3000 S.F.	27,000 S.F.
PARKING/DRIVE COVERAGE		TOTAL PROVIDED	318,189 S.F.
APARTMENTS	37,250 S.F.		
PUBLIC STREET	21,407 S.F.		
TOTAL	58,657 S.F.		
NET SITE OPEN SPACE	285,717 S.F.		

SINGLE-FAMILY BUILDING BUILDING 21,649 S.F.
 SHARED DIVES & PUBLIC STREET COVERAGE + 21,407 S.F.
 SINGLE-FAMILY OPEN SPACE*** + 42,000 S.F.
 PUD EXCESS OPEN SPACE - 1,495 S.F.
 TOTAL = 83,561 S.F.

***INCLUDES FRONT PORCHES PER B.R.C. 9-9-11(F)(1), INDIVIDUAL DRIVEWAYS PER B.R.C. 9-9-11(F)(3), AND LANDSCAPE RIGHT-OF-WAY AREAS PER B.R.C. 9-9-11(F)(4)

PARKING LEGEND

- ON STREET PARKING
- SINGLE CAR GARAGE
- TWO CAR GARAGE
- PRIVATE DRIVEWAY PARKING (2 SPACES)

PARKING METRICS

- 23 ON STREET SPACES
- 20 SINGLE CAR GARAGE
- 1 TWO CAR GARAGE
- 16 PRIVATE DRIVEWAY PARKING













CITY OF BOULDER
LAND USE REVIEW RESULTS AND COMMENTS



City of Boulder
Planning & Development Services

DATE OF COMMENTS: **March 30, 2026**
CASE MANAGER: **Shannon Moeller**
PROJECT NAME: **2855 FOLSOM**
LOCATION: **2855 FOLSOM ST**
REVIEW TYPE: **Concept Plan Review & Comment**
REVIEW NUMBER: **LUR2026-00015**
APPLICANT: **WILLIAM COBURN, COBURN DEVELOPMENT, INC**
DESCRIPTION: **Concept Plan Review and Comment on a proposal to redevelop the existing Unity Church property at 2855 Folsom as 21 detached dwelling units.**

I. REVIEW FINDINGS

A Concept Plan is neither approved or denied, but rather is an opportunity for the city staff, the Planning Board, and community members to comment on the general aspects of the proposal. Refer to review comments below for staff's initial review comments.

These comments and all neighborhood correspondence received will be forwarded to the Planning Board for review. While the applicant is welcome to submit a written response to all the comments found herein prior to that hearing, it should be noted that the Concept Plan process is not an iterative process and that alternative designs cannot be considered without an additional Concept Review application.

Staff will forward a final staff memorandum to the applicant upon completion.

II. CITY REQUIREMENTS

The section below addresses issues that must be resolved prior to project approval.

III. INFORMATIONAL COMMENTS

1. Addressing, Alison Blaine, Address Administrator - 303-441-4410, blainea@bouldercolorado.gov
Each new building is required to be assigned a street address following the city's addressing policy. The city is required to notify utility companies, the County Assessor's office, emergency services and the U.S. Post Office of proposed addressing for development projects. Please submit an Address Plat and list of all proposed addresses as part of the Technical Document Review process.
2. Area Characteristics and Zoning History, Shannon Moeller, 303-441-3216, moellers@bouldercolorado.gov
The approximately 8.8-acre property at 2855 Folsom is located south of Edgewood Drive and west of Folsom Street.

The property includes the existing approximately 27,755 square-foot Unity Church building built in 1992 and approximately 190-space parking lot. Goose Creek and the multi-use path run through the property and along the southern edge.

The property is Lot 2 of the Trout Farm Subdivision and is part of the Trout Farm PUD, #P-88-29, #P-91-10 that encompasses the subject property as well as Lot 2, 2727 Folsom that includes the 92-unit condo property to the south.

The property is split-zoned with the western portion of the property zoned Residential - Low 1 (RL-1) and the eastern portion zoned Residential - Medium 1 (RM-1).

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RL-1 is described as "Primarily detached dwelling units with some duplexes and attached dwelling units at low to very low residential densities" per 9-5-2(c)(1)(A), B.R.C. 1981.

RM-1 is described as "Medium density residential areas which have been or are to be primarily used for attached residential development, where each unit generally has direct access to ground level, and where complementary uses may be permitted under certain conditions" per 9-5-2(c)(1)(C), B.R.C. 1981.

The property is not located within any adopted area or subcommunity plans.

Portions of the property are located in the High Hazard Zone, Conveyance Zone, 100 year floodplain, and High Functioning Wetlands and associated wetland buffers.

The property is an irregular shape and contains areas of steep slopes, in particular at the west side of site, which is not proposed for development. The overall site generally slopes toward Goose Creek. In the area proposed for redevelopment (the existing church and parking lot, which is located north and east of the existing multi-use path) the site generally contains more moderate slopes, which generally slope downward to the south and east, with steeper slopes closer to the creek.

The property contains many existing mature trees in particular along Goose Creek which limit mountain views to the south and southwest. Sensitive areas exist within the site including the steep slope area on the western portion of the site which is covered by an open space scenic easement, as well as the floodplain and wetlands areas along Goose Creek which are subject to floodplain and wetlands regulations. The city has received many public comments encouraging protection of sensitive areas due to the abundance of wildlife in the area.

The property is subject to multiple easements as shown on the recorded Trout Farm subdivision plat (Rec. No. 01068389) including an Open Space Scenic Easement, Bicycle/Pedestrian Path Easement, Sidewalk & Utility Easement, PSCO Easement, Emergency Access Easement, Flood & Drainage Easement, and Utility Easements.

To the west of the property and north across Edgewood Drive are detached dwelling units in the RL-1 zoning district, largely 1-story brick homes built in the 1950s.

To the northeast and east of the property across Folsom are commercially zoned (Business – Community 1) properties including the Goose Creek medical office building at 2880 Folsom, the 7-Eleven convenience store at 2605 Valmont, and a mix of personal service uses and retail at 3000 Folsom. Further east is the Mapleton Mobile Home Park at 2635 Mapleton Ave. and the Red Oak Park / Canopy at Red Oak Park affordable housing property at 2625 Valmont / 3025 Littleleaf Ln.

To the south across Goose Creek and the multi-use path is the 92-unit Trout Farm Condominiums.

Refer to Land Use comments for a summary of BVCP information.

3. Drainage and Utilities, Kyle Gillitzer, gillitzerk@bouldercolorado.gov
 - a. Storm water quality enhancement and detention ponding are issues that must be addressed during the Site Review Process. A Preliminary Storm Water Report and Plan in accordance with the City of Boulder Design and Construction Standards (DCS) must be provided by the applicant at time of Site Review application. The required report and plan must also address the following issues:
 - Water quality for surface runoff using "Best Management Practices"
 - Minimize Directly Connected Impervious Areas (MDCIA)
 - Detention ponding facilities
 - Water Quality Capture Volume (WQCV)
 - Storm sewer construction
 - Irrigation Ditches and Laterals
 - Groundwater discharge
 - Wetland mitigation
 - Erosion control during construction activities
 - b. Discharge of groundwater to the public storm sewer system is anticipated to accommodate construction and

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operation of the proposed developments. City and/or State permits will be required for this discharge. The applicant is advised to contact the City of Boulder Storm Water Quality Office at 303-413-7350 regarding permit requirements. All applicable permits must be in place prior to building permit application. Additionally, special design considerations for the properties to handle groundwater discharge as part of the development may be necessary.

- c. The applicant is notified that detention and water quality ponds intended to detain and treat stormwater runoff for the entire property (not each individual lot) shall be located in "Outlots", with maintenance responsibilities detailed in the subdivision agreement.
 - d. A construction storm water discharge permit is required from the State of Colorado for projects disturbing one (1) acre of land or more. The applicant is advised to contact the Colorado Department of Public Health and Environment.
4. Drainage and Utilities, Kyle Gillitzer, gillitzerk@bouldercolorado.gov A fill easement currently exists on the east side of the property. At the time of site review additional information shall be required on this easement's intent and whether the development interferes with its' purpose.
 5. Drainage and Utilities, Kyle Gillitzer, gillitzerk@bouldercolorado.gov A retaining wall is proposed to remain/be modified and exist running through multiple city easements in the post developed condition. Per Section 8-6-3 of the Boulder Revised Code, no person shall erect or maintain any structure or other encroachment within, under, above, or upon any public right-of-way (ROW) or easement. Refine the development plans to not provide any retaining wall encroachments into easements.
 6. Drainage and Utilities, Kyle Gillitzer, gillitzerk@bouldercolorado.gov No utility plan details have been provided as a part of this concept plan development application. The applicant is advised that no city sanitary main exists along the property frontage running down Folsom St. The applicant is advised that, per the appearance of the design intent to subdivided this property into single family lots, each lot shall require its own individual sanitary and water service taps. If mains are required to be extended they shall be required to be in conformance to all DCS requirements.
 7. Drainage and Utilities, Kyle Gillitzer, gillitzerk@bouldercolorado.gov Pre versus post development site impervious volumes as well as runoff coefficients have not been included as a part of the development application documents. Please see the City of Boulder Design and Construction Standards Section 7.12 for requirements pertaining to stormwater detention. Verify if this site has any requirement to provide on site detention and ensure any required detention is included with the site design.
 8. Drainage and Utilities, Kyle Gillitzer, gillitzerk@bouldercolorado.gov This development appears to be disturbing over 1 acre of soil. As such, per The City of Boulder Design and Construction Standards Chapter 7 this development is considered an "applicable development". All requirements of Chapter 7 of the DCS apply including (but not limited to) LID Techniques, Quality Design Standard Compliance, Selection and Design of SCM's, Preliminary Infiltration Feasibility Screening, Treatment Approach Selection Criteria, Soil and Infiltration Test, etc shall be required. The submitted design documents thus far do not appear to have provided any water quality components as shall be required and which may affect site design/layout. Please review the requirements of DCS Chapter 7 and ensure any design incorporates the requirements contained within.
 9. Drainage and Utilities, Kyle Gillitzer, gillitzerk@bouldercolorado.gov
Groundwater
While the proposed development site is not known to have high groundwater levels, groundwater is a concern in many areas of the city of Boulder. Please be advised that if it is encountered at this site, an underdrain/dewatering system may be required to reduce groundwater infiltration, and information pertaining to the quality of the groundwater encountered on the site will be required to determine if treatment is necessary prior to discharge from the site. City and/or State permits are required for the discharge of any groundwater to the public storm sewer system.
 10. Drainage and Utilities, Kyle Gillitzer, gillitzerk@bouldercolorado.gov
Utilities

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- a. A water system distribution analysis will be required at time of Site Review in order to assess the impacts and service demands of the proposed development. Conformance with the city's Treated Water Master Plan, October 2011 is necessary. This analysis shall be conducted via a utility report conforming to the requirements outlined in DCS Chapters 4-6.
 - b. A collection system analysis will be required at time of Site Review to determine any system impacts based on the proposed demands of the development. The analysis will need to show conformance with the city's Wastewater Collection System Master Plan, July 2016. This analysis shall be conducted via a utility report conforming to the requirements outlined in DCS Chapters 4-6.
 - c. The applicant is notified that, though the city allows Xcel and Qwest to install their utilities in the public right-of-way, they generally require them to be located in easements on private property. The applicant is also notified that XCEL Energy has transmission mains which run through the subject property. The applicant is encouraged to begin coordination with XCEL Energy given the presence of their utilities and easement.
 - d. The applicant is advised that any proposed street trees along the property frontage may conflict with existing or proposed utilities, including without limitation: water, wastewater, storm drainage, flood control, gas, electric, telecommunications, drainageways, and irrigation ditches, within and adjacent to the development site. It is the applicant's responsibility to resolve such conflicts with appropriate methods conforming to the Boulder Revised Code 1981, the City of Boulder Design and Construction Standards, and any private/franchise utility specifications. The applicant should note that trees are not permitted within ten feet of underground utility lines. At Site Review, the applicant will need to demonstrate that their plans can meet both landscaping and utility requirements.
 - e. The landscape irrigation system requires a separate water service and meter. A separate water Plant Investment Fee must be paid at time of building permit. Service, meter and tap sizes will be required at time of building permit submittal.
 - f. The development application packet has not detailed the proposed utility plan for the development. All proposed public utilities for this project shall be designed in accordance with the DCS. A Utility Report per Sections 5.02 and of the DCS will be required at time of Site Review or Preliminary Plat application to establish the impacts of this project on the City of Boulder utility systems. Additional comments may arise once a utility plan has been included with the design.
 - g. The development, as submitted, does not appear to have adequate fire hydrant coverage. Fire hydrants will need to be installed to meet the coverage requirements outlined in Section 5.10 of the City of Boulder Design and Construction Standards. Per the standards, no portion of any building shall be over 250 feet of fire access distance from the nearest hydrant and no more than 500 feet between hydrants for single family development. Fire access distance is measured along public or private (fire accessible) roadways or fire lanes, as would be traveled by motorized fire equipment. All fire hydrants and public water lines will need to be located within public utility easements.
11. Energy Conservation, Shannon Moeller, 303-441-3216, moellers@bouldercolorado.gov
On March 3, 2020, the City of Boulder adopted the 2020 City of Boulder Energy Conservation Code (COBECC) which prescribes minimum energy efficiency and conservation standards for new buildings and for additions and alterations to existing buildings, and the latest revision was approved by City Council on June 6, 2024 and went into effect on Dec. 1, 2024.
The city updates the energy code on a three-year cycle with the goal of attaining net-zero energy, outcome-verified code by 2031 to meet broader city-wide climate commitment goals. Although compliance with the COBECC is not required until time of building permit review, staff recommends starting energy modeling as part of site review since characteristics of the project like building materials, building orientation, etc. will impact the energy performance of the project.
All projects that require permitting on or after Dec. 1, 2024 must adhere to the new 2024 CoBECC standards. Additional information is available at: <https://bouldercolorado.gov/services/energy-conservation-code>
12. EV Parking - Please ensure each dwelling unit has at least one EV ready space provided per R404.4 of the 2024

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CoBECC.

13. Fire Review, David Lowrey, 303.441.4356: No issues with the "concept" of this development.
14. Floodplain, Daniel Valerin, valerind@bouldercolorado The applicant is proposing to modify a retaining wall in the conveyance zone. Expansions of structures into the conveyance zone is only permissible if the applicant has the requisite engineering and modeling done to show that the expansion will not result in a rise to the 100-year water surface elevation on any structures in the floodplain. See additional comment from Engineering regarding this retaining wall.
15. Floodplain, Daniel Valerin, valerind@bouldercolorado.gov At time of Site Review, provide an updated survey showing the boundaries of the floodplain.
16. Inclusionary Housing, Sloane Walbert, walberts@bouldercolorado.gov
- The Inclusionary Housing (IH) program requires all new residential developments to contribute 25% of the total units, or the equivalent, as permanently affordable housing (Chapter 9-13, "Inclusionary Housing", B.R.C., 1981). Developments may satisfy the inclusionary requirement through the provision of on-site affordable units, comparable existing or newly built off-site permanently affordable units, dedication of land appropriate for affordable housing, or by payment of a cash-in-lieu contribution. The means for satisfying the inclusionary requirement will be reviewed by staff concurrent with any land use review.
 - The provision of permanently affordable homes on the site would be a significant benefit to the community since the opportunities for homeownership in Boulder for middle-income households are very limited. It appears that providing affordable housing may be consistent with the church and developer's charitable goals and/or social mission. Staff is happy to meet to discuss this option in meeting the inclusionary housing requirements, if desired.
 - A Unit and Cash-in-lieu Calculator for estimating the Inclusionary Housing requirement for the development may be found on the city website at <https://bouldercolorado.gov/unit-cash-lieu-calculator>.
 - Any required documents, including the Determination of Inclusionary Housing Compliance form, must be signed prior to application for any residential building permit. Any applicable cash-in-lieu contribution must be made prior to issuance of a residential building permit.
17. Land Use, Shannon Moeller, 303-441-3216, moellers@bouldercolorado.gov
The property is located within the Planning Area for the Boulder Valley Comprehensive Plan (BVCP), a plan jointly adopted by the city and county. The site is within Area I which represents the area within the City of Boulder that has adequate urban facilities and services and is expected to accommodate urban development.

BVCP Land Use Designation

The subject property is designated as within the Medium Density Residential (MR) land use BVCP on the eastern portion of the site, and within the Low Density Residential (LR) land use BVCP designation on the western portion of the site. The proposed area of redevelopment is located within the Medium Density Residential area.

Medium Density Residential land use areas are described as characterized by a variety of housing types, generally situated near neighborhood and community shopping areas or along some of the major arterials of the city. They consist of a variety of housing types ranging from single-family detached to attached residential units such as townhomes, multiplexes and some small lot detached units (e.g., patio homes), not necessarily all on one site, ranging from 6 to 14 dwelling units per acre.

Projects are preliminarily assessed for compliance with the BVCP Land Use Designation and relevant goals and policies as part of Concept Plan. During Site Review, the project will be evaluated for consistency "with the BVCP land use map and, on balance, with the goals and policies of the BVCP" particularly those that address the built environment. In applying this, the approving authority shall consistently interpret and apply this criterion and consider whether a particular goal or policy is intended to be applied to individual development projects or is to guide city policy decisions, such as regulatory actions. The BVCP does not prioritize goals and policies, and no project must satisfy one particular goal or policy or all of them" (Section 9-2-14(h)(1)(A), B.R.C. 1981).

In terms of conformity of the proposed development with the Boulder Valley Comprehensive Plan land use

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designations, staff finds that the proposed Concept Plan is generally consistent with the role of the Medium Density Residential land use designation in providing a medium density of housing near neighborhood and community shopping areas.

BVCP Policies

The proposal includes features that support several BVCP policies, including:

- *2.03 Compact Development Pattern* – The proposal would redevelop the currently developed portion of the property near existing urban services to provide additional housing.
- *2.22 Urban Open Lands* – The proposal would preserve existing open lands along the Goose Creek corridor and steep hillside area by placing redevelopment on the location of the existing church and 190-space parking lot.
- *2.33 Sensitive Infill & Redevelopment* – The proposal would limit and avoid impacts to adjacent residential neighborhoods and natural areas.
- *2.41 Enhanced Design for All Projects*
 - c. Relationship to the public realm and h. Permeability* – The proposed homes are largely oriented with front entries accessible to public streets and facing the public realm along Edgewood Drive and Folsom Street.
 - j. Buildings* – The proposed building designs are human scale, provide inviting front porches, and include four sided cohesive designs.

Staff is recommending that the proposal better address the following BVCP policies at the time of site review:

- *2.11 Accessory Units and 7.07 Mixture of Housing Types* – The proposal provides for 2,400-3,600 square-foot detached dwelling units. Staff recommends incorporating some attached dwelling units at appropriate locations to better address the surrounding context, particularly along Folsom Street, as well as incorporating ADUs where detached dwelling units are provided to create additional living options in support of housing policies. Providing smaller-sized homes would also support the city's goals toward providing moderately sized and priced homes.
- *2.15 Compatibility of Adjacent Land Uses* – The proposal is located adjacent to Folsom Street, a minor arterial, and across from a mix of commercial land uses. Providing attached dwelling units such as duplexes or townhomes with detached dwelling units further west could provide a more appropriate transition across the site.
- *2.41 Enhanced Design for All Projects*
 - b. The context* – As noted above, the proposal should better address the surrounding context including noise and traffic along Folsom Street to ensure the site design and unit typology are appropriate for this context. Both Folsom Street and Edgewood Drive are identified as Major Streets in Appendix A, where subdivision standards call for a design to reduce noise in residential lots to a reasonable level.
 - e. Transportation connections* – Refer to Transportation comments regarding improvements and dedications toward providing a complete network of vehicular, bicycle and pedestrian connections. If practicable considering slopes and impact to natural areas, provide a pedestrian connection from the western edge of the internal sidewalk to connect to the existing multi-use path network, to allow residents to access the path more directly.
 - f. Parking* – Where garage entrances and front entries are on the same side of homes, ensure that garages are setback from the front facade whenever possible.
 - i. On-site open spaces* – Residential proposals should generally provide for common areas for residents to gather. Given that much of the common open spaces are existing natural areas, consider limited and low-impact improvements such as benches/seating at an area of overlook where the creek corridor can be enjoyed, or incorporating a pedestrian access and seating to landscaping features such as pollinator/raingardens.

18. LANDSCAPING; Chris Ricciardiello; ricciardiello@bouldercolorado.gov; (303) 441-3138: The project will trigger landscape requirements in accordance with the City of Boulder Land Use Code, Sections 9-9-12, 9-9-13, and 9-9-14, B.R.C. 1981. Applicable standards include street tree plantings and overall site landscape plantings as outlined in 9-9-12(d) and 9-9-13. Include a summary table of landscape requirements per section 9-9-12(d)(1)(J), B.R.C. 1981 to determine the extent of required landscape improvements. Also, where possible, all street trees along public rights-of-way shall be planted in the planting strip between the back of curb and the detached sidewalk. Meet the standard planting strip dimensions for the applicable roadway (see engineering comments). Show on future site review landscape plans all programmed open space and gathering areas.

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19. Neighborhood Comments, Shannon Moeller, 303-441-3216, moellers@bouldercolorado.gov
Public comments have been received on to the proposal which include concerns regarding wildlife and natural areas and impacts of overbuilding. Refer to attachment. Additional comments will be forwarded as received.
20. Review Process, Shannon Moeller, 303-441-3216, moellers@bouldercolorado.gov
Per Section 9-2-14, B.R.C. 1981, the proposal is eligible for a Concept Plan Review because more than five dwelling units are permitted on the property in the RM-1 zoning district. The purpose of the Concept Plan review is to determine the general development plan for a particular site and to help identify key issues in advance of a site review submittal. This step in the development process is intended to give the applicant an opportunity to solicit comments from the Planning Board as well as the public early in the development process as to whether a development concept is consistent with the requirements of the city as set forth in its adopted plans, ordinances, and policies (Section 9-2-13, B.R.C. 1981). Concept Plan review requires staff review and a public hearing before the Planning Board.

Comments made at the public hearings are advisory comments for the applicant to consider prior to submitting any detailed "Site Review" plan documents. Note that Concept Plan review applications may be called up for consideration after Planning Board's review.

The public hearing before the Planning Board has not yet be scheduled; staff will contact the applicant to finalize a hearing date.

At the public hearing, plan will neither be approved nor denied, but rather is an opportunity for the city and community members to comment on the general aspects of the proposal. The Planning Department and Planning Board will review the applicant's Concept Review and Comment plans against the guidelines found in section 9-2-13(g), B.R.C. 1981.

Following this Concept Plan Review and Comment, the proposal would require the following processes:
Site Review: The development proposal will require a Site Review Amendment as it is part of an existing PUD. A decision on the proposal would be made by the Planning Department and the decision would be subject to the appeal and call-up requirements of 9-4-4, B.R.C. 1981. Decision on the Site Review would be based on the Site Review criteria of Section 9-2-14(h), B.R.C. 1981.

At the time of Site Review, the proposed project will be evaluated for conformance with the following:

- The land use designation in the BVCP;
- All relevant policies of the BVCP, particularly those addressing the built environment;
- The Site Review criteria of the Land Use Code, Section 9-2-14(h), B.R.C. 1981;
- Zoning regulations, unless modified through Site Review;
- The criteria of Section 9-9-11 of the Land Use Code for usable open space. A detailed open space diagram will be necessary at Site Review.
- The City of Boulder Design and Construction Standards (DCS).

Submission Requirements. At the time of site review, the following items will be required:

- a. Preliminary Storm Water Report and Plan to address storm water runoff, water quality treatment issues, and detention ponding. Existing detention ponds are present on the proposed site.
- b. Utility Report to establish the impacts of this project on the City of Boulder utility systems and outline water main and wastewater main construction necessary to serve the development and perpetuate the overall system.
- c. A water system distribution analysis in order to assess the impacts and service demands of the proposed development and to demonstrate conformance with the Treated Water Master Plan, October 2011.
- d. A collection system analysis to determine any system impacts based on the proposed demands of the development and to demonstrate conformance with the city's Wastewater Collection System Master Plan, July 2016.
- e. A landscape plan that is consistent with, and exceeds, city code requirements.
- f. A detailed tree inventory including the species, size and condition of all existing trees on the site.

The following review processes would be required in addition to a Site Review for the proposal:

- Preliminary and Final Plat: A preliminary and final plat would be necessary for a proposal to subdivide the

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property into individual residential lots and outlots, and dedicate any necessary easements and/or right of way.

- Technical Documents: Following the Site Review, Technical Documents including any required final plans for site, architecture, landscaping, lighting, and civil plans are required.

21. Site and Building Design, Shannon Moeller, 303-441-3216, moellers@bouldercolorado.gov
The proposal will require a Site Review; application should address the criteria in 9-2-14, B.R.C. 1981 and provide a written statement regarding how the proposed design meets each criterion.

Staff has listed relevant Site Review criteria below with a brief preliminary consistency analysis:

9-2-14(h)(2) Site Design Criteria:

(A) Access, Transportation, and Mobility:

(iv) Streets, bikeways, pedestrian ways, trails, open space, buildings, and parking areas are designed and located to optimize safety of all modes and provide connectivity and functional permeability through the site.

If practicable considering slopes and impact to natural areas, provide a pedestrian connection from the western edge of the internal sidewalk to connect to the existing multi-use path network, to allow residents to access the path more directly.

Where proposed driveways cross sidewalks, ensure that driveway depths are designed to accommodate the length of a parking space (refer to Transportation comments).

(B) Open Space:

(i) Useable open space is arranged to be accessible and designed to encourage use by incorporating quality landscaping, a mixture of sun and shade, hardscape areas and green spaces for gathering.

Residential proposals should generally provide for common areas for residents to gather. Given that much of the common open spaces are existing natural areas, consider limited and low-impact improvements such as benches/seating at an area of overlook where the creek corridor can be enjoyed, or incorporating a pedestrian access and seating to landscaping features such as pollinator/raingardens.

9-2-14(h)(3) Building Siting and Design Criteria:

(A) Building Siting and Public Realm Interface:

(i) New buildings and, to the extent practicable, additions to existing buildings are positioned towards the street, respecting the existing conditions or the context anticipated by adopted plans or guidelines. In urban contexts, buildings are positioned close to the property line and sidewalk along a street; whereas, in lower intensity contexts, a greater landscaped setback may be provided to match the surrounding context.

(ii) Wherever practical considering the scope of the project, parking areas are located behind buildings or set back further from the streetscape than the building façade.

(vi) The building's siting and relationship to the public realm is consistent with the character established in any adopted plans or guidelines applicable to the site or, if none apply, is compatible with the character of the area or improves upon that character, consistent with the intent of paragraph (3), Building Design Criteria.

The proposal should better address the surrounding context including noise and traffic along Folsom Street to ensure the site design, setbacks, and unit typology are appropriate for this context. Where minimal setbacks along busy streets are proposed, attached dwelling units such as duplexes or townhomes may be more appropriate, with detached dwelling units further west.

Where garage entrances and front entries are on the same side of homes, ensure that garages are setback from the front facade whenever possible.

22. Transportation, Daniel Valerin, valerind@bouldercolorado
- Revise the landscape strips to be a minimum 8 feet wide for the new street.
 - According to Section 2.04(M)(1) of the City of Boulder Design and Construction Standards, driveways must extend a minimum of 24 feet beyond the right-of-way before reaching the first off-street parking space. Upon review, it appears that most of the proposed homes do not meet this requirement. Please revise the plans to comply with this code section, or alternatively, remove any driveways and accesses that do not meet the 24-foot extension standard.
 - According to the 2019 Transportation Master Plan and 2019 Low-Stress Walk and Bike Network Plan, a

CITY OF BOULDER
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protected intersection is proposed at the intersection of Folsom and Valmont. Construction of the southwest corner of this intersection will be required, and additional public access easements will be necessary. Note that this likely makes the house on the northeast corner of the development not feasible.

- d. According to the 2019 Transportation Master Plan and 2019 Low-Stress Walk and Bike Network Plan, buffered bike lanes along Edgewood Drive have been proposed and shall be constructed according to Site Review criteria Land Use Code Section 9-2-14(h)(2)(A)(i), B.R.C. 1981. Additional right of way, in accordance with LUC 9-9-8(c)&(d) shall be required to construct the bike lanes based on the widths of DCS Table 2-6.
 - e. All public street intersections must meet the sight triangle criteria outlined in section 9-9-7 of the Boulder Revised Code (BRC). At time of Site Review, clearly illustrate and dimension the Landscaping Plans to show that the requirements are being met.
 - f. Edgewood Drive is classified as a collector street. Per Table 2-8 of the City of Boulder Design and Construction Standards, all new streets on a collector must be spaced a minimum of 300 feet apart. The proposed street location does not meet this spacing requirement, as it is less than 300 feet from the nearest street, and therefore cannot be supported. Any alternative street location and design must be reviewed by a licensed transportation engineer to assess any potential safety or operational issues. Additionally, staff will require a written statement outlining all key decisions related to the proposed street.
 - g. Several of the driveways do not meet the access spacing requirements found in Table 2-1 of the DCS. Revise the plans as necessary.
 - h. Staff is unable to support the creation of a new public street for this parcel due to the anticipated additional maintenance associated with it.
 - i. The applicant is advised that the proposed number of on-street parking spaces appears to be overestimated. Many of the spaces delineated in blue on Sheet C.5 do not comply with Section 7-6-13, "Stopping or Parking Prohibited in Specified Places," B.R.C. 1981, which prohibits parking within twenty feet of an intersection and five feet of a driveway for the purposes of daylighting. Additionally, several spaces located in the shared driveways present operational concerns, as they would obstruct neighbors' vehicles from entering or exiting.
 - j. The city recently passed TDM Ordinance 8713, which goes into effect April 1, 2026. Ordinance 8713 was passed to establish TDM plan requirements for new development in the City. All applicable information on the new TDM requirements can be found on this website after April 1:
<https://bouldercolorado.gov/transportation-demand-plan-requirements-new-developments>. For any further questions, please reach out to TDMPlan@bouldercolorado.gov.
 - k. The plans seem to indicate that the shared driveways are being dedicated as part of the street right-of-way, rather than as part of a parcel, which is not appropriate. Please see case manager's comment regarding subdivision standards and review the requirements for shared driveways in Section 2.04(M)(5) of the DCS.
 - l. The proposed development does not fully leverage the existing multimodal infrastructure surrounding the site, particularly the protected bike lanes on Folsom Street and the Goose Creek multi-use path. In accordance with Paragraph 9-2-14(h)(2), B.R.C. 1981., the applicant should prioritize minimizing walking and biking distances for residents to access these key transportation routes.
23. Wetlands, Julie DeFoe, defoej@bouldercolorado.gov, 303-441-4283 Goose Creek, a high functioning wetland and associated buffers is located on this parcel. Any activities in these regulated areas may require a separate wetland permit application per 9-3-9 (b) B.R.C. 1981. Information regarding Wetland Permitting may be found here:
<https://bouldercolorado.gov/services/wetland-permits>.
24. Zoning, Shannon Moeller, 303-441-3216, moellers@bouldercolorado.gov
Some general zoning information is noted below:

Setbacks: Proposal is located in the RM-1 zoning district. The typical minimum setbacks are 20' minimum front, 10'

CITY OF BOULDER
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minimum side adjacent to a street, 1' per 2' of building height/5' minimum for interior side lot lines, and 20' minimum rear. Setback modifications may be requested through the site review process.

Solar Access: Review the solar access requirements in 9-9-17, B.R.C. 1981 and the solar access guide and calculations worksheet online at <https://bouldercolorado.gov/services/solar-access-guide>. The RM-1 zoning district is located in Solar Access Area II and each lot is protected by a 25' solar fence. Proposed lots and structures must be designed with adequate setbacks and/or appropriate building heights/rooflines to ensure that a solar shadow will not shade adjacent lots to a greater degree than the lot would be shaded by a solar fence twenty-five feet in height.

Future Home Additions/Open Space: The property is in the RM-1 zoning district where a minimum of 2,000 square-feet of open space is required for each new dwelling unit on the property but not necessarily on an individual lot. Generally, staff recommends establishing a maximum buildout plan for each lot with the Site Review to ensure that homeowners are aware of how much their home may be expanded, while maintaining adequate open space requirements per zoning standards.

Subdivision Standards: The proposal appears to include subdivision into individual lots, outlots, and right-of-way. Please review the Standards for Lots and Public Improvements in 9-12-12, B.R.C. 1981. Of note:

9-12-12(1)(1) Standards for Lots

(E) Lots and existing structures meet all applicable zoning requirements of this title and section 9-9-17, "Solar Access," B.R.C. 1981.

The proposal would require setback modifications through the Site Review process and should be evaluated to ensure that the proposal will meet solar access requirements (Area II, 25' solar fence).

(F) Lots with double frontage are avoided, except where necessary to provide separation from major arterials or incompatible land uses or because of the slope of the lot.

The lots fronting Glenwood and Folsom have double frontages. Applicant may wish to work with engineering staff to determine the best transportation design for the proposed new right-of-way internal to the site given the unique site characteristics.

(H) Corner lots are larger than other lots to accommodate setback requirements of section 9-7-1, "Schedule of Form and Bulk Standards," B.R.C. 1981.

The proposal does not provide an increased setback/lot size at the corner lots along the new proposed access point.

(I) Residential lots are shaped so as to accommodate a dwelling unit within the setbacks prescribed by the zoning district.

The subdivision design needs additional clarification to clearly depict edges and shapes of all proposed lots, proposed outlots, and proposed areas of rights-of-way consistent with minimum standards.

(K) Where a subdivision borders an airport, a railroad right of way, a freeway, a major street or any other major source of noise, the subdivision is designed to reduce noise in residential lots to a reasonable level and to retain limited access to such facilities by such measures as a parallel street, a landscaped buffer area or lots with increased setbacks.

The property is adjacent to Edgewood Drive and Folsom Street which are both identified as Major Streets per Title 9, Appendix A. The proposal should be revised to clearly address this criterion.

9-12-12 (2) Transportation Standards for Streets, Alleys and Sidewalks:

Streets, curb and gutters, sidewalks, alleys and the public rights of way therefor are provided in conformity with the standards in the City of Boulder Design and Construction Standards . . .

As noted above, the subdivision design needs additional clarification to clearly depict the proposed areas of rights-of-way consistent with minimum standards. Applicant may wish to work with engineering staff to determine the best transportation design given the unique site characteristics.

20. Next Steps, Shannon Moeller, 303-441-3216, moellers@bouldercolorado.gov

A Concept Plan is neither approved or denied, but rather is an opportunity for the city and community members to comment on the general aspects of the proposal.

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These comments and any neighborhood correspondence received will be forwarded to the Planning Board for review. The Planning Board hearing for the Concept Plan Review and Comment has not yet been scheduled; staff will contact the applicant to finalize a hearing date.

While the applicant is welcome to submit a written response to the concept plan comments found herein prior to that hearing, it should be noted that the Concept Plan process is not an iterative process and that alternative designs cannot be considered without an additional Concept Review application.

Staff will forward a final staff memorandum to the applicant upon completion.

IV. FEES

Please note that the new 2024 application fee includes an initial and two subsequent reviews. If further substantive review is required following the third review, an additional fee will need to be paid for the fourth and each subsequent review. This additional fee does not apply for: Annexation/Initial Zoning, Concept Plan Review, BVCP land use designation change, Vacation Feasibility Study, Right-of-Way/Access Easement Vacation, or CDOT Access Permit.

For 2023 or earlier cases, hourly billing still applies for reviewer time spent on any reviews following the initial review.



Planning Office
720-561-5794
Fax: 720-561-5118
www.bvsd.org

6500 East Arapahoe, PO Box 9011
Boulder, CO 80301

March 30, 2026

City of Boulder
Planning and Development Services
Attn: Shannon Moeller, AICP
P.O. Box 791
Boulder, CO 80306

RE: 2855 Folsom Street Concept Plan

Dear Shannon:

Thank you for submitting the 2855 Folsom Street Concept Plan referral application for review by the Boulder Valley School District (BVSD). BVSD reviews development application in terms capacity impacts on neighborhood schools and impacts on school land or facilities. This new development application proposes to add 21 single-family detached with an expected maximum student impact of 9 additional students in the Columbine El., Casey Middle, and Boulder High school feeder system. The current school capacity status including this project's impacts are as follows:

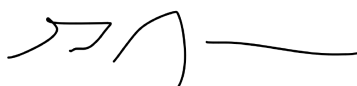
School	Current Capacity Status (Oct. '25)				Project Impact		
	Student Population*	Program Capacity '25	School Enrollment	Perc. Capacity	Student Impact	New Enrollment	New % Capacity
Elementary	496	590	313	53.1%	4	317	53.7%
Middle	519	743	320	43.1%	2	322	43.3%
High School	2080	1990	1777	89.3%	3	1780	89.4%
Total	3095		2410		9		

*represents the number of BVSD students for the given grade level living within the attendance area.

BVSD can serve this development at all grade levels with existing capacity. Although Boulder High School is currently operating near their program capacity, the school has a sizeable open enrollment population that can be managed to accommodate additional neighborhood students.

If you have any other questions, concerns, or further clarifications, feel free to contact me at 303-245-5794 or via e-mail at glen.segrue@bvsd.org.

Sincerely,



Glen Segrue, A.I.C.P.
Senior Planner

Public Comments
2855 Folsom Concept Plan
LUR2026-00015

From: nancy trigg <nancytrigg@gmail.com>
Sent: Monday, March 16, 2026 12:55 PM
To: Moeller, Shannon <moellers@bouldercolorado.gov>
Subject: 2855 Folsom

Hi Shannon

I would like to be on the list to be notified when public comment is available for the 2855 Folsom project.

Thank you.

Nancy Trigg

From: nancy trigg <nancytrigg@gmail.com>
Sent: Thursday, March 19, 2026 5:25 PM
To: Moeller, Shannon <moellers@bouldercolorado.gov>
Subject: Re: 2855 Folsom

Thank you Shannon. This is very helpful information.

I also appreciate that the strong opposition to a bike path is noted. The neighborhoods both above and below this area have voiced strong disapproval of anything being developed on this hill due to the incredibly active wildlife corridor and potential disruptions to safety/security by making it available to the public..

I was not aware those easements already exist. Interesting.

I was actually the reason the church reached out about subdividing because I wanted to purchase a portion of the land to protect the hill from development of any kind. It's a gem and the animals back there are worth investing in. If that is ever an option again, I would purchase that land for no other purpose than to keep it safe.

I also appreciate you noting the traffic concern with the proposed entrance to the new homes and I truly appreciate your quick response.

Thanks

Nancy

PS..a [little video of our summer wildlife](#), so you will understand why there is so much passion, i'm guessing i'm not the first or last person to respond. :)

On Thu, Mar 19, 2026 at 5:02 PM Moeller, Shannon <moellers@bouldercolorado.gov> wrote:
Hi Nancy, Thank you for you for that detailed email. Some additional information has been provided in blue text, below. Hope this is helpful.
Best,

Shannon Moeller, AICP
Planning Manager
(pronouns: she/her/hers)



O: 303-441-3216
moellers@bouldercolorado.gov

Planning & Development Services Department
bouldercolorado.gov

From: nancy trigg <nancytrigg@gmail.com>
Sent: Thursday, March 19, 2026 1:48 PM
To: Moeller, Shannon <moellers@bouldercolorado.gov>
Subject: Re: 2855 Folsom

Thank you Shannon

I did research all of this already and have a few primary concerns. I do not personally object to repurposing the land for limited space and reasonable housing. However I would like to provide my concerns below, in the order of importance.

1. I strongly voice objection to including an easement for a bike path / pedestrian path and "open space scenic easement" on the hill above Edgewood. That path proposal has already been taken out of multiple proposals on the city flood mitigation due to environmental concerns, significant neighborhood pushback and the reality that there is no continuance for that path that does not enter private property? The loss of this incredibly active wildlife corridor, the risk of fire by letting public (and therefore homeless encampments) into a high risk fire zone, and the risks of human / wildlife encounter in this area are a few of the long list of reasons this is a horrible idea. This easement has zero impact on the feasibility of this project and should be immediately removed from the proposal to prevent serious push back from neighbors and land owners. [The bike path /](#)

pedestrian easement and open space scenic easements are existing and were provided at the time of the original development of the church in the early 1990s. Ultimately, the bike path was not constructed in a portion of the easement. The applicant does not propose a new bike path. It is helpful to receive feedback that a new bike is not desired in this area.

2. The driving entry point for these new homes is illogical in its placement. Entry from Folsom should be required, and eliminated from Edgewood, to not create a traffic nightmare with left turns and u-turns so close to a 4 way intersection. This area is already riddled with traffic issues and this would only add to them. *Thank you for your feedback, it will be shared with Engineering staff.*

3. I would like to request that some record of why all other attempts by the church to repurpose their property, including subdividing the hill and selling to neighboring properties, adding a parsonage residence, etc were rejected. It seems that proposals that were in good faith, and good for this neighborhood and good for the church were all rejected, forcing the church into this partnership with Coburn to sell / develop, which neatly fits into the cities repeated attempts to secure ownership of that land regardless of the desire of all surrounding home owners. This is extremely concerning and it would be beneficial to outline why all previous land uses were rejected, and what is different about this proposal that has it moving forward to this point.

The city has reviewed pre-application reviews for the property over the past several years, which is a process in which a property owner can ask questions and receive general feedback from staff to identify issues with a proposal. Pre-application reviews do not result in approvals or denials.

One of the previous pre-application reviews was related to changing a previously approved parsonage that was planned but never constructed to the west of the Trout Farm Condos parking lot into 2 detached single-family homes that would not be a parsonage. The proposal faced issues in meeting the open space requirements at the time and would have also required extension of lengthy water and sewer utilities to the proposed location of the two homes which would have likely made that proposal technically and financially non-viable.

The idea to subdivide the portion of land north of the homes along Balsam and sell the land to homeowners would not be possible because this area is within an existing open space easement which was dedicated on this steep slope area. The city generally does not support development of very steep slope areas such as this. Selling the land to adjacent homeowners would give the impression that the land was developable, which it is not.

The owner did not move forward with submitting applications related to these ideas that would have resulted in additional review and an approval or denial. It is the property owner's decision on which proposal to make a formal application.

Thanks

Nancy Trigg

From: Barry Gillespie <barryhgillespie@comcast.net>
Sent: Monday, March 16, 2026 1:57 PM
To: Moeller, Shannon <moellers@boulder.colorado.gov>
Subject: 2855 Folsom development

Ms. Moeller,

I received a notice re: the planned Coburn development at 2855 Folsom. I would like to know when the hearing is and would also be curious to see a more detailed plan.

I have three concerns.

- 1) How this affects the bike path that goes through the middle of the land. In particular will it be blocked/closed during development.
- 2) How does this affect many mature trees that are in this plan area.? Is this UGC Reach through the back door?
- 3) the noise/disruption a development of this size will bring to our quiet community here on Nicholl St. East.

Sincerely,
Barry Gillespie

From: Shaunda Milstein <ibreakforbirds@gmail.com>
Sent: Monday, March 16, 2026 7:32 PM
To: Moeller, Shannon <moellers@boulder.colorado.gov>
Subject: 2855 Folsom st

Dear Shannon Moeller,

I am writing to request notification regarding the public hearing for the development review of 2855 Folsom st, before the Planning Board. Please let me know once this hearing has been scheduled.

Thank you,

Shaunda Milstein
2635 Mapleton Ave lot 178
Boulder, CO 80304

From: Melinda Kassen <mrk@3rdact.us>
Sent: Wednesday, March 18, 2026 4:56 PM
To: Moeller, Shannon <moellers@bouldercolorado.gov>
Cc: wfgoelz@jamixtech.com
Subject: Re: Unity Church property redevelopment

Shannon,

Awesome! Just what I was looking for. Thanks so much.

Obviously that just leaves the traffic concern. Please accommodate the cars of both these new folks and existing neighbors! Bike paths and pedestrian walkways are great but cars are still part of our world. In my experience as a cyclist around town, people in cars who are frustrated with traffic are more dangerous to me than people who are happily driving by.

Melinda

Get Outlook for Android

From: Moeller, Shannon <moellers@bouldercolorado.gov>
Sent: Wednesday, March 18, 2026 4:36:38 PM
To: Melinda Kassen <mrk@3rdact.us>
Cc: wfgoelz@jamixtech.com <wfgoelz@jamixtech.com>
Subject: RE: Unity Church property redevelopment

Thank you for your email and feedback on the proposal.

To clarify, the proposal does not involve placing homes on an empty hillside or within the creek corridor. The proposal would involve demolition of the existing Unity Church and parking lot and placing homes in that location (see images at the link below).

The submittal documents are available on the city's development review map; type LUR2026-00015 into the search box and click enter, links to the documents will appear on the left-hand side of the screen.

For your convenience, I have included a direct link to the proposed plan set/images of the proposal.

Comments received are reviewed by staff, transmitted to the applicant, and included in the written comments provided to the Planning Board. The Planning Board will meet to discuss this Concept Plan at an upcoming meeting, which has not yet been scheduled. I will send an update and additional information once that is scheduled.

Best,

Shannon Moeller, AICP
Planning Manager
(pronouns: she/her/hers)

O: 303-441-3216
moellers@bouldercolorado.gov

Planning & Development Services Department
bouldercolorado.gov

From: Melinda Kassen <mrk@3rdact.us>
Sent: Tuesday, March 17, 2026 9:58 AM
To: Moeller, Shannon <moellers@bouldercolorado.gov>
Cc: wfgoelz@jamixtech.com
Subject: Unity Church property redevelopment

Hi Shannon.

I looked on line but couldn't find a site map or schematic showing where the proposed 21 houses would sit on the land. Did I miss that? I looked on Coburn's webpage, too, and couldn't find anything.

As you know, the creek and slope function as a valuable wildlife corridor we'd like to see preserved. If the houses will mostly be where the existing church and parking lot are now or bordering Edgewood, that may be fine. But if the plan is to spread them out over the entire lot, that would concern us. Probably not dissimilar from all the upset Boulder heard from the neighborhood about the Goose Creek flood control project. We enjoy the constant stream of deer, as well as other occasional critters, in our back yards because of the open, unmanicured land on both sides of our fin. These animals need corridors. Please help Coburn build in a way that doesn't eliminate their passage.

Also, we generally favor denser infill versus sprawl. So, like we were supportive of the hospital redevelopment, we may be OK with adding 21 houses at 2855 Folsom even though doing so will increase traffic on Folsom and Edgewood. Except ... we truly hope that the planning department is realistic about the traffic implications as they relate to the city's relentless effort to reduce car lanes on our major streets. We oppose most of these "diets." We lived through the 1st disaster on Folsom and are concerned about the new plan. (For transparency, we also hate the plan for Iris, and we find the bike lane curbs on the stretch of Folsom we use most, between the Goose Creek bike path and Mapleton, dangerous for cars and bikes.) Please, please be realistic about the number of cars these 21 homes will have that will need to commute daily, and ensure their accommodation.

Thanks!

Melinda Kassen & Bill Goelz, 2360 Balsam.

From: rdbiker48245@aol.com <rdbiker48245@aol.com>
Sent: Tuesday, March 17, 2026 4:51 PM
To: Moeller, Shannon <moellers@boulder.colorado.gov>
Subject: Unity building 21 units

Hi, as a citizen who has lived on the hill in question since 1977 I am very much against the project! Wildlife abound in the area including deer, redtail hawks who nest every spring, an occasional bear and cubs, coyotes, skunks, foxes and raccoons. This would be an end to their homes in an area of increasing human density. I believe that the addition of more housing at this time is way over the requirement and pricing of most people so again we are looking at profits for the contractor, real estate people, and landowners. My house is on top of the hill so the density of traffic on Edgewood would really spike.

I ask that this project be rejected. Thank you!

Jack Sasson
2210 Balsam Dr. Boulder 80304
303-931-9767

From: Jim Freedom <jfreedom2@hotmail.com>
Sent: Tuesday, March 17, 2026 6:16 PM
To: Moeller, Shannon <moellers@boulder.colorado.gov>
Subject: Unity Church hearing

Shannon,

I want to be informed about the Concept Plan review public hearings. Please put my email on the list of those to be informed about this hearing.

Thank you,
Jim Freedom

From: Barb Passalacqua <babsbeard@skybeam.com>
Sent: Tuesday, March 17, 2026 8:13 PM
To: Moeller, Shannon <moellers@bouldercolorado.gov>
Cc: Joe Passalacqua. Wk <jopasta56@gmail.com>
Subject: RE: 21 detached dwellings planned for Edgewood Hill

Hi There Shannon,

I strongly object to the building of 21 dwellings on the south side of Edgewood where there is currently a hill with no homes.

I object because of the following reasons

We must have a hearing and be allowed to have our voice and vote heard.

I own 2811 20th St and truly think this is a mistake.

- Destruction of the wildlife corridor
- Lack of neighborhood contact/solicitation
- Need for a public hearing
- Invasive
- Unnecessary
- For profit
- For personal reasons

Please confirm receipt.

Thank you,
Edgwood Resident

Barb

barb passalacqua | BROKER ASSOCIATE | 303 931 6673
boulder | lohi | cherry creek | milehimodern.com
barbpassalacqua.com

From: Luke S <luke@marpa.com>
Sent: Tuesday, March 17, 2026 8:26 PM
To: Moeller, Shannon <moellers@boulder.colorado.gov>
Subject: LUR2026-00015 - Request for More Information

Dear Shannon,

I just received a letter in the mail regarding the above Concept Plan Review application and would like to be added to the contact list to review more information on the application as it progresses.

Please advise at your earliest convenience.

Sincerely,

--

Luke Sanzone

Principal Landscape Architect
MARPA
1539 Pearl Street
Boulder, CO 80302
p: 720-470-2920
e: luke@marpa.com
www.marpa.com

From: Jacob Solomon <jacob.mark.solomon@gmail.com>
Sent: Tuesday, March 17, 2026 8:55 PM
To: Moeller, Shannon <moellers@boulder.colorado.gov>
Subject: 2855 Folsom / unity church

Hello Ms. Moeller,

My name is Jacob Solomon and I am a resident on Floral Dr. nearby the proposed development at 2855 Folsom. I was wondering if there are any public hearings to learn more about this proposed development and make our voices heard as neighbors?

I am also wondering if you could share the information that is publicly available about this development?

I'm also wondering what the best forum is to make sure the city is aware of the current issue of loitering around the 7-Eleven caddy corner to this development on the north east side of Folsom and how this proposed project may impact or possibly compound that situation.

As a fairly uninformed, Boulderite, I see so much development happening in the city and the change to the town is palpable. I'd love to lend my voice to say that I hope the intangibles of charm and character are not completely lost to development.

Thank you and best,

Jacob Solomon
C. 410-533-4331

From: E M <bethanmast@gmail.com>
Sent: Tuesday, March 17, 2026 9:26 PM
To: Moeller, Shannon <moellers@boulder.colorado.gov>
Subject: Unity Development

Dear Shannon,

I'm writing you to let you know that I am extremely opposed to the potential Unity Development planned along the hill above Edgewood. This area is a MAJOR wildlife corridor and more homes will destroy the habitat of many animal and plants. Must we continue to develop every square inch of land? Is this really necessary? I've lived in Boulder for 20 years and the change to our city is jaw dropping and is rapidly destroying what makes this place so special. Please don't let a rich developer take more green spaces away from this community.

Thank you,
Elisabeth Mast

From: Melisa Sanzone <melisafrances.dmt@gmail.com>
Sent: Tuesday, March 17, 2026 9:43 PM
To: Moeller, Shannon <moellers@bouldercolorado.gov>
Subject: Concept Plan Review and Comment for LUR2026-00015

Dear Shannon,

I'm writing regarding the Concept Plan Review and Comment notice we received for project LUR2026-00015, located at 2855 Folsom and submitted by William Coburn of Coburn Development, Inc. Following the formal email communication concerning this application, we would like to formally request to be added to the contact list for all future updates.

We have significant concerns regarding the potential impact of this development on our property, as well as the potential effects on the Upper Goose Creek Wildlife Corridor. Given these concerns, we want to ensure we receive all relevant information and notifications regarding the upcoming public hearing before the Planning Board.

Please let me know if you require any additional information from us to include our contact details in the project's distribution list. I look forward to your response.

Best regards,
Melisa
303-725-6189

From: Dennis Robertson <dennyrob45@gmail.com>
Sent: Wednesday, March 18, 2026 7:27 AM
To: Moeller, Shannon <moellers@bouldercolorado.gov>
Subject: Destruction of Edgewood Wild Life Corridor

The coburn project is a sneak-grab at what should have been declared Open Space long ago. Only corruption would prevent a public hearing. Please 🙏 fix this for the citizens and future of Boulder. Thank you. Denny Robertson Sent from my iPhone

From: Erin Ross <erin@wearerenco.com>
Sent: Wednesday, March 18, 2026 8:12 AM
To: Moeller, Shannon <moellers@boulder.colorado.gov>
Subject: 2855 Folsom St

Hi Shannon-

I have just received the mailing on this proposed development.

Please put me on the list to receive more information about this application and the public hearing.

I will be preparing comments.

Thank you,

Erin Ross

From: Dennis Bashline <dbashline@mac.com>

Sent: Thursday, March 19, 2026 7:01 PM

To: Moeller, Shannon <moellers@bouldercolorado.gov>

Subject: OBSERVATIONS, OBJECTIONS, AND CONCERNS: / Re: APOLOGIES!!!! 3/16/26 LETTER TO DEMO - WILLIAM COBURN DEVELOPMENT

Thanks SOOOOOO MUCH for today's info!!!!

Shannon, my very kind MESSENGER MY FEEDBACK

- I see the carrot of Reach6 swinging above hungry wallets. I see an instant asset (and insider trading) with the proposed construction (paid by citizens' dimes through water bills) IF Reach6 builds a ditch resulting and requiring NO flood insurance. New residents will be assured they are perfectly safe as they are allowed to forego huge FEMA bills each month. Win/Win Sell/Sell Yes, MORE SIDE-WINDED ABUSE TO SOUTH SIDE EDGEWOOD RESIDENTS who have already paid in full over the years between the highest flood designation FEMA mortgage requirements AND the more than tripled water bills in just 15 years. I see someone taking advantage of Edgewood's existing misery. We are slated to lose an EXISTING hidden ecosystem and wildlife corridor so the City can greedily redecorate, disturb and alter what has and does already work perfectly for animals and humans with regard to flood. The 1988 C-Dump experts were wrong in their predictions of Edgewood, saying it would float away. Now, the current experts have done a complete about-face and want to covet our homes for their own selfish needs while pretending to care about the wet basements of those who can afford expensive homes on higher ground. Classic SANDBOX BULLY behavior. The big/bad Amazon sees my 'pretty dolly' and GRABS it. Helpless, I silently steal away in sadness.

- RATS IN A BOX. How many more can you squeeze into the town's container? You are creating tiny homes and congestion in an already inundated area of population. You are making life miserable on our streets and in our minds. We are nothing but cement with Gestapo (animal protection/urban rangers/police) tracking our every move on any last space of nature or green we might have left to enjoy.

- The proposed units will likely (?) house the down-trodden and those tiny (?) units will only make mental challenges worse. At least the new owner will achieve a handy system of instant turnover with carte blanche regarding rules and prices. He will proudly become little brother to "McDonald's" and all it represents.

- WE CONTINUE TO LIVE WITH THE HAUNTING OF A BIKE PATH. Neighbors want something timeless and in STONE! Not one is FOR such an invasion. (Many are avid riders!)

With pendulum platforms at full sweep, including a new president and AI progressing rapidly SLOW down before spending needlessly. This is OUR money and our HOME. We don't want it corrupted due to will/nilly whims and needless planning. We are NOT New York — or California.

We remain Colorado minded, dedicated to the basics of kindness, common sense and an all inclusive definition of community! PEGGY AND DENNIS BASHLINE

From: Dennis Bashline <dbashline@mac.com>
Sent: Thursday, March 19, 2026 1:08 PM
To: Moeller, Shannon <moellers@bouldercolorado.gov>
Subject: Re: APOLOGIES!!!! 3/16/26 LETTER TO DEMO - WILLIAM COBURN DEVELOPMENT

3/19/26

Hello, Shannon:

Thank you for responding to our questions. We are building steam with emotion, confusion and interest in how this puzzle is perceived to work. Many of the neighbors are concerned as we are now doubly inundated with The City targeting our corridor way of life and privacy from two unperceived angles. (The removal of our ecosystem's towering trees and a potential bike path continue to haunt.)

Would you be kind enough to update us with the initial and any upcoming public meetings? You may certainly use your regular USPS methods and my email address - dbashline@mac.com — if allowed. (Unlike the first meetings of Reach6 and the property tax appeal process, some thorough and generous notice would be kindly appreciated!)

Thanks Again Peggyb

On Mar 19, 2026, at 9:12 AM, Moeller, Shannon <moellers@bouldercolorado.gov> wrote:

Good morning,

The property is currently owned by Unity of Boulder. I would assume the church is preparing to sell the property and the application has been submitted to get feedback on the proposal prior to a sale. This is common for proposals such as this.

There is no outline on the vicinity map related to the building and parking area. It just shows an outline of the edges of the property line. You can see where the proposed homes would be located by viewing the [proposed plan set/images](#). I have attached an image of the existing aerial photo of the church/parking lot and the proposed site plan for comparison in case that is helpful.

<image002.png>

Best,

Shannon Moeller, AICP
Planning Manager
(pronouns: she/her/hers)
<image001.png>
O: 303-441-3216
moellers@bouldercolorado.gov

Planning & Development Services Department
bouldercolorado.gov

From: Dennis Bashline <dbashline@mac.com>
Sent: Wednesday, March 18, 2026 4:54 PM
To: Moeller, Shannon <moellers@bouldercolorado.gov>
Subject: Re: APOLOGIES!!!! 3/16/26 LETTER TO DEMO - WILLIAM COBURN DEVELOPMENT

Thank YOU! Sorry for being so jumpy into negatives but my trust in City Planning of any kind is never going to mend after the way we (over 300 petitioners) were treated at City Council and other meetings regarding Reach6.

You are saying the property is NOT for sale and that Unity is finding another venue for revenue, I assume???? Coburn is not buying and developing Unity's property, correct?

I did see the on the map, a faint outline in a square representing the current building and parking area. I assume this is it in the way of all construction?

Again, thank you soooooo much for clearing major issues and concerns. Very, Very much appreciated! And a quick reply to the confirmation questions above would be even more appreciated. Peggyb

On Mar 18, 2026, at 4:37 PM, Moeller, Shannon <moellers@bouldercolorado.gov> wrote:

Thank you for your email and feedback on the proposal.

To clarify, the 2855 Folsom Concept Plan proposal is being made by the Unity Church, a private landowner, with their applicant team, Coburn Architecture. The proposal does not involve placing homes on an empty hillside or within the creek corridor. The proposal would involve demolition of the existing Unity Church and parking lot and placing homes in that location (see images at the link below).

The submittal documents are available on the city's development review map; type LUR2026-00015 into the search box and click enter, links to the documents will appear on the left-hand side of the screen.

For your convenience, I have included a direct link to the proposed plan set/images of the proposal.

Please feel free to send me any additional comments related to the 2855 Folsom Concept Plan proposal. Comments received are reviewed by staff, transmitted to the applicant, and included in the written comments provided to the Planning Board. The Planning Board will meet to discuss this Concept Plan at an upcoming meeting, which has not yet been scheduled. I will send an update and additional information once that is scheduled.

Separately, the Goose Creek and Twomile Canyon Creek Flood Mitigation project is a city-managed project managed by the Public Works-Utilities department. Additional information on that project can be found online at: <https://bouldercolorado.gov/projects/goose-creek-and-twomile-canyon-creek-flood-mitigation>. You can contact the Public Works-Utilities department directly with questions about that separate project.

Best,

Shannon Moeller, AICP
Planning Manager
(pronouns: she/her/hers)
<image001.png>
O: 303-441-3216
moellers@bouldercolorado.gov

Planning & Development Services Department
bouldercolorado.gov

From: Dennis Bashline <dbashline@mac.com>
Sent: Wednesday, March 18, 2026 8:49 AM
To: Moeller, Shannon <moellers@bouldercolorado.gov>
Subject: APOLOGIES!!!! 3/16/26 LETTER TO DEMO - WILLIAM COBURN DEVELOPMENT

3/18/26 I retract my apology. Due to your lack of transparency, I now believe Reach6 may very well be involved in this decision to invade our already highly condensed neighborhood area and the wildlife corridor it supports. If you are seeking acceptance, YOU will need to RESOND ASAP as to intention. (Yes, we're back to cloak and dagger!)
Peggy Bashline

Highlights

How Much and Where Exactly?????

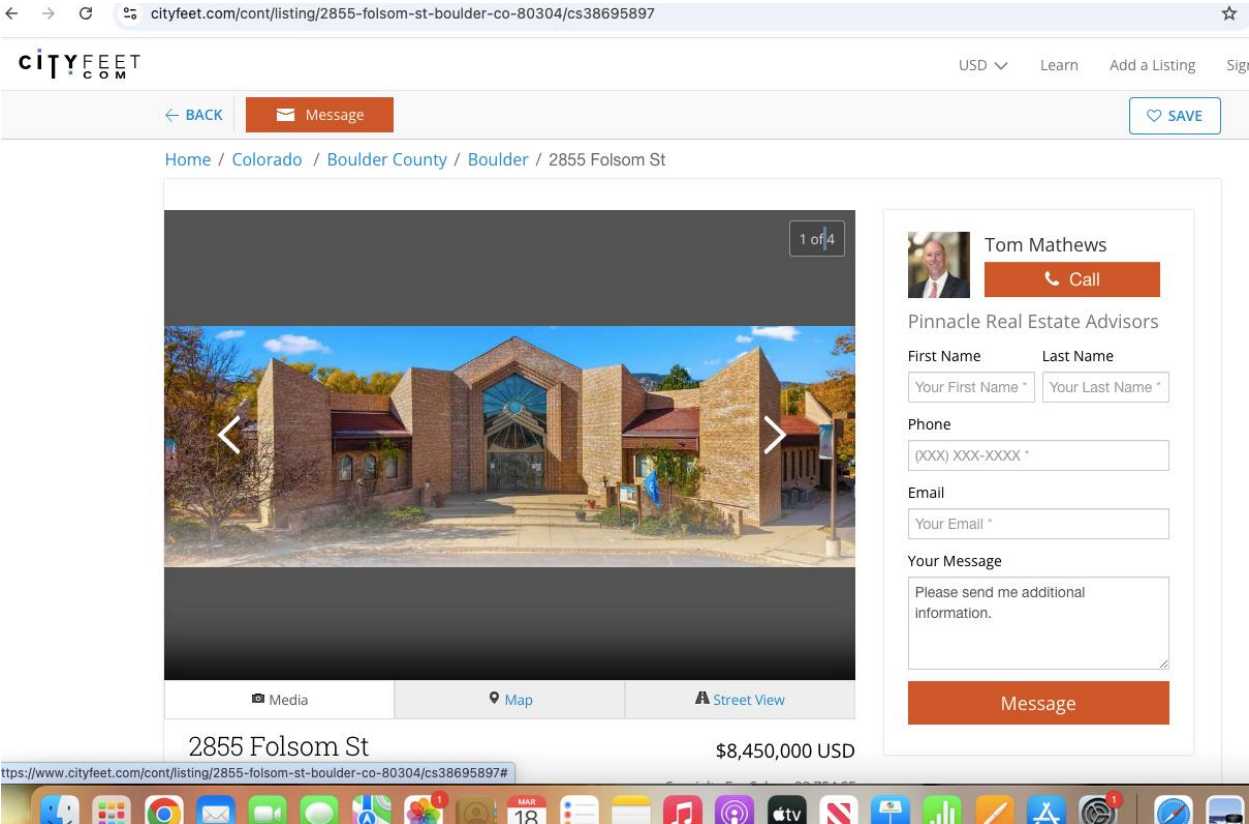
Prime Boulder location.

Existing structure includes sanctuary with 500-person capacity.

Adjacent to Goose Creek Path and Trout Farm Condos

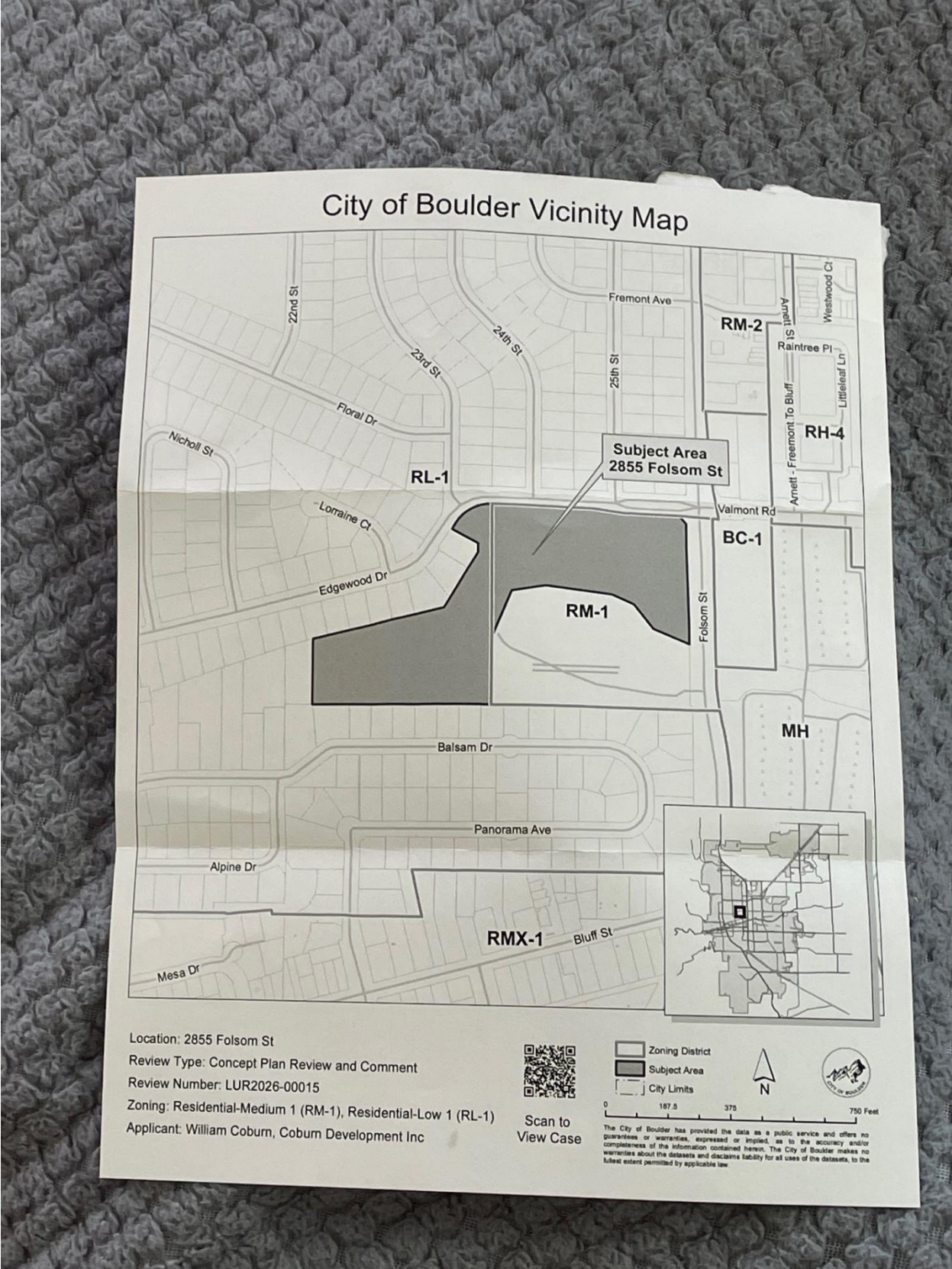
Large land parcel (8.78 acres) - potential redevelopment opportunity

Easy access to major roads: Folsom Street, Valmont Road, 28th Street.



3/17/26 My husband (Dennis) appears to interpret your letter very differently. Sorry, but I am REACH6 sensitive and on high alert with our easement after having lived with it unchanged for 35 years! Peggyb

3/16/26 Dear MOELLERS: WTF IS THIS? It's far too vague and it is deceptively cloak and dagger. IF this pertains to Reach 6 SAY SO! Peggy Bashline





City of Boulder Planning & Development Services

March 11, 2026

Greetings:

We are writing to notify you that the City of Boulder Planning and Development Services Center has received the following development review application:

LOCATION: 2855 FOLSOM ST
 PROJECT NAME: 2855 FOLSOM
 DESCRIPTION: Concept Plan Review and Comment on a proposal to redevelop the existing Unity Church property at 2855 Folsom as 21 detached dwelling units.
 REVIEW TYPE: Concept Plan Review & Comment
 REVIEW NUMBER: LUR2026-00015
 APPLICANT: WILLIAM COBURN, COBURN DEVELOPMENT, INC
 ZONING: Residential - Medium 1 (RM-1), Residential - Low 1 (RL-1)



Scan to view case

What is allowed on this property?

The project site is zoned **Residential - Medium 1 (RM-1)** and **Residential - Low 1 (RL-1)**. RM-1 is described as "Medium density residential areas which have been or are to be primarily used for attached residential development, where each unit generally has direct access to ground level, and where complementary uses may be permitted under certain conditions" per 9-5-2(c)(1)(C), B.R.C. 1981. RL-1 is described as "Primarily detached dwelling units with some duplexes and attached dwelling units at low to very low residential densities" per 9-5-2(c)(1)(A), B.R.C. 1981.

For more information about these zoning districts, refer to the city's land use regulations at https://library.municode.com/co/boulder/codes/municipal_code?nodeId=TIT9LAUSCO.

Why is this review required? What are the criteria for review?

The purpose of a Concept Plan is to receive feedback from staff, the Planning Board and the public early in the development process. Per Section 9-2-14, B.R.C. 1981, the proposal is eligible for a Concept Plan Review because more than five dwelling units are permitted on the property in the RM-1 zoning district. City staff will review the application against the Concept Plan review guidelines of the Land Use Code Section 9-2-13, B.R.C. 1981 and the Design and Construction Standards. You can review these criteria in the city's Land Use Regulations at the link described above.

When will a decision be made?

There is no approval or denial of a Concept Plan application. The Concept Plan Review and Comment process requires staff review and a public hearing. Planning Board, city staff, and neighborhood comments made at the public hearing are intended to be advisory comments for the applicant to consider prior to submitting a detailed Site Review proposal. Staff welcomes inquiries and comments from the public throughout the review process. The public hearing before the Planning Board has not been scheduled yet; if you would like to receive information about the hearing, please contact the case manager, with the contact information below.

How can I find out more?

For more information or to comment on the application, contact the project's staff case manager Shannon Moeller at 303-441-3216 or moellers@bouldercolorado.gov.

Electronic copies of the development review project documents for this application are available online at: <https://maps.bouldercolorado.gov/development-review> (type 'LUR2026-00015' in the search bar, click 'enter' to search).

Physical Address
1101 Arapahoe Ave
Boulder, CO 80302

Mailing Address
PO Box 791
Boulder, CO 80306-0791

BoulderPlanDevelop.net
P: 303-441-1880
F: 303-441-4241

From: Nik Kai Philipsen <nik.philipsen@gmail.com>
Sent: Wednesday, March 18, 2026 11:48 AM
To: Moeller, Shannon <moellers@bouldercolorado.gov>
Subject: Re: 2855 Folsom - We need more housing

One more thing - as you consider this concept plan, I encourage you to consider allowing mixed use. We know mixed use retail adds vibrancy to neighborhood, supports the local economy, and reduces greenhouse gas emissions. This is a perfect location for mixed use development.

Thanks,

Nik

On Wed, Mar 18, 2026 at 11:44 AM Nik Kai Philipsen <nik.philipsen@gmail.com> wrote:
Hi,

I bet you're getting a lot of emails complaining about the proposal for 2855 Folsom. As a neighbor, I'd like to take the other side and support this proposal.

We desperately need more housing in Boulder. City council has recognized the affordability crisis in our city as a priority. Building additional units here, in a central location with high demand, makes total sense.

This isn't a pristine "wildlife corridor" – it's a central city neighborhood. If we don't build more housing centrally, then more housing gets built in the exurbs – which actually is wildlife habitat.

Thank you for everything you do.

Nik Philipsen
3090 17th St

From: Ellen <ellen@ellenknapp.com>
Sent: Thursday, March 19, 2026 9:24 AM
To: Moeller, Shannon <moellers@bouldercolorado.gov>
Subject: Re: Goose Creek development

Thank you Shannon. I understand now about the placement of the new construction to happen where the church and parking lot are. Part 2 of my concern is the increase in residents in this area - the traffic, increase activities in all the businesses and hiking trails. It really begins to alter the character and peacefulness of Boulder to continue to build, especially in quieter places where people have lived and done business for decades. But I fear that there is no preventing the spread.

Thank you, Ellen

ellen@ellenknapp.com
www.ellenknapp.com
720-217-9614

From: Ellen <ellen@ellenknapp.com>
Sent: Wednesday, March 18, 2026 4:36 PM
To: Moeller, Shannon <moellers@bouldercolorado.gov>
Subject: Goose Creek development

Hello Shannon.. I have owned and lived in my house on 15th and Elder for over 30 years. Please do all you can to prevent the development of the 2855 Folsom area along the Goose Creek, behind the church. Not only is it one of the few remaining wild areas in downtown Boulder, the traffic and increase in people everywhere - stores, parking lots, businesses would make this part of North Boulder so much more crowded. Seems like the same old same old that people who've lived here for so long and paid taxes get crowded and priced out of our homes. Please take a stand against this development.

Thank you, Ellen

ellen@ellenknapp.com
www.ellenknapp.com
720-217-9614

From: Laurie Van Grack <laurievangrack@gmail.com>
Sent: Wednesday, March 18, 2026 5:36 PM
To: Moeller, Shannon <moellers@boulder.colorado.gov>
Cc: Mark Van Grack <markvangrack@gmail.com>
Subject: 2855 Folsom project

Hello Shannon,

My name is Laurie Van Grack and I live in one of the houses on Balsam Drive that will be affected by this possible new development. As you can imagine, we are very surprised and concerned to just hear of this possible new development. I would love to hear more detailed information as soon as possible. Would it be possible for the project manager of Coburn Development to speak with some of the neighbors very soon about where and how they would like to develop to hopefully address some of our concerns and fears? I think the more information we have before a public hearing, the better we can understand how it will affect our homes and properties. I would also be happy to have a conversation with you and maybe you can give us some insight as well. I will include my phone number below.

Both myself and my husband (markvangrack@gmail.com) would like to be put on your list to receive information about the public hearing before the Planning Board, when it is scheduled.

Thank you,

Laurie Van Grack :)

303-641-7296

Sent from my iPhone

From: Margery <mmferald@hotmail.com>
Sent: Wednesday, March 18, 2026 6:39 PM
To: Moeller, Shannon <moellers@bouldercolorado.gov>
Subject: LUR2026-00015

Hello Shannon! I am interested in seeing any plans or details concerning this proposed development. I looked at the Boulder Planning and Development web site and found a reference to it but did not find any links to actual drawings or plans.

Thank you,
Margery.

Margery Fernald
303-587-2665

From: Bruce Davis <bld175@gmail.com>
Sent: Wednesday, March 18, 2026 10:00 PM
To: Moeller, Shannon <moellers@boulder.colorado.gov>
Subject: Request for information, 2855 Folsom St

Hello Ms. Moeller,

My home is adjacent to the land that was just sold for the 2855 Folsom St. development and I would like to receive information regarding the concept plan review, comment period and hearings.

In the meantime, I have a series of questions and would love to jump on the phone at some point soon to get a better understanding of the review process. I look forward to being in touch.

Thank you
-Bruce Davis
2325 Balsam Dr,

Bruce L. Davis
bld175@gmail.com
c. 315-256-1215

From: Joan Cheng <jebc23@gmail.com>
Sent: Thursday, March 19, 2026 8:33 PM
To: Moeller, Shannon <moellers@bouldercolorado.gov>
Subject: Re: Development proposal at Unity Church site

Thanks for the clarification, Ms Moeller.

I understand the 21 homes will not be built within the creek corridor. However, the disturbance to wildlife moving through that area will be immense as a result of the construction project alone, not to mention the increased presence of people, cars, and pets once the 21 homes are occupied.

This development will cause major disruption to wildlife's habitat and patterns. Please build elsewhere.

Best regards,
Joan Cheng

On Thu, Mar 19, 2026 at 3:39 PM Moeller, Shannon <moellers@bouldercolorado.gov> wrote:
Thank you for your email and feedback on the proposal.

To clarify, the proposal does not involve placing homes within the creek corridor. The proposal would involve demolition of the existing Unity Church and parking lot and placing homes in that location (see images at the links).

The submittal documents are available on the city's development review map; type LUR2026-00015 into the search box and click enter, links to the documents will appear on the left-hand side of the screen.

For your convenience, I have included a direct link to the proposed plan set/images of the proposal.

Comments received are reviewed by staff, transmitted to the applicant, and included in the written comments provided to the Planning Board. The Planning Board will meet to discuss this Concept Plan at an upcoming meeting, which has not yet been scheduled. I will send an update and additional information once that is scheduled.

Best,

Shannon Moeller, AICP
Planning Manager
(pronouns: she/her/hers)

O: 303-441-3216
moellers@bouldercolorado.gov

Planning & Development Services Department
bouldercolorado.gov

From: Joan Cheng <jebc23@gmail.com>
Sent: Thursday, March 19, 2026 1:26 PM
To: Moeller, Shannon <moellers@bouldercolorado.gov>
Subject: Development proposal at Unity Church site

Dear Ms Moeller:

I am writing to plead with you not to allow Coburn's development project to go ahead at the site of the Unity Church.

I have lived on Alpine Ave for 28 years, and in Boulder for 53. I walk the Alpine neighborhood often, with and without my dog. I have seen bears, foxes, and bobcats there...and have tracked mountain lions up on Alpine & Balsam Drives.

My concerns are as follows:

1. Goose Creek is an important wildlife corridor. A building project there would most certainly disturb wildlife movement.
2. Goose Creek is in the floodplain. Any housing would be at risk for flooding.
3. This is a beautiful property which has been home to a trout farm, and then a spiritual center for years. It deserves to be preserved for its beauty and tranquility.

Please save this property from the proposed development, and do not allow the project to move forward.

Thank you for your consideration and attention.

Best wishes,
Joan Cheng

From: Robin Lowry <robin.lowry@comcast.net>
Sent: Thursday, March 19, 2026 6:16 PM
To: Moeller, Shannon <moellers@boulder.colorado.gov>
Subject: Unity Church Property

I see a problem with the housing diagram. I suspect that each unit has covered parking. But there seems to be no other spaces available. 21 homes will have visitors and visitors will come by car and where will they park?

Sent from my iPhone

From: mcr@cookhappylivehealthy.org <mcr@cookhappylivehealthy.org>
Sent: Friday, March 20, 2026 2:58 PM
To: Robin Lowry <robin.lowry@comcast.net>; Moeller, Shannon <moellers@bouldercolorado.gov>
Subject: Re: Fwd: 2855 Folsom Concept Plan - Link to Plan Drawing

Hello Shannon. I am following up on comments shared by Robin Lowry. Although not currently proposed, I want to voice in advance any efforts to build in the creek area. This is an important wildlife area and the trees are invaluable (just ask your sister agency, CoolBoulder)
On another point, the church flooded badly in the 2013 flood, so I hope the City is keeping that in mind when approving any plans for a housing development. Thank you

Mary Rogers
2205 Balsam Dr.

On 2026-03-18 23:02, Robin Lowry wrote:

Sent from my iPhone

Begin forwarded message:

From: "Moeller, Shannon" <MoellerS@bouldercolorado.gov>

Date: March 18, 2026 at 12:10:39 PM MDT

To: robin.lowry@comcast.net

Subject: 2855 Folsom Concept Plan - Link to Plan Drawing

at this time, the plan is for 21 detached housing units to be built where the church is and the parking lots. No plans at present to build in the creek area. But that could change and I was encouraged to tell folks to write in their opinions (especially about preserving the Wildlife Corridor) . Shannon was really nice to talk with and she encouraged all of us to send in our opinions now. There will be a public hearing later, but now is the best time to get our opinions to them.
Robin

Hi Robin, It was nice speaking to you this morning.

For the 2855 Folsom Concept Plan, you can review the submittal documents are available on the city's development review map; type LUR2026-00015 into the search box and click enter, links to the documents will appear on the left-hand side of the screen.

For your convenience, I have included a direct link to the proposed plan set/images (PDF) of the proposal, which shows the plan of how the applicant proposes to demolish the Unity Church building/parking lot and replace that area with the 21 homes. The area further west (open hillside) and the corridor along the creek are not proposed to have any new structures.

Please feel free to send me any written comments that you would like – comments received are reviewed by staff, transmitted to the applicant, and included in the written comments provided to the Planning Board.

Best,

Shannon Moeller, AICP
Planning Manager
(pronouns: she/her/hers)

O: 303-441-3216
moellers@bouldercolorado.gov

Planning & Development Services Department
bouldercolorado.gov

From: Helen Gleason <Helengleason@outlook.com>
Sent: Saturday, March 21, 2026 1:59 PM
To: Moeller, Shannon <moellers@boulder.colorado.gov>
Subject: Unity of Boulder zoning

Please add me to any lists of interested parties to this land review. If you know when the property became residential zoned.. I recall conversation when the Unity Church was built in the early 1990's it had a special zoning designation for a church or school.

Helen Hosner
2635 Mapleton Ave 42
Boulder 80304
Sent from my iPad

From: Wendy <irongymwendy@gmail.com>
Sent: Wednesday, March 25, 2026 9:55 AM
To: Moeller, Shannon <moellers@bouldercolorado.gov>
Subject: Re: Review comment: 2855 Folsom Street

The higher density living, compared to what's there would be impactful to local wildlife that's already been impacted by the nearly half vacant high density housing on 30th

Goose creek used to have regular coyote and fox traffic
It no longer does

Tragic!!!!

And while this development is local, most are not local developers

Wendy Rein,
Boulder, CO

Sent from my iPhone.
Please excuse typos.

On Mar 25, 2026, at 9:51 AM, Moeller, Shannon <moellers@bouldercolorado.gov> wrote:

Thank you for your email and feedback on the 2855 Folsom Concept Plan proposal.

The submittal documents are available on the city's development review map; type LUR2026-00015 into the search box and click enter, links to the documents will appear on the left-hand side of the screen.

For your convenience, I have included a direct link to the proposed plan set/images of the proposal.

To clarify, the proposal does not involve placing homes on empty hillside areas or within the creek corridor. The proposal would involve demolition of the existing Unity Church and parking lot and placing homes in that location (see images at the links).

Comments received are reviewed by staff, transmitted to the applicant, and included in the written comments provided to the Planning Board. The Planning Board will meet to discuss this Concept Plan at an upcoming meeting, which has not yet been scheduled. I will send an update and additional information once that is scheduled.

Best,

Shannon Moeller, AICP
Planning Manager

(pronouns: she/her/hers)
<image001.png>
O: 303-441-3216
moellers@bouldercolorado.gov

Planning & Development Services Department
bouldercolorado.gov

From: Wendy <irongymwendy@gmail.com>
Sent: Sunday, March 22, 2026 12:37 PM
To: Moeller, Shannon <moellers@bouldercolorado.gov>
Subject: Review comment: 2855 Folsom Street

External Sender Notice This email was sent by an external sender.

Please say no to this development!!!
It's a critical wildlife corridor!!!!
We don't need more houses!!!
The vacancy numbers in town are staggeringly high!

Kindly
Wendy
Wendy Rein,
CATS Gym,
Boulder, CO

Sent from my iPhone.
Please excuse typos.

From: Nic Park <yonicip@gmail.com>
Sent: Monday, March 23, 2026 8:39 AM
To: Moeller, Shannon <moellers@boulder.colorado.gov>
Subject: 2855 Folsom st.

Please keep me informed on future reviews and public hearing for this project. LUR2026-00015
Thank you,
Nick Kyuwon

Sent from my Verizon, Samsung Galaxy smartphone
Get Outlook for Android

From: Michael Smith <silverbirdmoonlight@gmail.com>
Sent: Monday, March 23, 2026 9:44 AM
To: Moeller, Shannon <moellers@boulder.colorado.gov>
Subject: Unity Church development application

Good morning,

I live on 24th St in Boulder. Unity Church is at the end of our street. I would very much like to look at the current residential development application for the Unity property.

Can you tell me how to access that information? My sense is that the information is online somewhere but I am not sure how to access it.

Thank you,
Michael Smith
Boulder

From: Scott Imig <scottimig@gmail.com>
Sent: Tuesday, March 24, 2026 10:02 AM
To: Moeller, Shannon <moellers@boulder.colorado.gov>
Subject: public hearings on Unity of Boulder property

Hello,

I would like to be informed of any upcoming hearings about the proposed development of the Unity of Boulder property at Folsom and Valmont. I oppose any development of housing there, and would like to have a chance to give my point of view.

<https://www.dailycamera.com/2026/03/20/boulder-spiritual-center-unity-church-housing-development/>

Thank you,
Scott Imig

From: Vaux - CDPHE, Megan <megan.vaux@state.co.us>
Sent: Thursday, March 26, 2026 10:24 AM
To: Moeller, Shannon <moellers@boulder.colorado.gov>
Subject: Unity Boulder Information

Hello

I am reaching out to request updates & information regarding the plans for Unity Church area and the public hearing or request for comments, as encouraged in recent news article.

I am interested in following along with the process.

Thank you.

Megan

Megan Vaux
HFEMSD Inspector Academy

4300 Cherry Creek Drive South, Denver, CO 80246
megan.vaux@state.co.us | www.healthfacilities.info

From: hammerlj (null) <hammerlj@aol.com>
Sent: Friday, March 27, 2026 3:40 PM
To: Moeller, Shannon <moellers@boulder.colorado.gov>
Subject: 2885 Folsom Project

Hi Shannon,

I'm in the neighborhood, and I'd like to be kept abreast of plans for the Unity parcel. (2885 Folsom). The mailer I received is the first I'd heard of things changing there. Thanks.

Lauren J. Hammer

From: nancy trigg <nancytrigg@gmail.com>
Sent: Thursday, April 2, 2026 6:54 PM
To: Moeller, Shannon <moellers@bouldercolorado.gov>
Subject: Re: 2855 Folsom

Hi Shannon

I wanted to follow up one more time on this issue, the more I have reviewed the plans. Rather than Coburn presenting the hill area between goose creek south up the hill to balsam as an easement or open space, what would get me and many other neighbors on board with development of the church property is if the area marked RL1 is designated as a protected area / wildlife corridor, with no public access of any kind, ever. For Coburn to be offering this to the city as part of this project is super concerning on so many levels, especially when the community support for protecting this area is overwhelming. It is one of the last active corridors for wildlife in this area and the impact on any access to this area would be irreversible. Protecting the area along goose creek and up the hill is the biggest point of concern and pushback that will exist if any project of this sort is to move forward.

Thanks

Nancy

From: John Berggren <john.berggren@westernresources.org>
Sent: Friday, April 3, 2026 2:14 PM
To: Moeller, Shannon <moellers@bouldercolorado.gov>
Subject: Planning Board hearing info re 2855 Folsom St concept plan

Hi Shannon,

I was just reading through the March 11 development review application summary, and it said to contact you if we'd like to receive information about the upcoming Planning Board hearing about the 2855 Folsom redevelopment project.

Would it be possible to add me to any communication about that hearing? We live just up Edgewood from this proposed project, so would like to follow it closely.

Thanks much!

John

John Berggren
Regional Policy Manager, Healthy Rivers
720-763-3729

WesternResourceAdvocates.org

john.berggren@westernresources.org

1401 Walnut Street, Suite 200 | Boulder, CO 80302

From: Mark Collins <markctrout67@gmail.com>
Sent: Monday, April 6, 2026 11:42 AM
To: Moeller, Shannon <moellers@bouldercolorado.gov>
Subject: Unity Church Questions

Shannon, could you kindly offer the answers to a few questions? How could The Unity of Boulder Spiritual Center at 2855 Folsom Street, Boulder be listed as vacant property with no structures on it have a 33,754 sq foot church structure on it for the past 45 years or more as stated by Matthew at the Boulder County Assessor's Office on 4/6/2026 and have a development review with? How can it be a tax free landlord/residential property for the past 45 years listed as a rental tenant property online with at least one or more tenants below now in their basement etc, possibly with no church toilets etc. and not to residential code for this tenant rental property structure, claiming to be a nonprofit with no property owner? How can this property be sold with no property owner, needing: a person, group or business, listing their structure as the Unity Church owner and must be up to residential building codes also zoning to rent? How can this property be zoned as residential if an invisible 33,754 sq foot structure is on it now for 45 years or more and is a commercial property? Shannon, do you see the huge problems here with no owner, not up to code as a potential criminal property with giant property taxes owed as a residential landlord rental property there, not zoned correctly for Homeland Security to investigate and clarify who owns this property such as preventing drug lords etc. from criminally using fake titles to do crimes? What needs to happen immediately here, court tenant evictions and red tagging this property, the making this property into park land etc. after, at their expense? Could you kindly email me back with these answers? Your cooperation will be recorded for Homeland Security. Mark Collins email - - markctrout67@gmail.com

From: Mark Collins <markctrout67@gmail.com>
Sent: Tuesday, April 7, 2026 10:31 AM
To: Moeller, Shannon <moellers@bouldercolorado.gov>
Subject: Reponse

I appreciate your quick response and already have notified Homeland Security on this potential criminal Unity Church Property matter, to be possibly investigated and to be determined with facts and evidence, also with separate very important national security issues. I did contact the county assessor's office before contacting your dept. and they are working on this Unity Church matter too, agreeing to work with H.S. if requested to. Can verify this with Matthew at the county assessor's office. Matthew and I both agree there is no Unity Church Structure on their assessor's map and there might be no record of that 33,754 sq. ft. structure ever existing at the assessor's office. There is no record of any residential rental property taxes ever paid there as recorded online as a rental property with current tenants to date. Shannon, you stated this is a residential property and not commercial that must be taxed as such and this dept. appears to refuse to red tag this property for possible building code violations etc. I'm not requesting any further comments from your dept. and you're claiming you're dept. will conduct a future concept meeting with a property with no owner of a church building that potentially can't legally exist. I will forward your response to Homeland Security, Mark Collins.

From: Shane Enzensperger <shaneenzensperger@gmail.com>
Sent: Monday, April 6, 2026 5:29 PM
To: Moeller, Shannon <moellers@bouldercolorado.gov>
Subject: 2855 Folsom St

Hi,

I am a resident of the nearby parcel that is up for a concept plan review, #LUR2026-00015.

I would like to provide feedback.

I was a recent member of the 15-minute neighborhood community assembly for the City of Boulder. I am also a resident of the dense housing complex adjacent to this property up for redevelopment. I find that this property at 2855 Folsom St., currently occupied by the Boulder Unity church, is a perfect example of the kind of property that should be kept as a community space for the neighborhood that surrounds it. It is centrally located, it is on a bike path that is accessible and well maintained. I could imagine this being a new community center offering arts activities, daycare, community development workshops, environmental courses, or a community garden space, or a new farm space, both providing organic wholesome food to Boulderites. This property being turned into low-density housing is absolutely contrary to the recommendation laid out by the 15-minute neighborhood assembly. We did not recommend any zone be changed to low-density housing almost anywhere in the Boulder City limits, and that our main request was for more small-business spaces, community gathering spaces and services closer to people. If any housing was to be built, it should be forced to include public spaces like businesses that provide essential services. Please refer back to the 15-minute neighborhood recommendation and you will find that the proposed development of this property is against the best interest of the city and its residents.

Thank you,
Shane Enzensperger

From: Don Elsborg <don.elsborg@gmail.com>
Sent: Thursday, April 9, 2026 11:15 PM
To: Moeller, Shannon <moellers@bouldercolorado.gov>
Subject: Interest in case - LUR2026-00015 - Unity church

Hello,

I'm a neighbor in the area and would like to be kept up to date regarding review of LUR2026-00015 - Unity church

I'm curious if the property was always zoned RM-1 and RL-1 or if this changed recently. If so, what is the process regarding changing a zoning for an area.

Also, regarding the planned development, from what I can tell the homes are to be built on the existing paved/built area and no building will occur in the creek area, is this correct?

Finally, can you send me a link to the plan for goose creek? I would like to see how this plan fits with the goose creek mitigation plan.

Thank you

Don Elsborg

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“When the power of love overcomes the love of power, the world will know peace.”

Jimi Hendrix

From: M Ito <kanayahama@aol.com>
Sent: Sunday, April 19, 2026 2:59 PM
To: Moeller, Shannon <moellers@bouldercolorado.gov>
Subject: LUR 2026-00015

I am writing to express my great concern about the proposed development at 2855 Folsom Street and the impact it would have on the Goose Creek Wildlife Corridor and on me and all my neighbors on Edgewood and surrounding streets. (I'm at 2254 Edgewood Drive)

This project would negatively affect wildlife, flora and fauna and all the people living nearby. It would increase traffic and noise. The proposed 15 foot bicycle/pedestrian path easement (formerly the City promised there would not be one) would do all of the above as well as disturb our dogs and increase the likelihood of danger and crime to me and my neighbors. These developments would ruin our peaceful, safe neighborhood.

I ask that the City redesign or deny this proposal until all these concerns are taken care of. Thank you

Sincerely,
Mimi Ito
2254 Edgewood Drive

From: Margery <mmferald@hotmail.com>

Sent: Sunday, April 19, 2026 7:14 PM

To: Moeller, Shannon <MoellerS@bouldercolorado.gov>

Subject: Re: Concept Plan for 2855 Folsom (LUR2026-00015) - Planning Board Meeting on May 5

Hello Shannon! I've carefully reviewed the plans and believe this project is way too large for the piece of property and that 7-10 single family dwellings should be the maximum number built.

Best,
Margery.

From: Michael Smith <silverbirdmoonlight@gmail.com>
Sent: Tuesday, April 21, 2026 4:07 PM
To: boulderplanningboard <boulderplanningboard@bouldercolorado.gov>
Subject: Concept Plan for 2855 Folsom (LUR2026-00015)

My name is Michael Smith. My wife and I have lived at 3115 24th St since 1990.

In regards to the concept plan for the Unity Church project I have a few concerns.

The site is in a 100 year flood plain. Water not only floods from Goose Creek but also flows down 24th, 25th St and 23rd St as those streets are sloped towards the site. The city's Reach 6 project to expand Goose Creek will add water from Two Mile Canyon in addition to the water currently draining into Goose Creek. Although the city maintains the project will lessen the floodplain area no one knows if it really works until it is tested by the elements. I personally would not risk buying a \$1M plus house in area with that unknown.

-The site is partially under high tension electrical wires. The houses along Floral St that have the lines behind their backyard have a 15% reduction in their property tax valuation.

-My memory is that the when the site was used as a trout farm that the area was roughly the same height as Goose Creek so water could be channeled into the breeding slots. When the church was built I think much of the site was raised around 4 or 5 feet. One can see that the wooden bulwarks on the west and south side of the property are all leaning outwards suggesting that the soil base has shifted and that housing built will need to have at least short piers for stabilization, adding to the cost. I am no expert on this topic.

-The 20% figure used for alternative transportation is pure speculation. The City of Boulder has not dealt with with its patched together bicycle infrastructure or the negative effect of electrical bicycles on the bike paths. The city continues to be an extremely dangerous place to ride a bike. The recent Transportation Department Vision Zero report listed vehicle/bicycle accidents as constituting 38% of accidents in the city. Pedestrian/vehicle accidents are the next biggest category. The bus system is not very good.

My biggest concern with the concept plan is the idea of having the sole entry/exit be on Edgewood close to Folsom and the Edgewood/Valmont intersection. It would be straight across from 25th St. Edgewood is a busy two lane street with the vehicle count from 2023 showing 7600 cars traveling at an average of 32 mph. The speed limit is 25 mph. The Goose Creek bike path ends on Edgewood roughly across from 24th St. It is a extremely dangerous crossing as cars often don't stop or only one lane stops. A bicycle rider was killed there in 2025. The city used to have a bollard in the center of the crosswalk with a sign saying to stop for people in the crosswalk but it was flattened so many times that the city finally gave up. The path is used a lot including by parents bringing their children to school at Columbine Elementary. Valmont east of Folsom heading west is two lanes and has a speed limit of 35 mph. Cars proceeding straight through the intersection must merge into one lane which creates a line of cars. At busy times this makes it hard to turn onto Edgewood from 24th St.

There is a speed bump just past 25th St which was advocated for by the homeowner at Edgewood and 23rd after 4 cars over time plowed into their fence on the curve. There are two radar speed signs heading west, one at 23rd St and one at Nicholls St.

In short, Edgewood is already a problematic street. It will probably get worse when the Iris St resizing happens. People already cut through the neighborhood on Grape St and Glenwood St to avoid the intersection of Iris and Folsom. Please do not add to the problem with more traffic from the Unity project. Please keep Folsom St as the main entry/exit. Maybe there will have to be a stoplight on demand added at the exit similar to the one on 30th St across from the new fire station.

I understand the need for single home family housing and I am not against projects per se, but I do think there are too many shortcomings with the Unity Site as it stands to justify the cost of homes, which due to labor and material costs have continued to rise dramatically.

Though there were mailings that complied with the literal legal requirements, only half the people on my block were notified as they were beyond a certain distance. It would have been much better if Unity Church had hosted a Q&A open house to explain the concept plan. I read the public comments recently and there was much misunderstanding about the plan. I hope in the future does a better job of communicating.

Thank you,
Michael Smith
Boulder

From: Whitney Riker <whitneymriker@gmail.com>
Sent: Wednesday, April 29, 2026 11:37 AM
To: Moeller, Shannon <moellers@boulder.colorado.gov>
Cc: Devin Riker <devin.riker@gmail.com>
Subject: Goose Creek / Unity / Coburn development proposal

Hello, Shannon,

We live at 2278 Edgewood drive and are very excited and supportive to hear about the possible development of the current unity church property into new housing. We have a young family here in the neighborhood and see no downsides to this proposal.

Additionally, should a new road be developed and additional families who attend the local Columbine elementary school move to the area, we'd love to also see this as an opportunity for additional speed humps or cross walks to further slow down through traffic / speeders we have seen go dangerously fast down Edgewood in our 10 years of living here. Making it safe for elementary schoolers to cross the main road would be great!

Look forward to hearing what the next steps in this overall proposal/ project might entail.

Cheers,
Whitney & Devin Riker

From: nancy trigg <nancytrigg@gmail.com>
Sent: Monday, May 4, 2026 8:44 AM
To: boulderplanningboard <boulderplanningboard@bouldercolorado.gov>
Subject: Comments on 2855 Folsom

2 primary concerns with this project.

1. The land south of goose creek that is currently owned by the church needs to be closed off to human access. The church has been a good steward of this land, limiting access to the hill. Current plans seem to include a path of sorts and nature viewing area. This is not an acceptable use of this land. It should be closed off to public and protected due to high volume of bears, mt lions, fox dens and other wildlife that calls this hillside a safe respite from community interference. Neighbors along this corridor have long protected this space and will continue to do so.

<https://youtu.be/Zx6YlepXaHc?si=1xeQwtsqqpQHaa3y>

Please consider what options exist for eliminating potential of increased human presence on this hill in any plan being considered. The church considered splitting off this land at some point and I would encourage the highest protection plan that is possible. (See videos and photos attached)

2. Closing off the Folsom access will lead to further traffic issues along edgewood when folks are attempting to turn south into the new complex. There should be an access / exit point on Folsom



From: [Robin Lowry](#)
To: [boulderplanningboard](#)
Subject: Meeting on proposal for development of Unity Church Property
Date: Monday, May 4, 2026 9:07:20 PM

External Sender Notice This email was sent by an external sender.

Was planning on attending in person. Just learned it will only be remote, so my thoughts are late being submitted. Hope you can still include them.

I wish to bring to everyone's attention the impact the proposed redevelopment of the Unity Church property would have on the Goose Creek Wildlife Corridor.

The continued growth of development in Boulder in the past years has negatively impacted the natural wildlife corridors in town. The Goose Creek drainage from Unity Church west to 19th street is one of the few remaining.

The development of 20 residences on the Unity Property will result in a great deal of human presence along the creek bed and drive all the diverse wildlife out of the area. And diverse it is.

For 2 of the last four years I have had fawns born on my front door step! Baby fox romp with each other in the back yard next door, Hawks, ducks, robins, black birds, squirrels, snakes, (to name just a few) thrive in the natural, undisturbed space.

We need to protect this space, this corridor that shows how humans CAN co-exist with nature and not destroy the biodiversity we have been gifted.

I understand that a change is coming to the Unity property. But perhaps developing it for a less dense residential property or a commercial one would have less negative effect on the creek area.

Robin Lowry
2585 Balsam Drive
Boulder
Sent from my iPhone

1889 York Street
Denver, CO 80206
(303) 333-1105
FAX (303) 333-1107
E-mail: lscdenver@lsctrans.com



March 4, 2026

Mr. Fabian Baumann
Coburn Architecture
2718 Pine Street, # 100
Boulder, CO 80302

Re: 2855 Folsom Street
Boulder, CO
LSC #260160

Dear Mr. Baumann:

In response to your request, LSC Transportation Consultants, Inc. has prepared this Trip Generation and Assignment Report to satisfy the Concept Review requirements for the proposed 2855 Folsom Street redevelopment in Boulder, Colorado.

IMPACT AREA

Figure 1 shows the vicinity map.

Area Roadways

The major roadways in the site's vicinity are shown on Figure 1 and are described below.

- **Folsom Street** is a north-south, two-lane minor arterial east of the site. The intersection with Edgewood Drive/Valmont Road is signalized with auxiliary lanes. The posted speed limit in the vicinity of the site is 30 mph. There are detached sidewalks on both sides of the road and bike lanes in each direction adjacent to the site.
- **Edgewood Drive** is an east-west, two-lane collector roadway north of the site. The intersection with Folsom Street is signalized with auxiliary lanes. The posted speed limit in the vicinity of the site is 25 mph. There is a detached sidewalk on the south side and an attached sidewalk on the north side of the roadway. There are dedicated bike lanes in each direction.

PROPOSED LAND USE AND ACCESS

The site is proposed to be redeveloped with 21 single-family detached dwelling units. The conceptual site plan is shown in Figure 2.

ALTERNATIVE TRAVEL MODES

An alternate travel mode share of 20 percent is expected and will be supported by a future Travel Demand Management (TDM) Plan.

TRIP GENERATION

Table 1 shows the estimated typical weekday, morning peak-hour, and afternoon peak-hour trip generation for the site based on the rates from *Trip Generation, 12th Edition, 2025*, by the Institute of Transportation Engineers (ITE) for two scenarios.

The site is projected to generate about 191 vehicle-trips on the average weekday, with about half entering and half exiting the site during a 24-hour period. During the morning peak-hour, which generally occurs for one hour between 6:30 and 8:30 a.m., about 4 vehicles would enter and about 11 vehicles would exit the site. During the afternoon peak-hour, which generally occurs for one hour between 4:00 and 6:00 p.m., about 12 vehicles would enter and about 7 vehicles would exit the site.

These volumes are expected to be reduced by about 20 percent due to alternative travel modes. This will be supported by a future Travel Demand Management (TDM) Plan.

TRIP DISTRIBUTION

Figure 3 shows the estimated distribution of site-generated traffic.

TRIP ASSIGNMENT

Figure 4 shows the assignment of site-generated traffic on the adjacent street network.

* * * * *

Mr. Fabian Baumann

Page 3

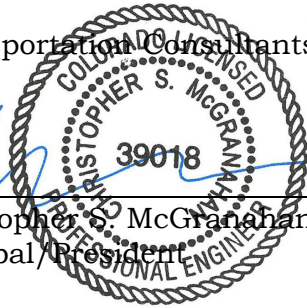
March 4, 2026
2855 Folsom Street

We trust this information will assist you in planning for the proposed 2855 Folsom Street redevelopment.

Respectfully submitted,

LSC Transportation Consultants, Inc.

By: 
Christopher S. McGrath, P.E.
Principal/President



CSM/wc

3-4-26

Enclosure: Table 1
Figures 1 - 4

G:\Shared drives\Denver Projects 2021-2030\2026\260160-2855-Folsom TG&A\Report\2855-Folsom-030426.wpd

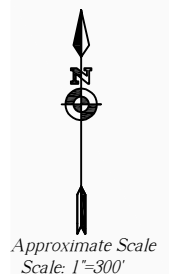


Figure 1
**Vicinity
Map**

2855 Folsom Street (LSC #260160)

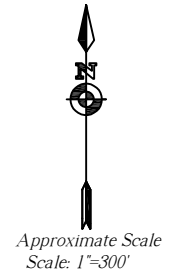


Approximate Scale
Scale: NTS

Figure 2

Site Plan

2855 Folsom Street (LSC #260160)



LEGEND:

= Percent Directional Distribution

Figure 3
Directional Distribution of Site-Generated Traffic

2855 Folsom Street (LSC #260160)

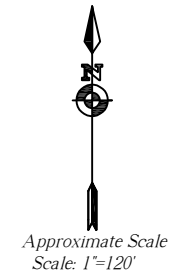
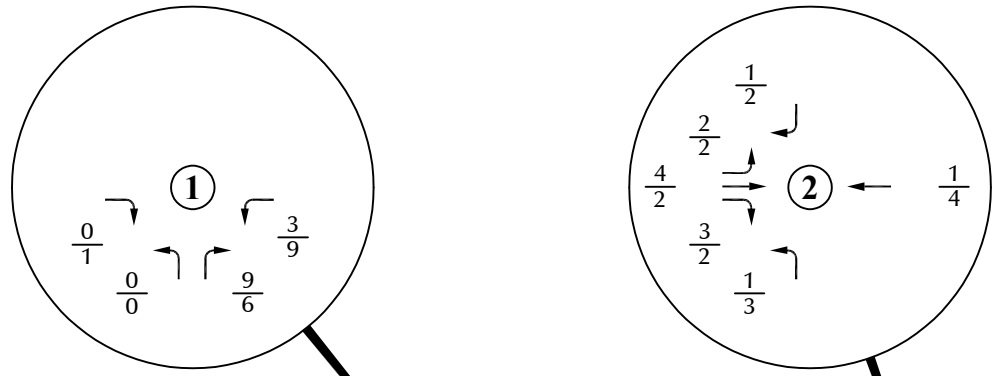


Figure 4

LEGEND:

- $\frac{26}{35}$ = AM Peak Hour Traffic
- $\frac{35}{35}$ = PM Peak Hour Traffic
- 1,000 = Average Daily Traffic

Assignment of Site-Generated Traffic

2855 Folsom Street (LSC #260160)