



**CITY OF BOULDER
PLANNING BOARD MEETING AGENDA**

DATE:

June 23, 2026

TIME: 6:00 PM

PLACE: Virtual Meeting

1. CALL TO ORDER

2. PUBLIC PARTICIPATION

3. APPROVAL OF MINUTES

A. The February 17, 2026 Planning Board draft minutes are scheduled for approval.

B. The April 28, 2026 Planning Board draft minutes are scheduled for approval.

4. CALL UP ITEMS

A. Call Up Item: Use Review to convert an existing ground floor office space at 2521 Broadway Unit A into a three-bedroom residential unit in the BC-2 zone. This approval is subject to a call-up on or before June 26, 2025.

B. Call Up Item: FINAL PLAT for the Sigma Nu Fraternity project, including the elimination of an existing parcel line and dedication of easements on the 0.59-acre property at 1021 and 1043 Pleasant Street. This approval is subject to call-up on or before June 26, 2026. 1021 and 1043 Pleasant Street.

5. PUBLIC HEARING ITEMS

6. MATTERS FROM THE PLANNING BOARD, PLANNING DIRECTOR, AND CITY ATTORNEY

A. Civic Area East Bookend Public Private Partnership RFP

7. DEBRIEF MEETING/CALENDAR CHECK

8. ADJOURNMENT

For more information call (303) 441-1880. Board packets are available after 4 p.m. Friday prior to the meeting, online at www.bouldercolorado.gov.

*** SEE REVERSED SIDE FOR MEETING GUIDELINES ***

**CITY OF BOULDER PLANNING BOARD
VIRTUAL AND HYBRID MEETING GUIDELINES**

These guidelines apply to electronic meetings and hybrid meetings. Hybrid meetings permit simultaneous in-person and electronic participation.

CALL TO ORDER

The Board must have a quorum (four members present) before the meeting can be called to order.

AGENDA

The Board may rearrange the order of the agenda or delete items for good cause. The Board may not add items requiring public notice.

PUBLIC PARTICIPATION

The public is welcome to address the Board (3 minutes* maximum per speaker) during the Public Participation portion of the meeting regarding any item not scheduled for a public hearing. The only items scheduled for a public hearing are those listed under the category PUBLIC HEARING ITEMS on the Agenda. **Any exhibits introduced into the record must be provided to the Board Secretary for distribution to the Board and admission into the record via email 24 hours prior to the scheduled meeting time.**

DISCUSSION AND STUDY SESSION ITEMS

Discussion and study session items do not require motions of approval or recommendation.

PUBLIC HEARING ITEMS

A Public Hearing item requires a motion and a vote. The general format for hearing of an action item is as follows:

1. Presentations

- Staff presentation (10 minutes maximum*).
- Applicant presentation (15-minute maximum*). Any exhibits introduced into the record at this time must be provided to the Board Secretary by email, no later than 24 hours prior to the scheduled meeting time, for distribution to the Board and admission into the record.
- Planning Board questioning of staff or applicant for information only.

2. Public Hearing

Each speaker will be allowed an oral presentation of up to three minutes*. Three or more people may pool their allotted time so one speaker can speak for five minutes*. To pool time, all the people pooling time must be present in-person in the physical meeting room or present electronically when the spokesperson is called to speak. Speakers with pooled time must identify the people they are pooling time with by first and last name when called upon to speak, so they can be called upon to confirm their presence and willingness to pool their speaking time.

- Speakers should introduce themselves, giving name and address. If officially representing a person, entity, group, homeowners' association, etc., please state that for the record as well.
- The board requests that, prior to offering testimony, the speaker disclose any financial or business relationship with the applicant, the project, or neighbors. This includes any paid compensation. It would also be helpful if the speaker disclosed any membership or affiliation that would affect their testimony.
- Speakers are requested not to repeat items addressed by previous speakers other than to express points of agreement or disagreement. Refrain from reading long documents and summarize comments wherever possible. Documents and other physical evidence must be submitted via email 24 hours prior to the scheduled meeting to become a part of the official record.
- Speakers should address the applicable Land Use Code criteria and, if possible, reference the criteria that the Board uses to decide a case.
- Any exhibits intended to be introduced into the record at the hearing must be emailed to the Secretary for distribution to the Board and admission into the record **24 hours prior to the meeting.**
- Citizens can email correspondence to the Planning Board and staff at boulderplanningboard@bouldercolorado.gov, up to **24 hours prior to the Planning Board meeting**, to be included as a part of the record.
- Applicants under Title 9, B.R.C. 1981, will be provided the opportunity to speak for up to 3 minutes* prior to the close of the public hearing. The board chair may allow additional time.

3. Board Action

- Board motion. Motions may take any number of forms. With regard to a specific development proposal, the motion generally is to either approve the project (with or without conditions), to deny it, or to continue the matter to a date certain (generally in order to obtain additional information).
- Board discussion. This is undertaken entirely by members of the Board. The applicant, members of the public or city staff participate only if called upon by the Chair.
- Board action (the vote). An affirmative vote of at least four members of the Board is required to pass a motion approving any action. If the vote taken results in either a tie, a vote of three to two, or a vote of three to one in favor of approval, the applicant shall be automatically allowed a rehearing upon requesting the same in writing within seven days.

MATTERS FROM THE PLANNING BOARD, DIRECTOR, AND CITY ATTORNEY

Any Planning Board member, the Planning Director, or the City Attorney may introduce before the Board matters which are not included in the formal agenda.

ADJOURNMENT

The Board's goal is that regular meetings adjourn by 10:30 p.m. and that study sessions adjourn by 10:00 p.m. New agenda items will generally not

be commenced after 10:00 p.m.

VIRTUAL MEETINGS

For Virtual Meeting Guidelines, refer to <https://bouldercolorado.gov/government/board-commission/planning-board> page for the approved Planning Board Participation Rule for Electronic and Hybrid Hearings.

*The Chair may lengthen or shorten the time allotted as appropriate. If the allotted time is exceeded, the Chair may request that the speaker conclude his or her comments

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CITY OF BOULDER
PLANNING BOARD ACTION MINUTES
February 17, 2026
Hybrid Meeting

A permanent set of these minutes and an audio recording (maintained for a period of seven years) are retained in Central Records (telephone: 303-441-3043). Minutes and streaming audio are also available on the web at: <http://www.bouldercolorado.gov/>

PLANNING BOARD MEMBERS PRESENT:

Mark McIntyre, Chair
Laura Kaplan, Vice Chair
Kurt Nordback
Mason Roberts
ml Robles (virtual)
Claudia Hanson Thiem

PLANNING BOARD MEMBERS ABSENT:

Jorge Boone

STAFF PRESENT:

Alex Pichacz, Senior Planner
Deshawna Desouza, Senior Counsel
Charles Ferro, Development Review Senior Manager
Amanda Cusworth, Internal Operations Manager
Kristofer Johnson, Comprehensive Planning Senior Manager
Chandler VanSchaack, Principal Planner
Kalani Paho, Principal Urban Design Planner

1. CALL TO ORDER

Chair, **M. McIntyre**, declared a quorum at 6:00 p.m. and the following business was conducted.

2. PUBLIC PARTICIPATION

Nobody spoke.

3. APPROVAL OF THE MINUTES

A. The February 25, 2025 Draft Planning Board Meeting Minutes are scheduled for approval.

L. Kaplan made a motion seconded by **C. Hanson Thiem** to approve the February 25, 2025 meeting minutes. Planning Board voted 6-0. Motion passed.

4. DISCUSSION OF DISPOSITIONS, PLANNING BOARD CALL-UPS / CONTINUATIONS

There were no call up items.

5. PUBLIC HEARING ITEMS

A. AGENDA TITLE: Public Hearing and consideration of a site review amendment to the Boulder Jewish Commons Lot 2b located at 6018 Oreg Ave. for the development of a new synagogue.

Staff Presentation: (00:10:00) Charles Ferro introduced the item and Alex Pichacz presented the item to the board.

Board Questions: (00:17:55) Alex Pichacz answered questions from the board.

Applicant Presentation: (00:29:00) Rabbi Mark Soloway and Shannon Jones presented the item to the board.

Board Questions: (00:42:30) Shannon Jones and Jeff Gonlevy answered questions from the board.

Public Participation: (01:10:00)

In Person:

- 1) Kevin Farrington (pooling time with Eric Schaffron and Cass Gottlieb)
- 2) Jonathan Lev
- 3) Mary Kate Rejouis
- 4) Sam Flaxman
- 5) Rick Goldstein
- 6) Dipak Patel
- 7) Rabbi Fred Greene
- 8) Nathan Shapiro
- 9) Joan Nagel
- 10) Butch Weaver
- 11) Leslie Kimerling
- 12) Daniel Aizenman
- 13) Jeff Gan Levy
- 14) Stacey Schulte
- 15) Eric Scott
- 16) Noah Simcovk
- 17) Alexandra Ferguson
- 18) Wayne Seltzer

Virtual:

- 1) Michelle Goldman
- 2) Liz Hanson
- 3) Erica Baruch (pooled time with Sheldon Hersch Gottlieb and Michael Ginzberg)
- 4) Marilyn Pinsker
- 5) Judith Renfro
- 6) Bev Nelson

Board Discussion: (02:25:00)

The chair called a break at 8:15 for ten minutes and called the meeting back to order to 8:25

(02:27:42)

L. Kaplan reiterated that the Planning Board strives to treat all applicants consistently and fairly per the code and the Boulder Valley Comprehensive Plan, and that their obligation is to ensure the project meets the code regardless of personal preferences. She stated they are solely there to identify deficiencies in meeting the code and, if found, to deny the project or offer conditions to remedy them; if no deficiencies are found, they cannot modify the project. She agreed with the staff analysis that the project meets the Boulder Revised Code and site review criteria and found no deficiencies. She noted the height is below what is allowed by right, the open space exceeds requirements, and the project includes varied building forms and heights. She appreciated the design, describing it as celebratory but not opulent, and felt the applicant met that goal. She also appreciated the applicant's efforts to meet with neighbors to the south and to go beyond requirements in responding to concerns, though not required. She stated she had no issues with the setback modifications, second entrance, roundabout, phasing plan, or proposed uses. She acknowledged neighbors' concerns but noted that zero impact is neither required nor possible.

(02:29:30)

MI Robles stated that she believes the application is consistent with the site review criteria. She noted her primary concerns were related to issues raised by neighbors and that staff and the applicant have addressed them more than adequately. She added that it is sobering that members of the community need such safety and security measures in their facilities, and she appreciated the security presentation outlining those needs. She concluded that she was ready to make a motion.

(02:30:30)

M. Roberts stated that, based on building scale, site design, open space preservation, multimodal access, and compatibility with surrounding uses, the proposed project is consistent with the site review criteria. He said the project is generally consistent with the Boulder Valley Comprehensive Plan under policies including context compatibility, neighborhood integration, quality design, and appropriate scale transitions, and that the site layout and functional design meet the site design criteria. He appreciated the site's compatibility with the surrounding area. He noted the low-profile form consistent with the rural residential character, open space exceeding minimum requirements, outdoor gathering areas, landscape buffers, and tree preservation that contribute to visual compatibility and mitigate impacts to adjacent properties. He stated the project supports safe and convenient non-automobile travel through new pedestrian connections, crosswalk improvements, and bicycle parking. He believes that access and circulation safely accommodate users while minimizing conflicts and preserving landscaping. He noted the TDM is relatively robust and helps reduce vehicle miles traveled. He stated that the project represents a logical continuation of an established presence, meeting the growing needs of their community, and shows attention to site review requirements, making it easy to support.

(02:32:03)

K. Nordback stated agreed the project meets the site review criteria. He noted his main concern was the

design of the roundabout and its consistency with site review criterion 9-2-14(h)(25), regarding vehicular circulation and efficient use of parking areas. He said the applicant made a convincing case that the roundabout is necessary for security, which outweighs those considerations. He agreed the project meets the criteria and stated he looks forward to voting in favor.

(02:32:55)

C Hanson Thiem stated the project is consistent with the BVCP land use map and policies, especially those in Chapter 8 related to equity, safety, and community health. She noted the importance of supporting projects that build social infrastructure. She stated that the applicant has done an exemplary job meeting the spirit of the code despite needing accommodation related to access and public interface on a constrained site. She noted some concern about the safety of the pedestrian crossing but was unsure it could be addressed through the criteria. She noted that the site review process can be adversarial, but she was grateful that was not the case here. She thanked them and stated she would fully support the site review amendment and looks forward to seeing the community grow in its new home.

(02:35:05)

M. McIntyre stated that going last has a benefit, as he agreed with everything his colleagues said.]He said it is a pleasure to find that the project meets the site review criteria and multiple BVCP policy goals.

(02:36:30)

MOTION: ml Robles made a motion seconded by **K. Nordback** to approve Site Review application LUR#2025-00031, adopting the staff memorandum as findings of fact, including the attached analysis or review criteria, and subject to the recommended conditions of approval. Planning Board voted 6-0.

Motion passed.

6. MATTERS FROM THE PLANNING BOARD, PLANNING DIRECTOR, AND CITY ATTORNEY

A. East Boulder Subcommunity Plan Form-Based Code Discussion

(2:38:23)

This discussion focused on evaluating the efficacy of the current code and identifying potential areas for improvement. The board and staff discussed several key themes:

- **Consistency with Subcommunity Goals:** A significant portion of the discussion addressed the perceived misalignment between the form-based code and the broader vision established in the East Boulder Subcommunity Plan. Board members emphasized that for the code to be effective, it should better integrate policy goals regarding architecture and community character.
- **Open Space and Public Realm:** The board explored the shift toward emphasizing public, ground-level plazas versus relying on private, interior courtyard and balcony spaces. While the public realm is a priority, there was a desire to ensure future developments also provide meaningful private open space that serves future building occupants.

- **Architectural Standards and Massing:** Board members debated the requirements for building design, specifically noting a desire for more varied roof lines and improved human-scale articulation at the ground floor level. There was concern that some current massing outcomes do not adequately reflect the vision for the area's urban experience.
- **Code Administration and Definitions:** Staff and board members identified a need to refine technical language within the code, particularly regarding definitions for permeability and semi-pervious surfaces, to ensure clarity and consistency in how they are measured and administered.
- **Predictability vs. Discretion:** Staff and the board discussed the history and intent of form-based code, noting that while it aims to provide more certainty and a "black and white" framework compared to traditional site review, there remains a challenge in balancing that predictability with the need for high-quality, site-specific design.

7. DEBRIEF MEETING/CALENDAR CHECK

8. ADJOURNMENT

The Planning Board adjourned the meeting at 9:42 PM.

APPROVED BY

Mark McIntyre

Board Chair

DATE

CITY OF BOULDER
PLANNING BOARD ACTION MINUTES
April 28, 2026
Hybrid Meeting

A permanent set of these minutes and an audio recording (maintained for a period of seven years) are retained in Central Records (telephone: 303-441-3043). Minutes and streaming audio are also available on the web at: <http://www.bouldercolorado.gov/>

PLANNING BOARD MEMBERS PRESENT:

Laura Kaplan, Chair (virtual)
Claudia Hanson Thiem, Vice Chair
Maxwell Lord
Mason Roberts
Ml Robles

PLANNING BOARD MEMBERS ABSENT:

Kurt Nordback
Mark McIntyre

STAFF PRESENT:

Alison Blaine, City Planner Senior
Charles Ferro, Development Review Senior Manager
Thomas Remke, Senior Operations Specialist
Brad Mueller, Director of Planning & Development Services
Deshawna Zazueta

1. CALL TO ORDER

Chair, L. Kaplan, declared a quorum at 6:00 p.m. and the following business was conducted.

2. PUBLIC PARTICIPATION

1. Lynn Segal (Virtual)

3. APPROVAL OF THE MINUTES

There were no minutes to approve.

4. DISCUSSION OF DISPOSITIONS, PLANNING BOARD CALL-UPS / CONTINUATIONS

There were no call up items.

5. PUBLIC HEARING ITEMS

A. AGENDA TITLE: Public Hearing and consideration of a Site Review for the redevelopment of 777 Broadway with new residential uses. The proposal includes the demolition of an existing residential building and proposes 63 units including one-, two-, three-, and four-bedroom units totaling 81,647 square feet. The proposal includes a request for a height modification to allow for

55' in height, modification to setbacks, and a solar access exception. Reviewed under case no. LUR2025-00014.

Staff Presentation: Alison Blaine presented the item to the board.

Board Questions: Alison Blaine answered questions from the board.

Applicant Presentation: Seth Sojka, Evan Bourff presented the item to the board.

Board Questions: Seth Sojka, Evan Bourff, Curtis Stevens, Carol Adams presented the item to the board.

Public Participation:

In Person: Russ Chitwood

Virtual: Lynn Segal

Board Discussion:

KEY ISSUE 1. Is the proposed project consistent with the Site Review Criteria, Subsection 9-2-14(h), B.R.C. 1981?

(01:25:20)

MI Robles believes that this application meets the site review criteria and applauded the applicant for the work shown here today, noting that it's come a long way from the concept review. She thinks the move to pedestrian access from Broadway is not only a logical move but also makes for a much better streetscape all around.

(01:26:07)

C. Hanson Thiem thinks this project is consistent with the BVCP land use map and policies. She thinks this is the kind of development that our guiding plans anticipate immediately adjacent to the CU campus. She also appreciated that this project leans into its location, its intended population, and existing transportation connections to further city goals around walkability and enhancing the pedestrian environment. In terms of the site design, she appreciated the separation of car from bike and pedestrian access. She thinks that generally does encourage safety and encourage the kind of transportation mode shift we want to see here. She had some concerns about the access drive, noting that she listened to the discussion carefully and appreciated the clarifications, and she would not propose any conditions around that. She appreciated the attention to the quality and variety of open spaces on the site, in particular, the work done since concept review to buffer the entryway and create the courtyard on Broadway. She thinks the semi-open connection to the interior courtyard is another really important element of this design to get people moving around on ground level. She also appreciated how the design takes advantage of those BVSD fields to the south to create and extend views where they might not otherwise have existed. She had some concerns about the usability of the bocce courts but noted that given the overall quantity of open space on site, she would consider them a bonus at this point. She understands the access constraints that exist and is not sure how she would address that. She thinks the requested setback modifications are sensible given the site and its surroundings. She appreciated the street trees on Broadway and thinks the requirements for height bonus are met with the ground-level courtyards. She

thinks that the requested solar access exception is also appropriate, and she appreciated the consultation with BVSD and the agreement that they've given.

(01:28:44) M. Roberts agreed with everything from ML and Claudia. He believes this project meets site review criteria and will not be offering any amendments. He added that this was another example of a project that was greatly improved by additional feedback from DAB and from city staff. He stated that the building is, "Just a thousand times better than what we saw in concept review because of that process."

(01:29:30) M. Lord believes the project aligns with the review criteria and seconded a lot of what Claudia had to say. He admired the work done within immensely tight conditions and recognized that this is a difficult architectural puzzle. He noted that he was not here for the concept plan, due to being the newest board member, but would agree that one can see the process coming along. He added that, ideally, we want things to follow the grade of the land, and the land grades downward, and the building does not.

(01:30:27) L. Kaplan agreed with everything her colleagues said. She thinks it meets the site review criteria. She agreed with Mason that the change from before DAB to after DAB is night and day and appreciated the applicant's responsiveness to that feedback. She appreciated how they have broken up the massing in an interesting and aesthetically pleasing way that's very effective for this site, despite all of the constraints. Regarding the courtyard, she thinks that this project is a good example where the site constraints do not need to have all those things met in the exact same way in one courtyard on this space. She thinks they've done a good job with those two interconnected courtyards and the various ways of providing experiences for residents and visitors. She thinks the biggest issue with the site is how tight the shared access drive is and recognized that is nobody's fault. She appreciated the applicants working with the neighbors to be good neighbors. She noted that she doesn't love it when any applicant talks about sacrificing buildable area or sacrificing unit count, noting that these are the criteria that they are required to meet, and nobody is guaranteed maximum unit count, or maximum FAR, or maximum buildable area. She noted that there are always trade-offs and appreciated that, in some ways, some things were reduced to achieve other goals, but she reinforced that she does not love that language.

(01:33:29) MOTION:

C. Hanson Thiem made a motion seconded by M. Roberts to approve Site Review application #LUR2025-00014, adopting the staff memorandum as findings of fact, including the attached analysis of review criteria, and subject to the recommended conditions of approval. Planning Board voted 5-0. Motion passed.

6. MATTERS FROM THE PLANNING BOARD, PLANNING DIRECTOR, AND CITY ATTORNEY

A. Board Retreat Planning Check

7. DEBRIEF MEETING/CALENDAR CHECK

8. ADJOURNMENT

The Planning Board adjourned the meeting at 7:42 PM.

APPROVED BY

Laura Kaplan

Board Chair

DATE

DRAFT

MEMORANDUM

TO: Planning Board
FROM: Alex Pichacz, Case Manager
DATE: June 16, 2026
SUBJECT: **Call Up Item:** A Use Review to convert an existing ground floor office space at 2521 Broadway Unit A into a three-bedroom residential unit in the BC-2 zone. **This approval is subject to a call-up on or before June 26, 2026.**

ADDRESS: 2521 Broadway Unit A
PROJECT NAME: VIA BROADWAY
CASE NO: LUR2025-00097

Attached is the Notice of Disposition of approval of a Use Review to convert an existing ground floor office space into a three-bedroom attached dwelling unit located in the Business Community – 2 (BC-2) Zoning District. Pursuant to the Specific Use Standards in section 9-6-2, B.R.C 1981, ground floor residential uses require a Use Review subject to Section 9-2-15, B.R.C. 1981. Refer to **Attachment B** for the staff analysis of the Use Review Criteria and Specific Use Standards.

Background. The subject property is located at 2521 Broadway Unit A within the Via Broadway Condominiums, a three-story mixed-use commercial and residential building constructed in 2003. The building contains ground floor offices with seven residential units on floors two and three. The property is located on Broadway between Portland Place and North Street, near the Community Plaza Shopping Center and Casey Middle School. Refer to **Figure 1** for an aerial photo of the site. There is a covered parking area underneath the building on the ground level, accessed from an alley behind the building.



Figure 1. Vicinity Map

The property is zoned Business Community – 2 (BC-2), which is defined as, “business areas containing retail centers serving a number of neighborhoods, where retail-type stores predominate.” ([Section 9-5-2\(c\)\(1\)\(3\), B.R.C. 1981](#)). The property is adjacent to mixed density (RMX-1) and high density (RH-5) residential zoned properties to the west and nearby to the south. The corridor along Broadway is zoned Business Transitional 2 (BT-2) to the south and BC-2 to the north. The property is also located within an area designated in Appendix N "Business Community (BC) Areas Subject to Special Use Restrictions." Which limits residential uses within neighborhood serving business areas, unless approved pursuant to a use review. See **Figure 2**.

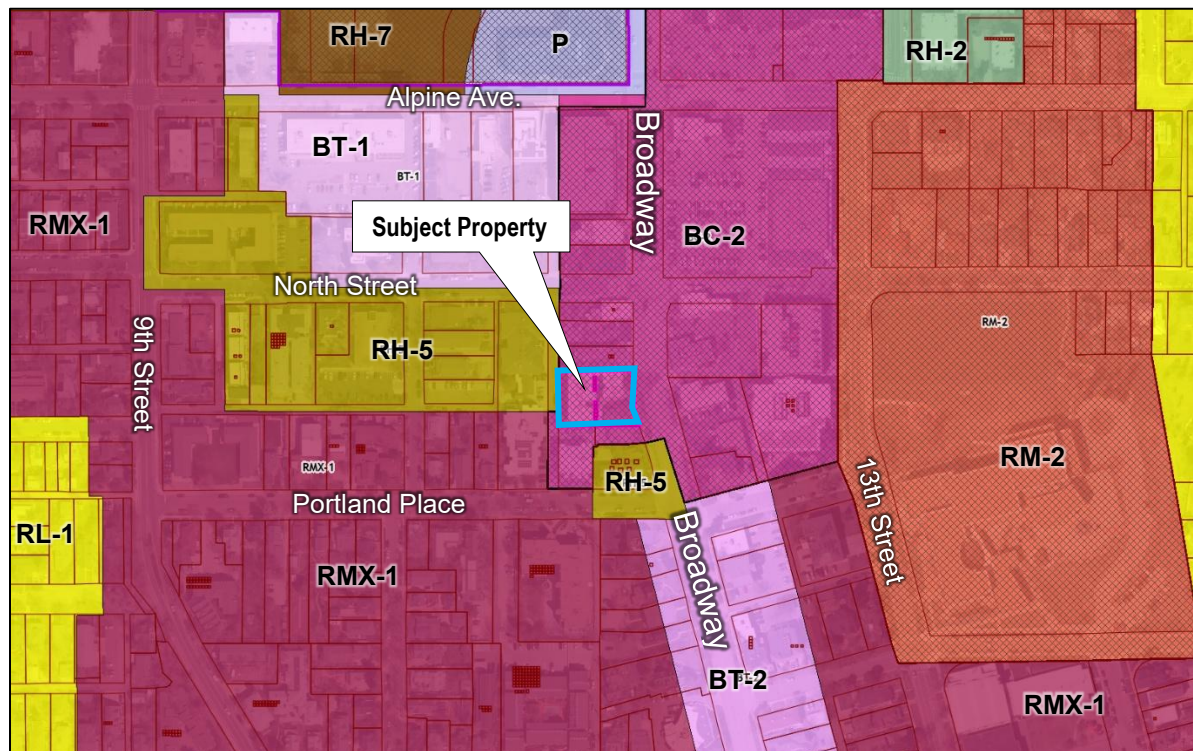


Figure 2. Zoning Map

The commercial office subject to this conversion has been vacant since October 2024 and is located on the southern edge of the BC-2 commercial hub adjacent to existing residential uses to the south, and a medical office in the same building to the north. Further north is a variety of retail, office, personal service, and restaurant uses.

The property is identified as an area subject to special use restrictions, identified in Appendix N "Business Community (BC) Areas Subject to Special Use Restrictions." B.R.C. 1981. The standards in section 9-6-2, B.R.C. 1981 are intended to support certain BC-2 zoned areas as neighborhood serving business areas where retail-type stores predominate on the ground floor by limiting certain residential and nonresidential uses on the ground level. A ground floor residential use may be approved pursuant to a Use Review per section 9-6-2(c)(1)(A)(iii), B.R.C. 1981.

Project Proposal. The applicant proposes to convert the existing 1,950 square foot office tenant space to a three-bedroom apartment with private open space provided by a fenced patio in the front of the unit. Additional landscaping will be included between the fence and the sidewalk along with new short-term bike parking. Refer to **Figure 3** for a street view rendering of the proposed exterior conditions.



Figure 3. Proposed Street View Rendering.

The entrance to the proposed residence will be on the south side of the building through the existing elevator lobby. There is a surface level covered parking lot underneath the building accessed from the alley behind Broadway, to the west. Long-term bike parking is also included in the covered parking area. The proposed first floor plan and site plan is shown in **Figure 4**. The final approved plans can be found in **Appendix C**.

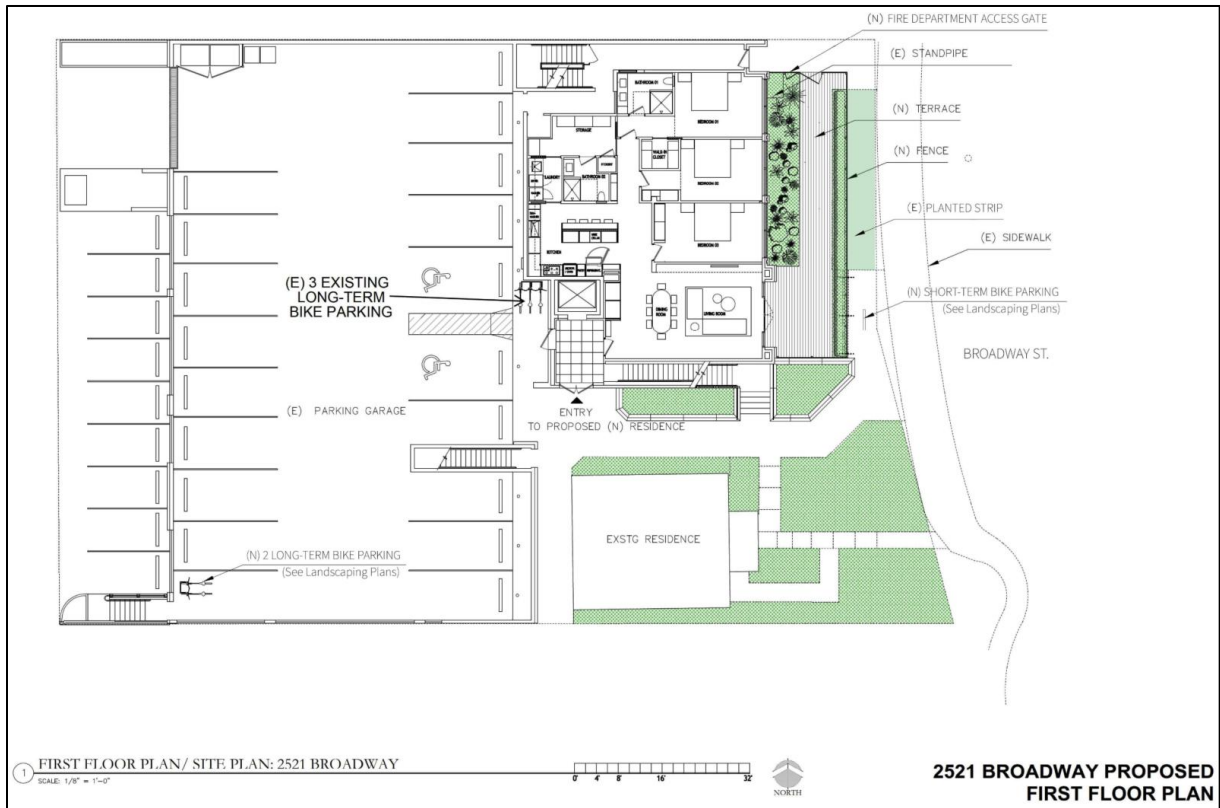


Figure 4. First Floor Plan and Site Plan

Review Process. Pursuant to Section 9-6-2, B.R.C. 1981, ground floor residential uses require a Use Review subject to Section 9-2-15, B.R.C. 1981. Per Section 9-4-2, B.R.C. 1981, applications for Use Review are subject to call up by the Planning Board. The applicant or interested people may appeal the decision by written notice of appeal to the city manager. Two members of the planning board may call up the decision upon written notification to staff or by making a verbal request, on record, at a regularly scheduled board meeting.

No modifications from the development code have been requested. The proposal meets all other development standards for the zoning district and does not require Site Review. Refer to **Attachment A** for the conditions of approval.

Analysis. The proposal was found to be consistent with the Use Review criteria of subsection 9-2-15(e) and Specific Use criteria of subsection 9-6-2(c)(1)(A)(iii), B.R.C. 1981. Please refer to **Attachment B** for staff's complete analysis of the review criteria.

Public Comment. Consistent with Section 9-4-3, Public Notice Requirements, B.R.C. 1981, staff provided notification to all property owners within 600 feet of the subject location of the application. One public comment was received in support of the proposal and is included in **Attachment D**.

Conclusion. Staff finds that the proposed project meets the Use Review criteria set forth in Section [9-2-15](#), and Specific Use Standards in Section [9-6-2](#) B.R.C. 1981 (refer to **Attachment B**). This application was approved by Planning and Development Services staff on [June 12, 2026](#), and the decision may be called up before Planning Board on or before [June 26, 2026](#). There is a Planning Board meeting within the 14-day call up period on [June 23, 2026](#). Questions about the project or decision should be directed to Alex Pichacz at pichacza@bouldercolorado.gov.

Attachments.

- Attachment A - Signed Disposition of Approval
- Attachment B - Analysis of Use Review Criteria
- Attachment C - Applicant's Plans and Written Statement
- Attachment D - Public Comment



City of Boulder Planning & Development Services

CITY OF BOULDER PLANNING DEPARTMENT NOTICE OF DISPOSITION

You are hereby advised that the following action was taken by the Planning Department based on the standards and criteria of the Land Use Code as set forth in Chapter 9-2, B.R.C. 1981, as applied to the proposed development.

DECISION: **APPROVED WITH CONDITIONS**
PROJECT NAME: **VIA BROADWAY**
DESCRIPTION: **A Use Review to convert an existing ground floor office space to a three-bedroom residential unit in the BC-2 zone.**
LOCATION: **2521 Broadway Unit A**
LEGAL DESCRIPTION: **See Exhibit A**
APPLICANT: **David Beik, Coburn Partners**
OWNERS: **PMP PROPERTIES II, LLC, AND PMP PROPERTIES III, LLC**
APPLICATION: **Use Review, LUR2025-00097**
ZONING: **Business Community - 2 (BC-2)**
CASE MANAGER: **Alex Pichacz**
VESTED PROPERTY RIGHT: **No; the owner has waived the opportunity to create such right under Section 9-2-20, B.R.C. 1981.**

APPROVED MODIFICATIONS FROM THE LAND USE CODE: None

FOR CONDITIONS OF APPROVAL, SEE THE FOLLOWING PAGES OF THIS DISPOSITION.

Approved with Conditions On: June 12, 2026
Date

By: _____
Brad Mueller, Director of Planning & Development Services

This decision may be appealed to the Planning Board by filing an appeal letter with the Planning Department within two weeks of the decision date. If no such appeal is filed, the decision shall be deemed final fourteen days after the date above mentioned.

Appeal to Planning Board Expires: June 26, 2026

Final Approval Date: June 29, 2026

Physical Address
1101 Arapahoe Ave
Boulder, CO 80302

Mailing Address
PO Box 791
Boulder, CO 80306-0791

BoulderPlanDevelop.net
P: 303-441-1880
F: 303-441-4241

Attachment A - Notice of Disposition

FOR A BUILDING PERMIT APPLICATION TO BE PROCESSED FOR THIS PROJECT, A SIGNED DEVELOPMENT AGREEMENT AND SIGNED FINAL PLANS MUST BE SUBMITTED TO THE PLANNING DEPARTMENT WITH DISPOSITION CONDITIONS AS APPROVED SHOWN ON THE FINAL PLANS. IF THE DEVELOPMENT AGREEMENT IS NOT SIGNED WITHIN NINETY (90) DAYS OF THE FINAL DECISION DATE, THE APPROVAL AUTOMATICALLY EXPIRES.

Pursuant to Section 9-2-12 of the Land Use Code (B.R.C. 1981), the Applicant must obtain applicable building permit approvals and start construction within three years from the date of final approval or in compliance with the phasing plan if one was approved. Failure to comply with the three-year rule or approved phasing plan may cause this development approval to expire. For a use review without construction requiring a building permit, the use must be established within three years of the date of final approval.

CONDITIONS OF APPROVAL

1. The Applicant **shall ensure that the development shall be in compliance with all plans prepared by the Applicant** on 5/1/2026, and the Applicant's Written Statement dated 12/26/2025, all on file in the City of Boulder Planning Department, except to the extent that the development may be modified by the conditions of this approval.
2. The Applicant **shall not expand or modify the approved use** except pursuant to Subsection 9-2-15(e), B.R.C. 1981.

EXHIBIT A

LEGAL DESCRIPTION

COMMERCIAL UNIT A, VIA BROADWAY CONDOMINIUMS, AS SHOWN ON THE CONDOMINIUM MAP FOR VIA BROADWAY CONDOMINIUMS, RECORDED APRIL 16, 2003 UNDER RECEPTION NO. 2426399, IN THE OFFICE OF THE CLERK AND RECORDER OF THE COUNTY OF BOULDER, STATE OF COLORADO AND AS DEFINED BY THE DECLARATION OF VIA BROADWAY CONDOMINIUMS, RECORDED APRIL 16, 2003, UNDER RECEPTION NO. 2426400, IN SAID RECORDS,

TOGETHER WITH THE EXCLUSIVE RIGHT TO USE (SUBJECT TO ANY RESTRICTION AS MAY BE OTHERWISE SET FORTH IN THE DECLARATION AS TO THE USE THEREOF) LIMITED COMMON ELEMENTS PARKING SPACES NUMBERED 1, 6, 19, 20 AND 21.

COUNTY OF BOULDER,
STATE OF COLORADO.

CRITERIA CHECKLIST AND COMMENT FORM

USE REVIEW

SECTION 9-2-15(e)

LUR2025-00097

ADDRESS: 2521 Broadway Unit A

DATE: 1/23/26

CRITERIA APPLICABLE TO ALL USE REVIEW APPLICATIONS

(e) Criteria For Review: *Meets criteria*

No use review application will be approved unless the approving agency finds all of the following:

(1) Rationale: *Yes*

The use either:

- (A) Provides direct service or convenience to or reduces adverse impacts to the surrounding uses or neighborhood; *N/A*
- (B) Provides a compatible transition between higher intensity and lower intensity uses; *Yes*
- (C) Is necessary to foster a specific city policy, as expressed in the Boulder Valley Comprehensive Plan, including, without limitation, historic preservation, moderate income housing, residential and nonresidential mixed uses in appropriate locations and group living arrangements for special populations; or *Yes*
- (D) Is an existing legal nonconforming use or an expansion that is permitted under Subsection (f) of this section; *N/A*

Staff Response:

The proposal to provide a ground level housing unit is consistent with several housing policies in Chapter 7 of the BVCP, and the conversion from a ground floor commercial unit to a residential unit in a mixed-use building provides a compatible transition between commercial uses to the east and residential uses to the west.

(2) Compatibility: *Yes*

The location, size, design, and operating characteristics of the use will be reasonably compatible with and have minimal negative impact on the use of nearby properties, or, for residential uses or community, cultural, and educational uses in industrial zoning districts, the proposed development reasonably mitigates the potential negative impacts from nearby properties;

Staff Response:

The current commercial tenant space has been vacant since October 2024. The conversion from commercial to residential use will reduce the number of visitors to the site and potential impacts such as noise and vehicular trips to the site from customers. Additional offsite impacts such as noise, glare, vibrations, odors, dust, etc. are not anticipated from the proposed residential use of the ground floor unit. A private outdoor open space area will be created by fencing in a patio area in the front of the unit. The patio will be buffered from the sidewalk with landscaping in existing planters and screened with a wooden fence. The proposed residential use is consistent with adjacent properties to the south and will not adversely impact nearby businesses on adjacent properties.

(3) Infrastructure: Yes

The use will not significantly adversely affect the infrastructure of the surrounding area, including, without limitation, water, wastewater and storm drainage utilities and streets, compared to an allowed use in the zoning district, or compared to the existing level of impact of a nonconforming use;

Staff Response:

No additional infrastructure improvements are necessary for the conversion of the ground floor unit to a residential use.

(4) Character of Area: Yes

The use will not change the predominant character of the surrounding area or the character established by adopted design guidelines or plans for the area; and

Staff Response:

The project proposes to convert a vacant ground level office unit into a 3-bedroom apartment. The property is at the edge of the BC-2 zone, adjacent to mixed density residential zone (RMX-1) to the west and near a high-density residential zone (RH-5) to the south. The property is located on a block with several existing residential units in both attached and detached unit types, and it's on the edge of the commercial hub that is the core of the BC-2 zone in the neighborhood. Along the same block to the north are retail, personal service, office and restaurant businesses. Across the street to the east, are commercial properties with a variety of office and retail businesses, and the Community Plaza Shopping Center is located to the north, along Broadway.

The predominate character of the surrounding area includes a mix of residential uses on the edge of a commercial hub and corridor along Broadway. Given the location of the proposed dwelling unit on the edge of the business area adjacent to existing dwelling units. As such, staff finds that the conversion of a vacant ground floor office to a new attached dwelling unit will not change the character of the surrounding area, rather it will active a vacant unit and provide additional residents and potential customers for businesses in the neighborhood within walking distance of a commercial hub while maintaining consistency with the predominate character of the area.

(5) Conversion of Dwelling Units to Nonresidential Uses: N/A

There shall be a presumption against approving the conversion of dwelling units in the residential zoning districts to nonresidential uses that are allowed pursuant to a use review, or through the substitution of one nonconforming use with another nonconforming use. The presumption against such a conversion may be overcome by a finding that the use to be approved serves another compelling social, human services, governmental or recreational need in the community, including, without limitation, a use for a daycare center, park, religious assembly, social service use, benevolent organization use, art studio or workshop, museum, or an educational use.

Staff Response:

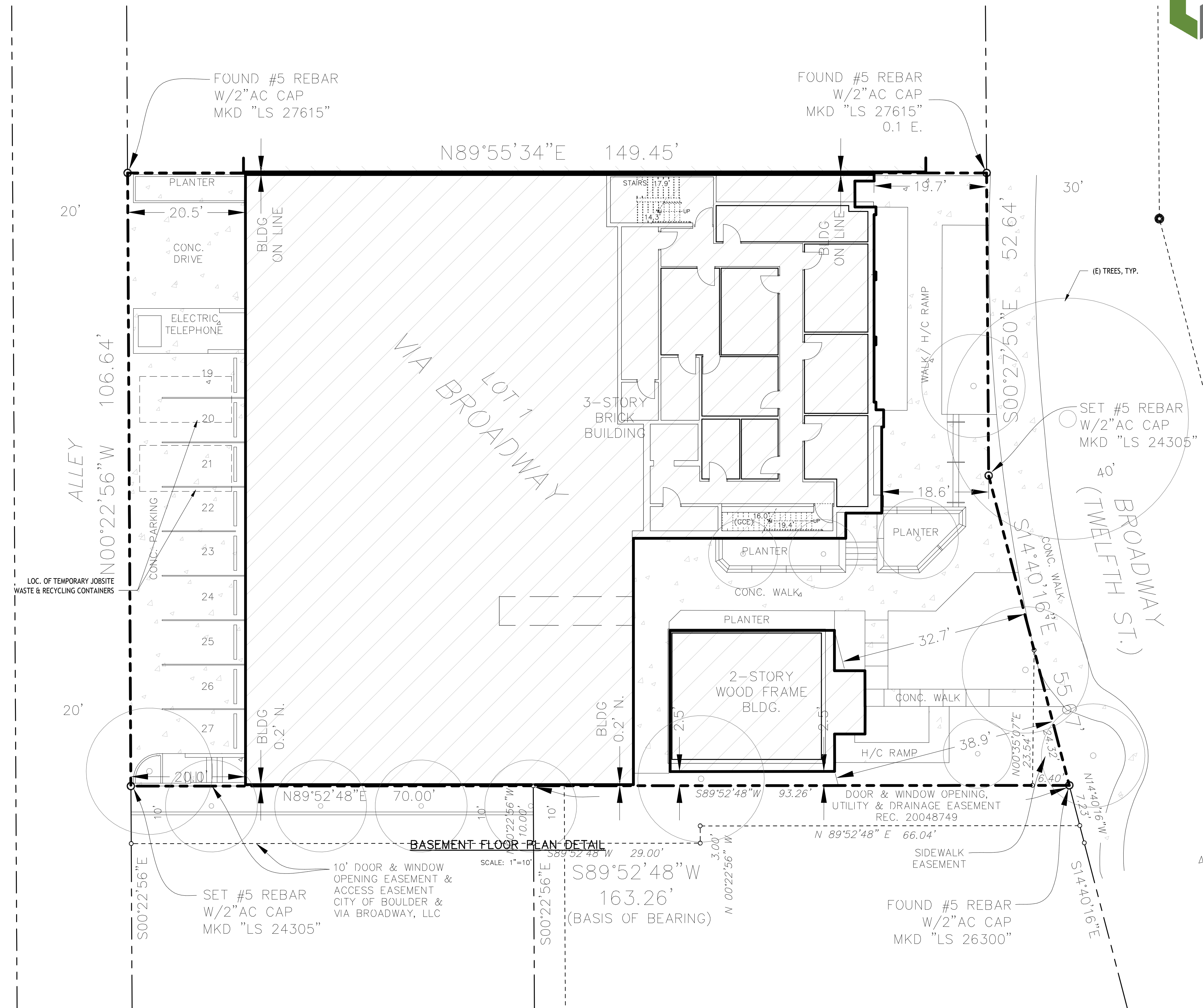
The project will convert a nonresidential commercial tenant space into a dwelling unit. This criterion is not applicable.

9-6-2(c)(1)(A)(iii): Use Review: Yes

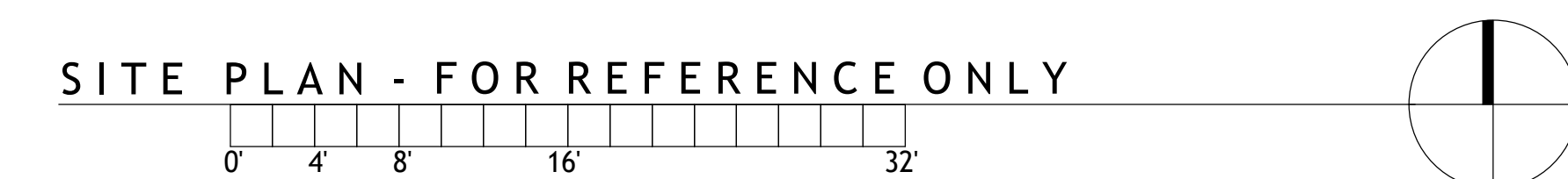
A use that is not allowed by right or as a conditional use may be approved only pursuant to a use review. In addition to meeting the use review criteria, the applicant shall demonstrate that the use on the ground floor or with a combined floor area larger than ten percent of the total floor area, as applicable, will not adversely affect the intended function and character of the area as a neighborhood serving business area where retail-type stores predominate on the ground floor. In determining whether this criterion is met, the reviewing authority shall consider the location and design of the proposed use and the existing and approved uses on the lot or parcel and in the area.

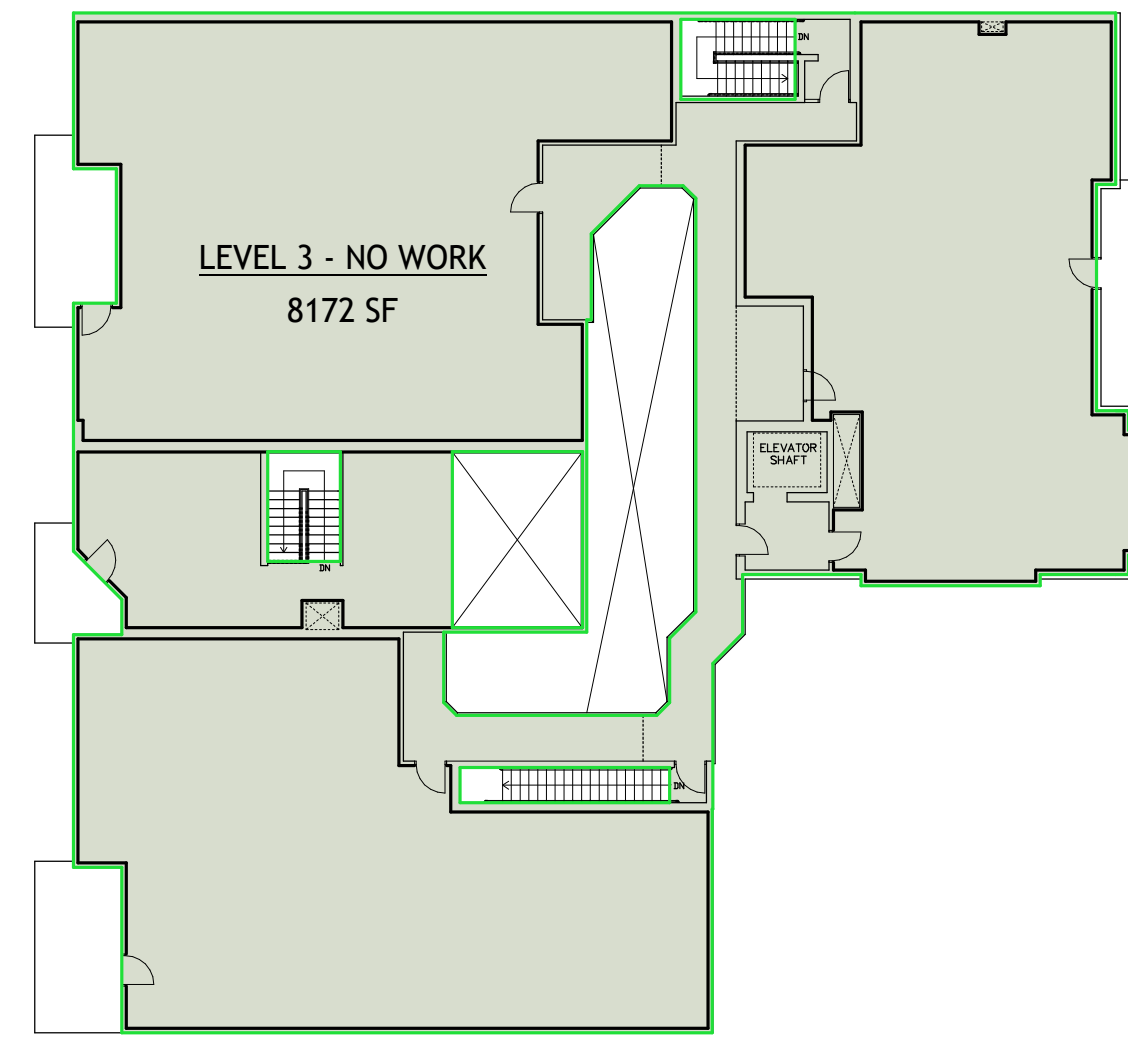
Staff Response:

The project site is near the edge of the BC-2 special use restriction area and is adjacent to properties containing ground floor residential uses to the west and along Broadway to the south. Adjacent commercial uses to the north include medical and professional offices, a computer repair shop, a hair salon, and a restaurant. Across the street is a bike shop, medical offices, and vacant commercial buildings. The core of the BC-2 commercial hub is located to the north around the Community Plaza Shopping Center and adding an additional dwelling unit in the proposed location will not adversely impact the intended function or character of the commercial hub. Given the existing residential uses within the building on the subject property and on adjacent properties, the proposed location for a new dwelling unit will be compatible with the intended function and character of the area and support nearby retail-type stores and businesses.

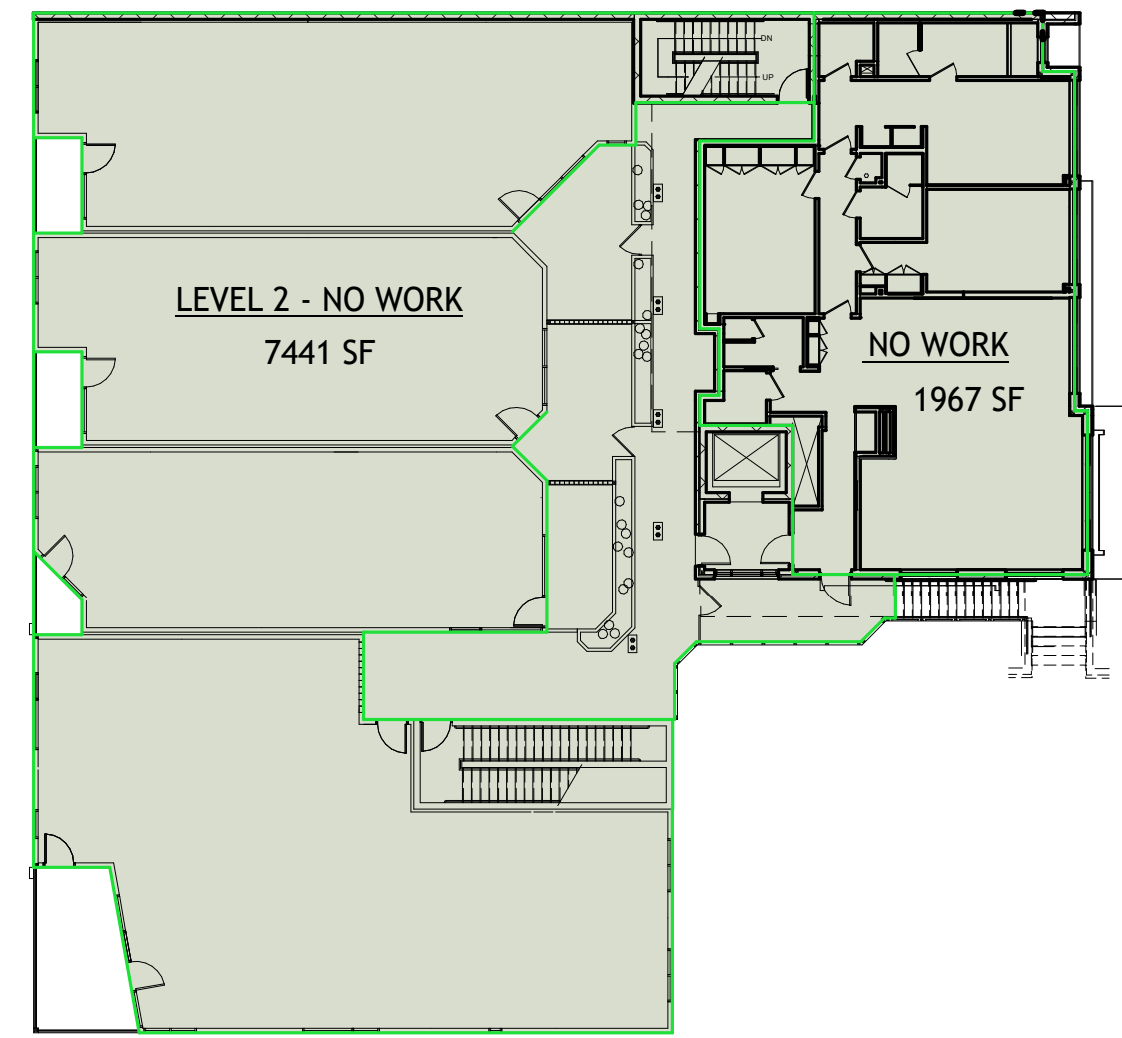


2521 BROADWAY FLOOR EXISTING SITE PLAN

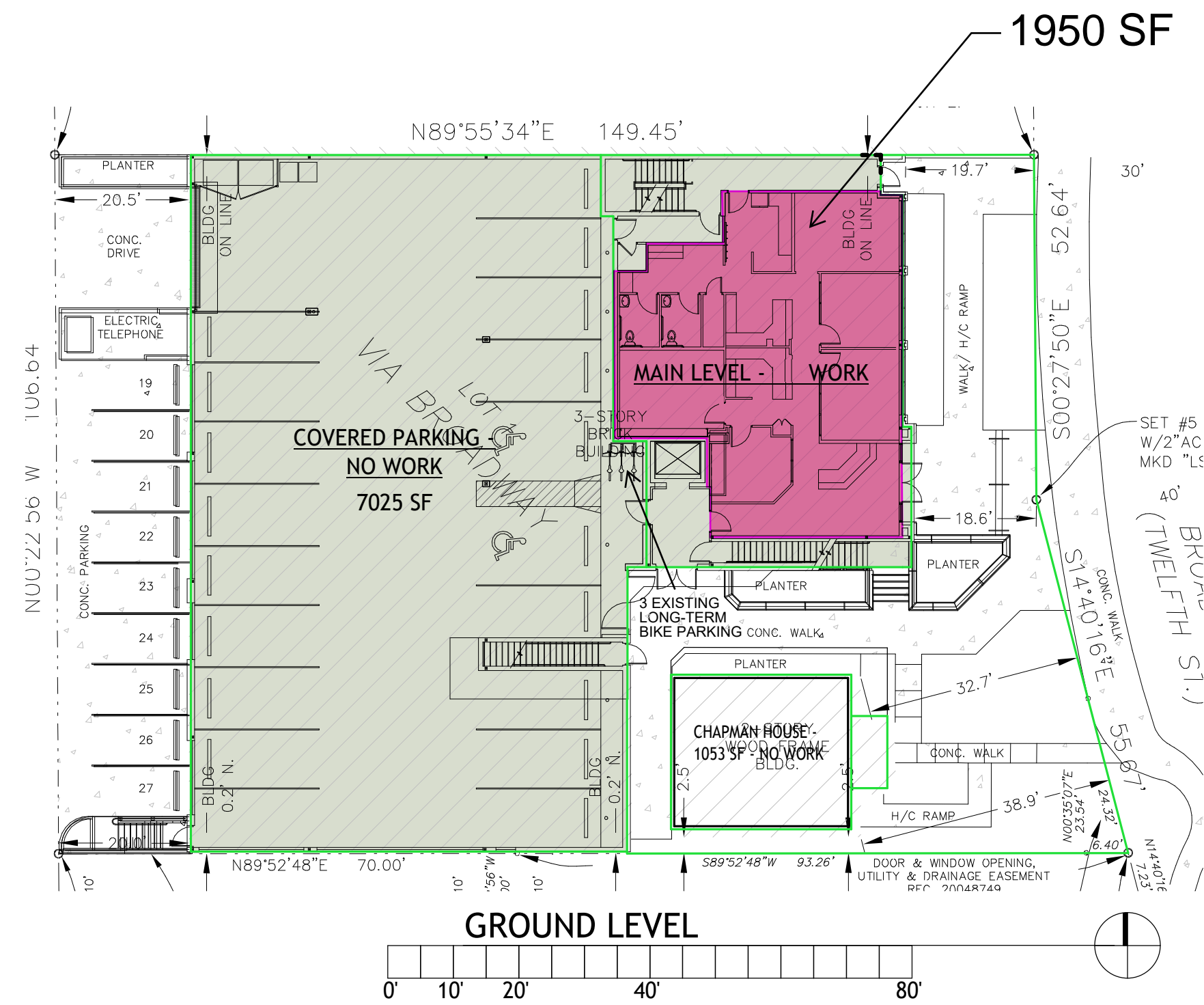




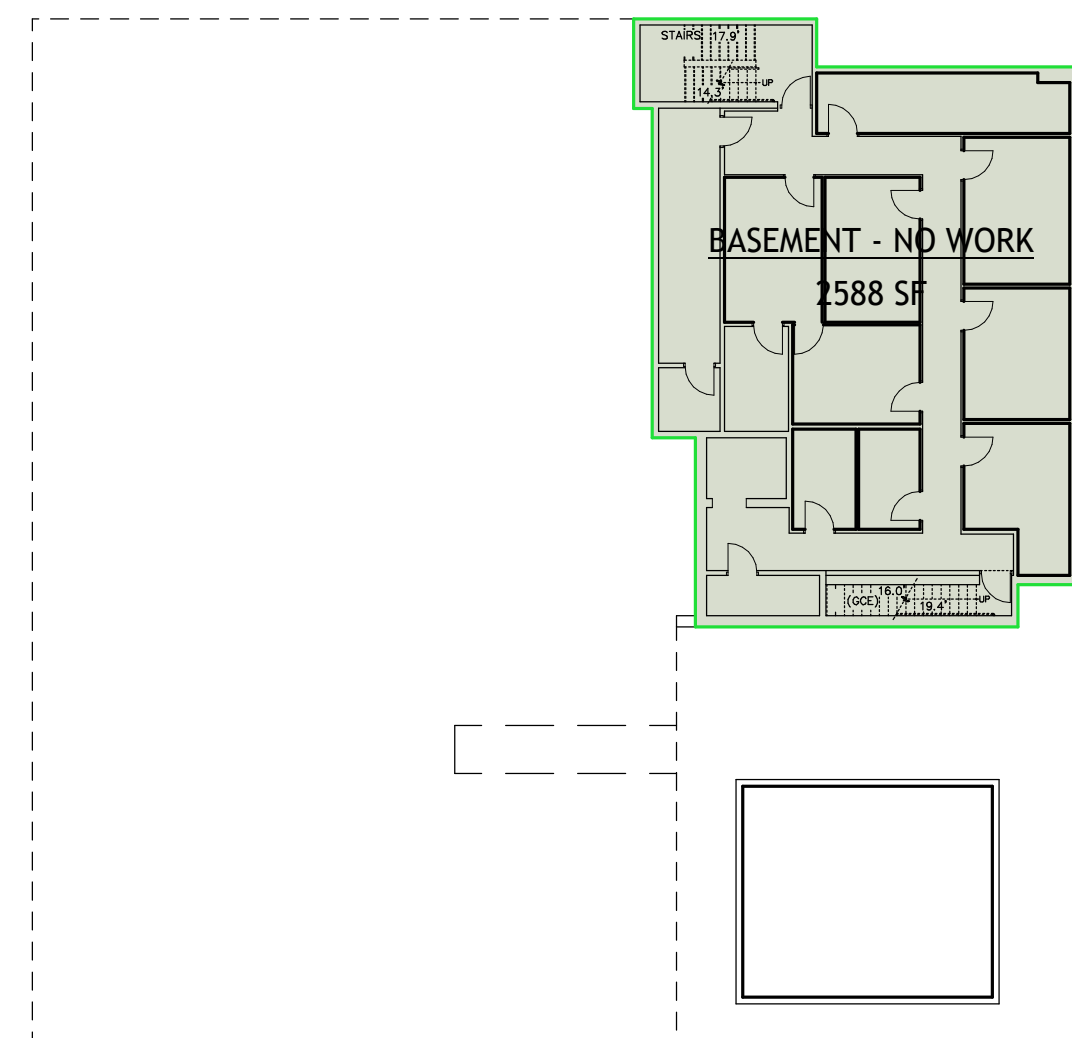
3RD FLR
0 10' 20' 40' 80'



2ND FLOOR AREA PLAN
0 10' 20' 40' 80'



GROUND LEVEL
0 10' 20' 40' 80'



BASEMENT
0 10' 20' 40' 80'

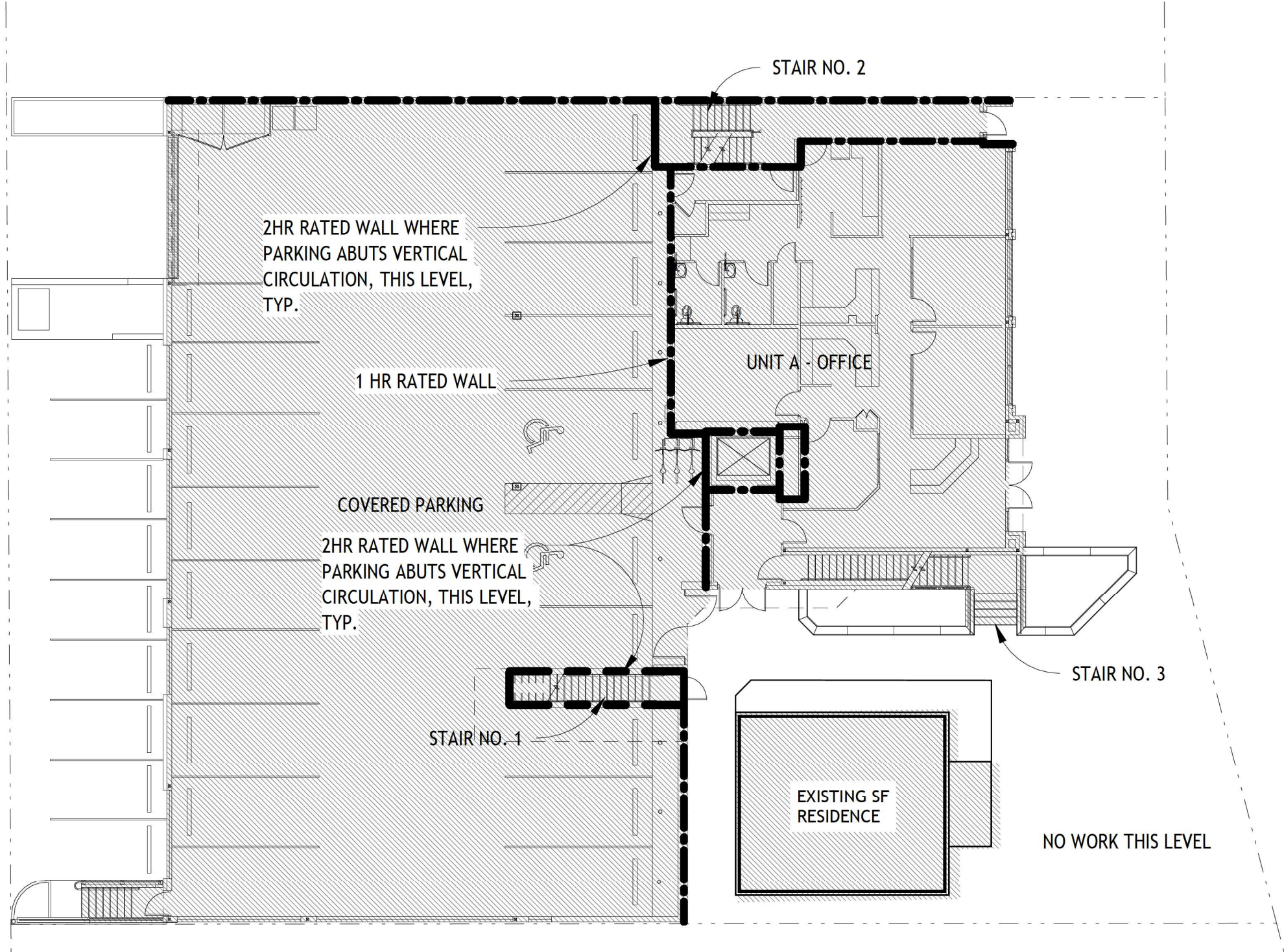
AREA CALCULATIONS (SQUARE FEET)					
FLOOR AREA (BRC)					
	EXISTING	DEMOLITION	ADDITION	TOTAL	REMODEL OF EXISTING
BASEMENT	2588	0	0	2569	0
LEVEL 1	2705	0	0	2705	0
LEVEL 2	9408	0	0	9408	1967
LEVEL 3	8172	0	0	7698	0
CHAPMAN	1053	0	0	1053	0
TOTAL	23926	0	0	23926	1967 (12.2%)

FLOOR AREA EXISTING = 23926

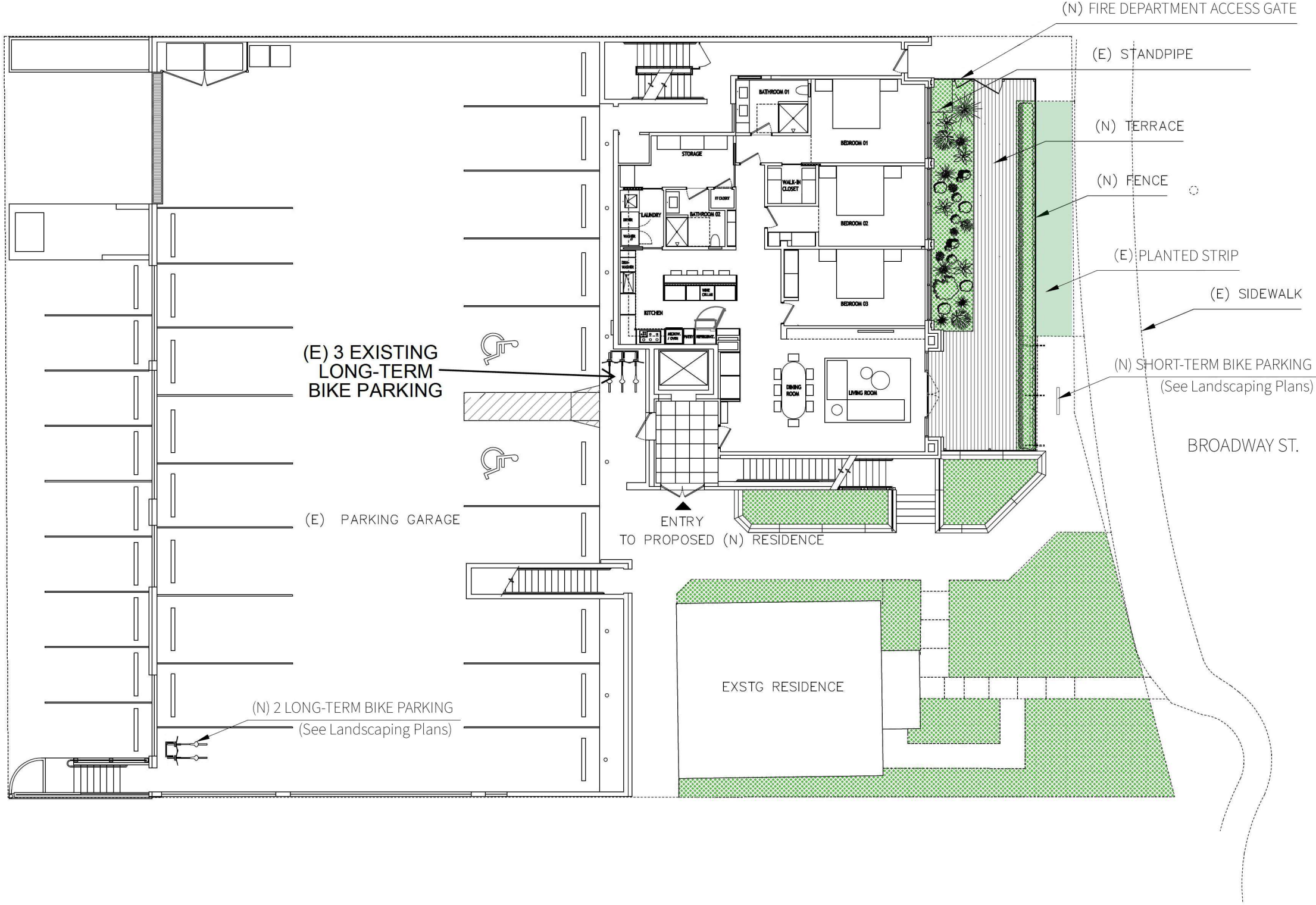
FLOOR AREA PROPOSED = 23926

NOTE 1: OFF STREET PARKING AREA EXCLUDED FROM FLOOR AREA IN BC-2

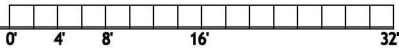
2521 BROADWAY EXISTING FLOOR PLANS - ALL LEVELS



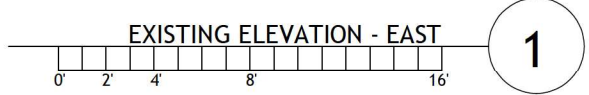
**2521 BROADWAY EXISTING
FIRST FLOOR PLAN**

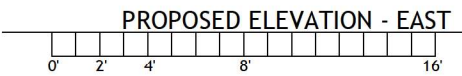


1 FIRST FLOOR PLAN/ SITE PLAN: 2521 BROADWAY
SCALE: 1/8" = 1'-0"



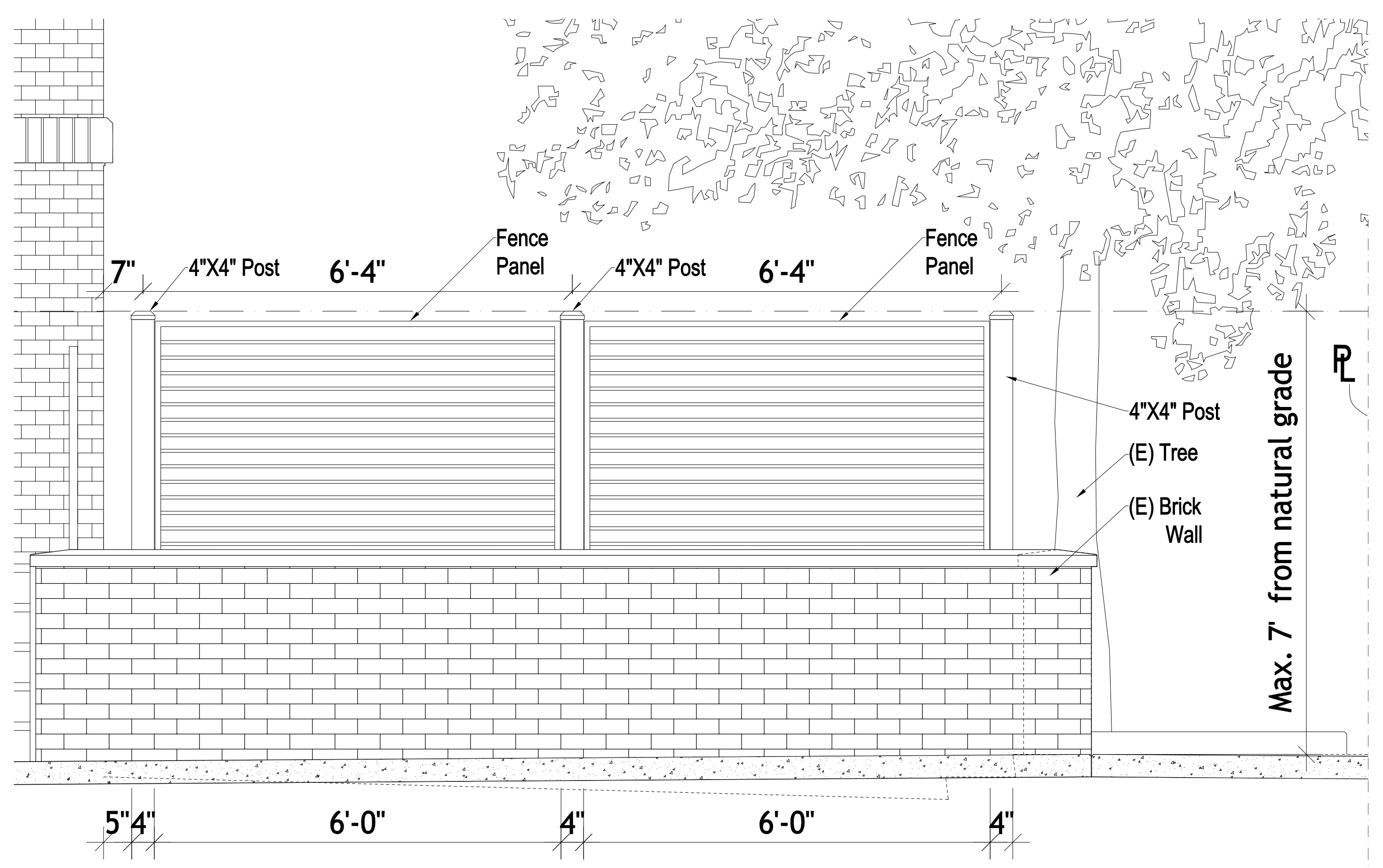
**2521 BROADWAY PROPOSED
FIRST FLOOR PLAN**



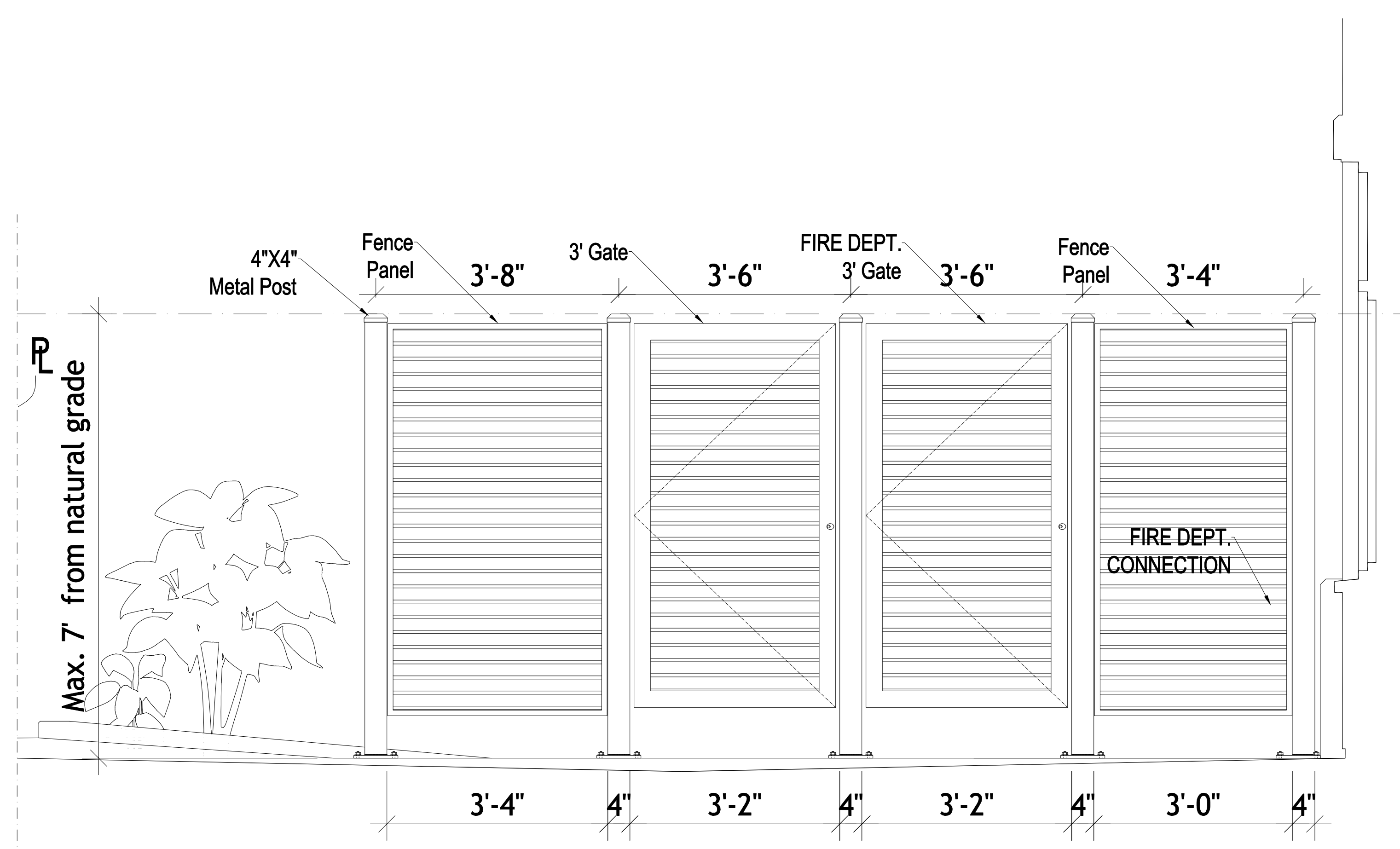


2

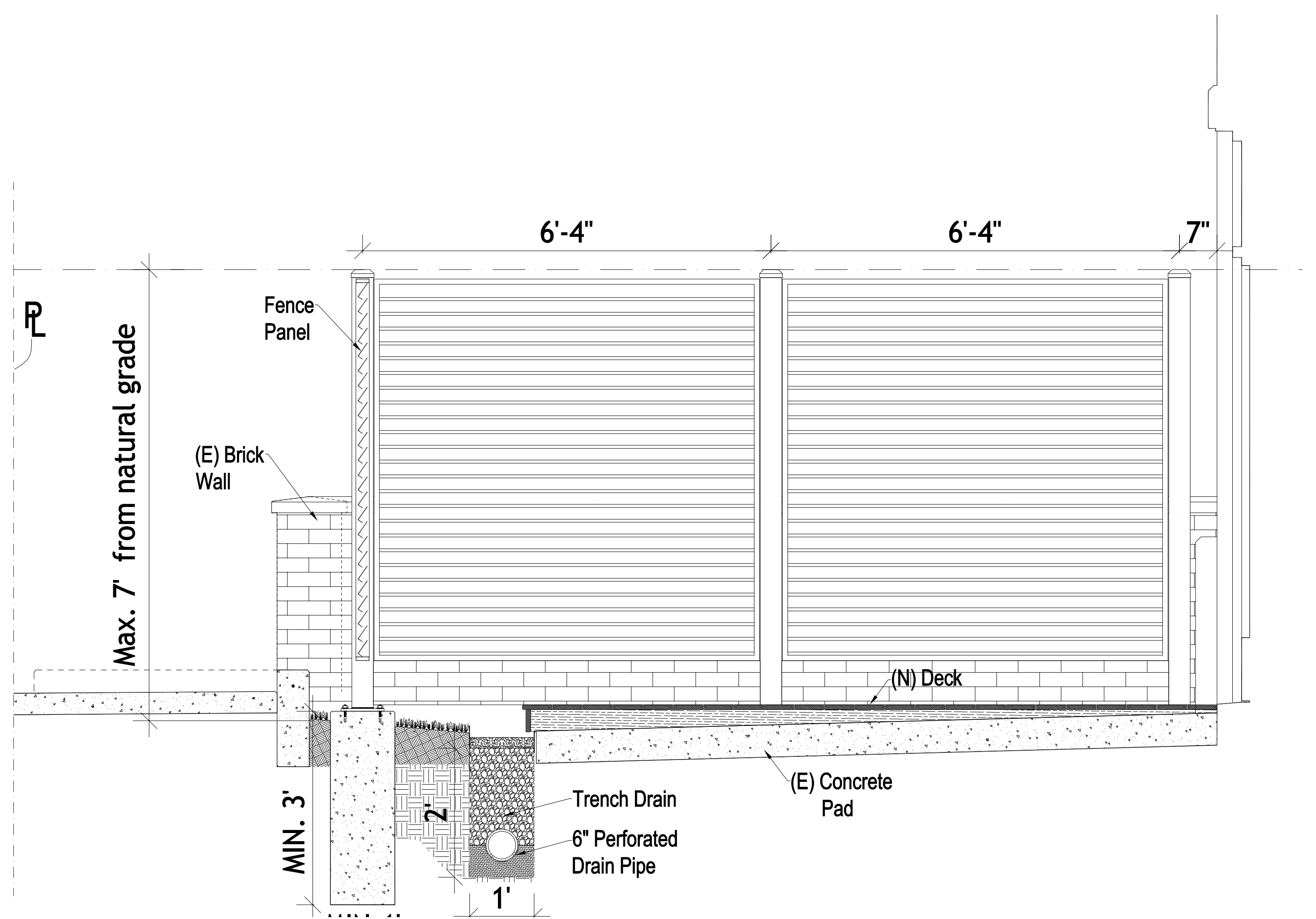
1 FRONT YARD - SOUTH ELEVATION
L1.3



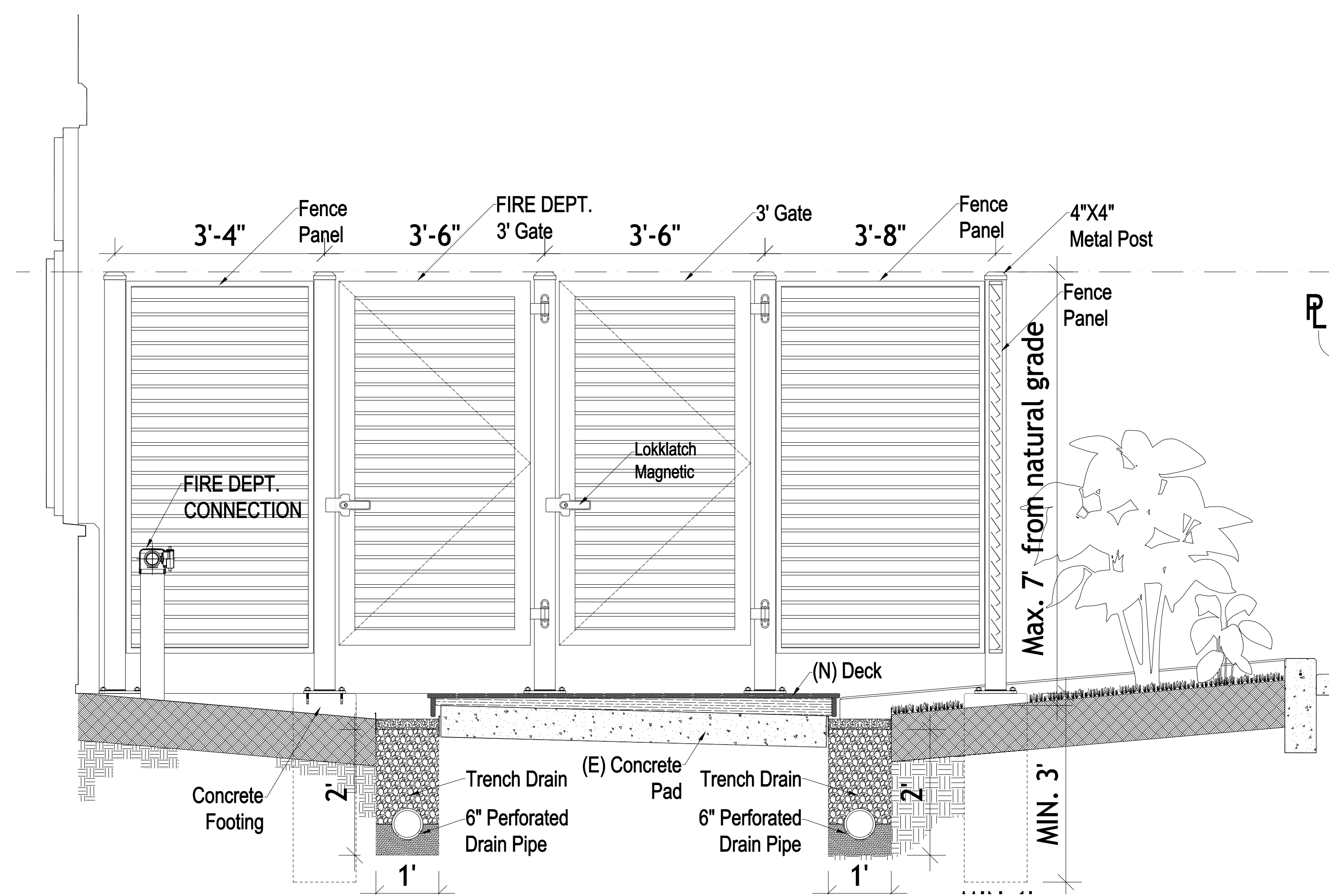
2 FRONT YARD - NORTH ELEVATION
L1.3



3 FRONT YARD - SECTION A
L1.3



4 FRONT YARD - SECTION B
L1.3



REVISIONS

REV	DESCRIPTION	DATE
1	PERMIT RESPONSE	05/01/26

VIA BROADWAY
UNIT A REMODEL

SITE:
2521 BROADWAY
BOULDER, CO 80304

EXTERIOR ELEVATIONS

USE REVIEW
4 MARCH 2026

L1.3

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December 26, 2025

City of Boulder, CO, Planning & Development Services

RE: USE REVIEW to convert 2521 Broadway, Unit A (first level facing Broadway) from office to residential.

BACKGROUND

Our client, the GSI Companies, with an office at 2336 Canyon, in Boulder, is interested in converting an existing commercial space they own into a residential unit. Ignacio Choza is their representative and he has just recently completed a similar conversion of the second level space directly above this one. Arcadea Architecture, which has now merged with Coburn Architecture, was the architect of record. The ADR approval was ADR2023-00150 and Permit number BLD-MXU2023-00020. The difference between the 2nd floor conversion and this one is the Appendix N overlay zone requirement that first floor uses be commercial in this portion of the BC-2 zone. Thus, a Use Review is required.

Below is a detailed response to Use Review and Boulder Valley Comprehensive Plan criteria. Drawings are submitted as separate files.

USE REVIEW CRITERIA

Below, we have copied subsection (e) of 9-6-2(c)(1)(A)(iii) BRC 1981 which also states that the proposal "*will not adversely affect the intended function and character of the area as a neighborhood serving business area where retail-type stores predominate on the ground floor.*" Note that the portions of the sections below that we feel justify this use in this location and our responses are highlighted in **green**.

(e) Criteria for Review: No use review application will be approved unless the approving agency finds all of the following:

(1)

Rationale: The use either:

(A) Provides direct service or convenience to or reduces adverse impacts to the surrounding uses or neighborhood;

(B) Provides a compatible transition between higher intensity and lower intensity uses;

(C) Is necessary to foster a specific city policy, as expressed in the Boulder Valley Comprehensive Plan, including, without limitation, historic preservation, moderate income housing, residential and nonresidential mixed uses in appropriate locations, and group living arrangements for special populations; or

(D) Is an existing legal nonconforming use or an expansion that is permitted under Subsection (f) of this section;

(2) Compatibility: The location, size, design, and operating characteristics of the use will be reasonably compatible with and have minimal negative impact on the use of nearby properties, or, for residential uses or

community, cultural, and educational uses in industrial zoning districts, the proposed development reasonably mitigates the potential negative impacts from nearby properties;

(3) Infrastructure: The use will not significantly adversely affect the infrastructure of the surrounding area, including, without limitation, water, wastewater and storm drainage utilities and streets, compared to an allowed use in the zoning district, or compared to the existing level of impact of a nonconforming use;

(4) Character of Area: The use will not change the predominant character of the surrounding area or the character established by adopted design guidelines or plans for the area; and

(5) Conversion of Dwelling Units to Nonresidential Uses: There shall be a presumption against approving the conversion of dwelling units in the residential zoning districts to nonresidential uses that are allowed pursuant to a use review, or through the substitution of one nonconforming use with another nonconforming use. The presumption against such a conversion may be overcome by a finding that the use to be approved serves another compelling social, human services, governmental or recreational need in the community, including, without limitation, a use for a daycare center, park, religious assembly, social service use, benevolent organization use, art studio or workshop, museum, or an educational use.

APPLICANT RESPONSES

1A: Since the Appendix N overlay was implemented in 2018, there has been a significant increase in the already dire need for more housing in Boulder coupled with a decrease in demand for office space and retail space. The demand for office space has shrunk by 30 percent or more due to the change to remote work. Similarly, the growth of online shopping has reduced the need for retail stores other than food and beverage and entertainment. Providing more moderate-income housing near to the newly planned Western City Campus and on a major bus route provides an important asset to the neighborhood. The location of this unit is not ideal for retail and especially not for food and beverage services. By providing walkable housing, this proposed change of use reduces local automobile traffic and parking demand.

1C: Housing provides a specific BVCP priority, as will be elaborated upon below.

2. The building already exists and all uses to the south and west of this building on the same side of the street for nearly two blocks are single-family residential as are the floors above in the same building.

3. Necessary infrastructure is already in place and can be connected to.

4. See # 2 above.

5. This policy item already points to the need for more housing.

BOULDER VALLEY COMPREHENSIVE PLAN CRITERIA (APPLICANT RESPONSES IN GREEN)

The project aligns with the Boulder Valley Comprehensive Plan's emphasis on housing choice, sustainability, and complete neighborhoods. Providing housing near services reduces reliance on car trips and supports Objective Two (residential expansion).

1.10 Growth Requirements: The overall effect of urban growth must add significant value to the community, improving quality of life. The city will require development and redevelopment to provide significant community benefits, achieve sustainability goals for urban form, and maintain or improve environmental quality as a precondition for further housing and community growth.

This project will turn currently vacant office space that is in declining demand into highly valued residential use in a great location close to a grocery store and other services and on a well-traveled transit line.

1.11 Jobs: Housing Balance Boulder is a major employment center, with more jobs than housing for people who work here. This has resulted in both positive and negative impacts, including economic prosperity, significant in-commuting and high demand on existing housing. The city will continue to be a major employment center and will seek opportunities to improve the balance of jobs and housing while maintaining a healthy economy. This will be accomplished by encouraging new housing and mixed-use neighborhoods in areas close to where people work, encouraging transit-oriented development in appropriate locations, preserving service commercial uses, converting commercial and industrial uses to residential uses in appropriate locations, improving regional transportation alternatives and mitigating the impacts of traffic congestion.

The proposed use will add centrally located housing to Boulder, in a location convenient to transit and employment centers. This housing will replace office uses that are in declining demand, directly addressing the housing balance in the city. Proximity to existing retail and service industry centers will allow the residents to support existing community businesses.

1.22 Channeling Development to Areas with Adequate Infrastructure In order to protect and use past investments in capital improvements, new development and redevelopment will be located in areas where adequate public services and facilities presently exist or are planned to be provided under the city's CIP.

By redeveloping an existing space and transforming it from offices to well-located housing, this proposal will take advantage of existing city services and significant investments in the Alpine/ Balsam area, such as alternative transit options, utilities infrastructure, and nearby retail for a more vibrant and equitable neighborhood.

2.03 Compact Development Pattern The city and county will, by implementing the comprehensive plan (as guided by the Land Use Designation Map and Planning Areas I, II, III Map), ensure that development will take place in an orderly fashion, take advantage of existing urban services, and avoid, insofar as possible, patterns of leapfrog, noncontiguous, scattered development within the Boulder Valley. The city prefers redevelopment and infill as compared to development in an expanded Service Area to prevent urban sprawl and create a compact community.

As a redevelopment, this proposal inherently supports a Compact Development Pattern, increasing the residential density of the neighborhood. It works to create the vision of increased housing density set forth in the BVCP.

2.24 Commitment to a Walkable & Accessible City. The city will promote the development of a walkable and accessible city by designing neighborhoods and mixed-use business areas to provide easy and safe access by foot, bike and transit to places such as neighborhood centers, community facilities, transit stops or centers and shared public spaces and amenities (i.e., 15-minute neighborhoods). The city will consider additional neighborhood centers or small mixed-use retail areas where appropriate and supported by the neighbors they would serve. In some cases, the definition of mixed use and scale and character will be achieved through area planning.

See attached diagram of surrounding neighborhood assets within a fifteen-minute walking radius along with noted locations of single and multi-family residential areas.

ADDITIONAL REASONS WHY THE CHANGE OF USE SHOULD BE APPROVED

1. Given that this building is set back quite a distance from the sidewalk and even further from the street, and because its floor level is slightly below the sidewalk, it is not a great location for retail. There is also a huge existing tree that partially blocks the view of the front door.
2. There is sufficient retail in the blocks to the north of this site to provide necessary services for the area.
3. All four buildings to the south of this building on the same side of the street on this block are residential on the ground floor and above as are all but one building in the next block to the south.
1. There is no on-street parking on Broadway and no direct public access from the parking area on the alley to the front. This would make retail unlikely to succeed in this location.
2. Together, conditions 1- 4 above do not make a compelling case for a retail use. In addition, as mentioned above, the demand for both retail and office space has decreased significantly while the need for more housing has become critical. Providing more housing is now a City Council priority.
3. Not only is this unit not well suited for retail development, it is unlikely the HOA that controls the building would approve it being converted from office to retail. As Appendix N was originally intended to provide more ground floor retail uses, this objective would not be achieved anyway by denying the change of use.
4. The fenced-in private space is intended to provide privacy as well as private outdoor space to the proposed new residence. The fence will be a maximum 7' in height and it will remain 18" clear of the sidewalk.

Please feel free to reach out with questions. We look forward to hearing back from you soon.

Sincerely yours,

David Biek
Senior Architect
303.819.2424 (m)



Pichacz, Alex

From: Lorna Keeler <lmkeeler45@gmail.com>
Sent: Monday, January 12, 2026 4:43 PM
To: Pichacz, Alex
Subject: Review Number LUR2025-00097

Follow Up Flag: Follow up
Flag Status: Flagged

External Sender Notice This email was sent by an external sender.

Hi Alex

We live at 2521 Broadway on the 3rd floor. My husband and I would both like to see Unit A converted to a living space. There is no parking next to Broadway in front of our building for a business. There is parking in the alley to the west of our building but people get confused and don't park where they should, creating problems for people who live off the alley

Unit B was recently converted to a living space and so far that is working very well.

Thanks for reading our input

Lorna Keeler

--

Lorna Keeler, Boulder, Colorado
lmkeeler45@gmail.com

MEMORANDUM

TO: Planning Board
FROM: Alex Pichacz, Case Manager
DATE: June 16, 2026
SUBJECT: CALL-UP ITEM: FINAL PLAT for the Sigma Nu Fraternity project, including the elimination of an existing parcel line and dedication of easements on the 0.59-acre property at 1021 and 1043 Pleasant Street. This approval is subject to call-up on or before **June 26, 2026**.
ADDRESS: 1021 and 1043 Pleasant Street
PROJECT NAME: Sigma Nu Fraternity
CASE NO: TEC2025-00047

Attached is the disposition of the conditional approval (see **Attachment A**) of a Final Plat for the properties at 1021 and 1043 Pleasant St. within the RH-5 (Residential – High 5) zoning district, which will eliminate one lot line to combine the properties as one platted lot and dedicate easements. The applicant has requested a waiver of lot standards per section 9-12-12(b)(2), B.R.C. 1981 due to a change in setback designations for the existing buildings that will occur because of the lot line elimination. The waiver request is described further on the following page. The purpose of the lot line elimination is to allow for the addition of a dining hall, kitchen and gymnasium between the two existing fraternity houses on each property where a property line currently exists. The Final Plat will combine two existing lots into one new lot. See **Attachment C** for the approved Final Plat.

Background. The lots at 1021 and 1043 Pleasant Street combined are an approximately 0.59-acre property located on the north side of Pleasant Street, between 10th and 11th Streets in the University Hill neighborhood. Refer to **Figure 1** below.



Figure 1: Vicinity Map

The property is zoned Residential – High 5 (RH-5), which is described in section 9-5-2, B.R.C. 1981 as, “High density residential areas primarily used for a variety of types of attached residential units, including without limitation, apartment buildings, and where complementary uses may be allowed.” Refer to the zoning map in **Figure 2**.

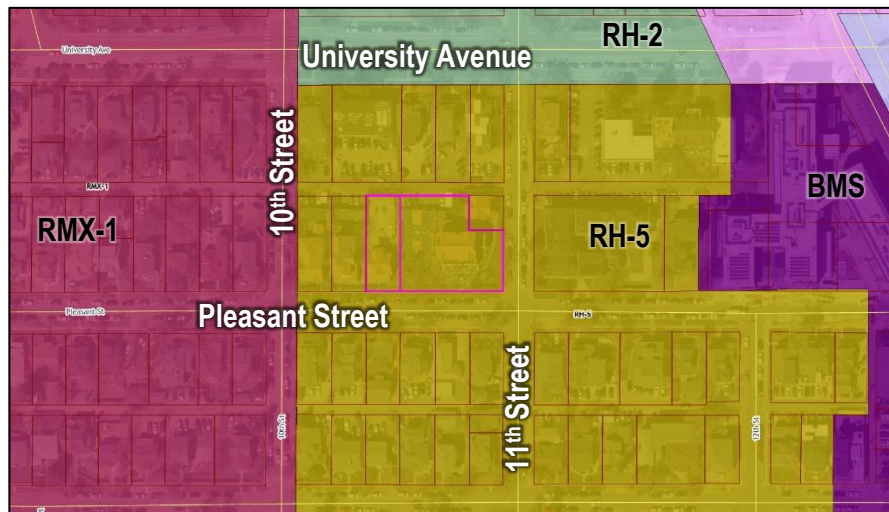


Figure 2: Zoning Map

The purpose of the lot line elimination is to allow for the expansion of the existing fraternity by constructing a new dining hall, kitchen, and gymnasium in between the two existing buildings at 1021 and 1043 Pleasant Street, combining them into one larger building. The existing buildings were constructed in the 1920s, but they are not designated historic landmarks. The proposed addition will not significantly alter their exterior appearance. The addition will share a wall with the three-story building on the east and provide a bridge connection to the two-story building to the west as shown in the renderings in **figure 3**. The building addition is a by-right project subject to technical document and building permit reviews.

By eliminating the interior side lot line to create one lot, the resulting setback designations will change based on the definition of “yard” in Chapter 9-16, B.R.C. 1981. The applicant has requested a waiver to the lot standards per section 9-12-12(b)(2), B.R.C. 1981 to allow the existing buildings to maintain their existing appearance despite changes to required setback designations resulting from the lot line elimination.



Figure 3. Rendering of Proposed By-Right Addition

Waiver to Lot Standards. A waiver to the Standards for Lots and Public Improvements in section 9-12-12 B.R.C. 1981 is requested due to a change in yard and setback designations that will occur through the proposed subdivision. The proposed conditions will not meet criterion 9-12-12(a)(1)(E), B.R.C. 1981 which requires

compliance with all applicable zoning requirements of Title 9. In this case, the building setback requirements of Chapter 7, B.R.C. 1981 cannot be met without demolishing portions of the two buildings that were constructed in the 1920s, prior to the implementation of the current RH-5 setback requirements.

As a result of the proposed lot line elimination, the current 10-foot side yard setback for the building at 1021 Pleasant Street will become a 25-foot rear yard setback since the front yard designation will shift from Pleasant Street to 11th Street in accordance with the setback standards that require the “front yard” to be the shortest property line along a street frontage per the definition of “yard” in Chapter 9-16, B.R.C. 1981.

The existing setback encroachments along Pleasant Street and 11th Street will also remain as part of this subdivision. The applicant does not propose any additions or modifications to the existing structures within the easement areas. Refer to **Figure 4**, below,

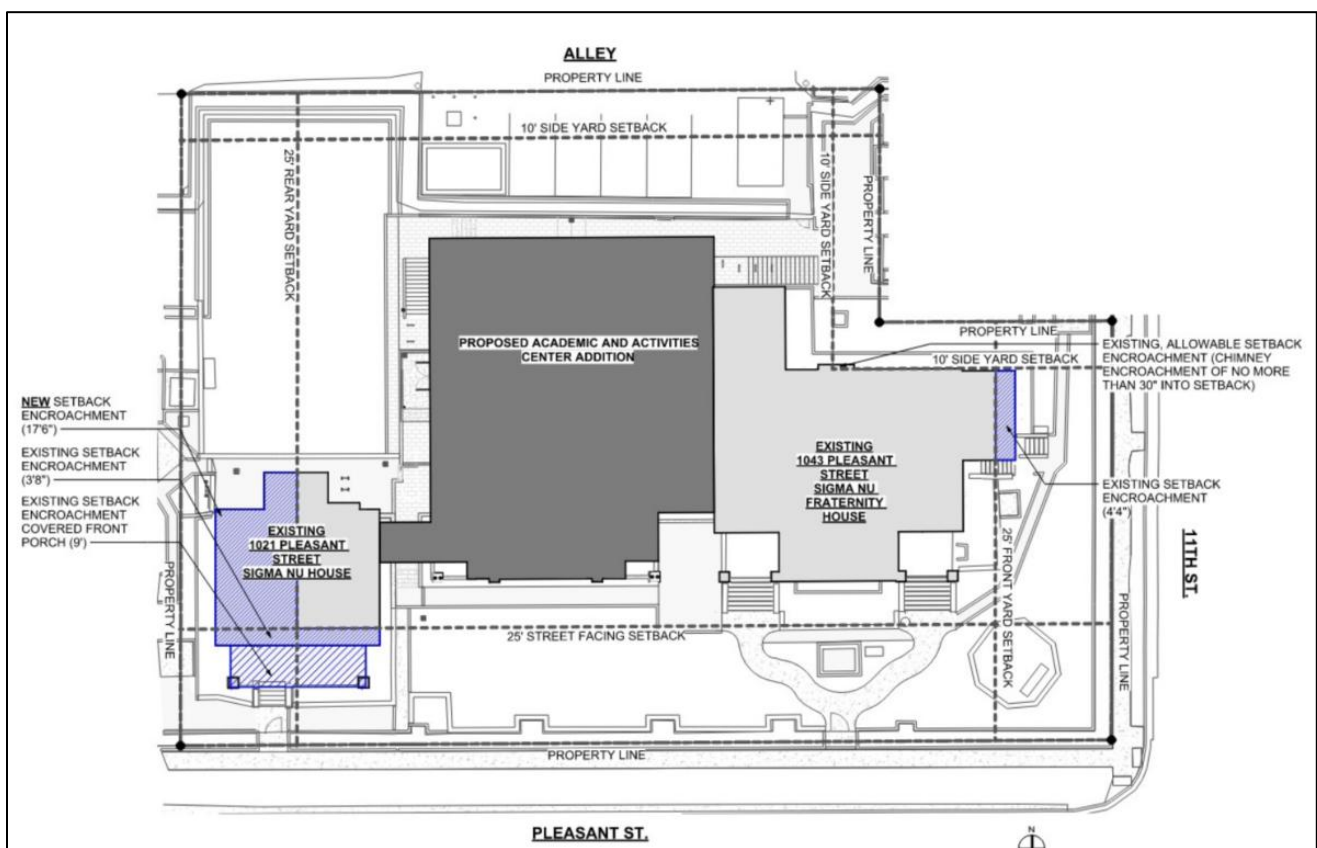


Figure 4. Proposed Setback Encroachments Requiring a Waiver to Lot Standards

Staff find the requested waiver of lot standards meets criterion 9-12-12(b)(2)(B), B.R.C. 1981 because it offers an improved design for the subdivision by maintaining the historic character of the existing buildings since no building additions or modifications are proposed within the resulting setback designations. Approval of the Final Plat does not modify the RH-5 setbacks for the property nor approve any new development within the setback areas. Any future development on the site will be subject to the applicable RH-5 setbacks of Chapter 7 and nonconformance standards of Chapter 10, B.R.C. 1981.

Review Process. Preliminary and Final Plats, in addition to a waiver of the lot standards, are required to consolidate the existing lots as one platted lot and dedicated utility easements. While the Preliminary Plat is a staff level review, the Final Plat requires staff decision and referral to Planning Board as a call-up. The call-up period is 14-days.

Public Comment. Required public notice was provided in the form of written notifications to adjacent property owners of the subject property. In addition, a public notice sign was posted on the property. Therefore, all public notice requirements of Section 9-4-3, "*Public Notice Requirements*," B.R.C. 1981 were met. Staff did not receive any public comment on the proposal.

Conclusion. Staff finds that this application meets the Final Plat criteria set forth in Section [9-12-8](#), B.R.C. 1981 and the Standards for Lots and Public Improvements (Section [9-12-12](#), B.R.C. 1981). This application was approved by Planning and Development Services staff on June 12, 2026 and the decision may be called-up before Planning Board on or before **June 26, 2026**. There is a Planning Board meeting within the 14-day call up period on **June 23, 2026**. Questions about the project or decision should be directed to Alex Pichacz at pichacza@bouldercolorado.gov.

Attachments.

- Attachment A – Disposition of Approval
- Attachment B – Criteria Checklist
- Attachment C – Approved Final Plat
- Attachment D – Subdivision Agreement



**City of Boulder
Planning & Development Services**

**CITY OF BOULDER PLANNING DEPARTMENT
NOTICE OF DISPOSITION**

You are hereby advised that the following action was taken by the Planning Department based on the standards and criteria of the Land Use Code as set forth in Chapter 9-12, B.R.C. 1981, as applied to the proposed development.

DECISION: APPROVED WITH CONDITION
PROJECT NAME: CAPITOL HILL ADDITION BLOCK 2 REPLAT A
DESCRIPTION: FINAL PLAT for the Sigma Nu Fraternity project at 1021 and 1043 Pleasant Street, including the elimination of existing lot lines and dedication of utility easements.
LOCATION: 1021 and 1043 Pleasant St.
LEGAL DESCRIPTION: See Exhibit A
APPLICANT: Jacob Schneck, Sopher Sparn Architects; Paul Legan, Sopher Sparn Architects; Michael Hecht
**OWNERS: The Gamma Kappa Sigma Nu Fraternity Association 1021 LLC
The Gamma Kappa Sigma Nu Fraternity Association 1043 LLC**
APPLICATION: Subdivision/Final Plat, TEC2025-00047
ZONING: Residential - High 5 (RH-5)
CASE MANAGER: Alex Pichacz

THIS IS NOT A SITE SPECIFIC DEVELOPMENT PLAN APPROVAL AND NO VESTED PROPERTY RIGHT IS CREATED BY THIS APPROVAL.

FOR CONDITIONS OF APPROVAL SEE THE FOLLOWING PAGES OF THIS DISPOSITION.

Approved On: _____ June 12, 2026
Date

By: _____
Brad Mueller, Director of Planning & Development Services

This decision may be appealed to the Planning Board by filing an appeal letter with the Planning Department within two weeks of the decision date. If no such appeal is filed, the decision shall be deemed final fourteen days after the date above mentioned.

Appeal to Planning Board Expires: _____ June 26, 2026

Final Approval Date: _____ June 27, 2026

CONDITION OF APPROVAL

- 1. The subdivision is approved subject to the terms of the Subdivision Agreement.

Physical Address
1101 Arapahoe Ave
Boulder, CO 80302

Mailing Address
PO Box 791
Boulder, CO 80306-0791

BoulderPlanDevelop.net
P: 303-441-1880
F: 303-441-4241

EXHIBIT A

LEGAL DESCRIPTION

(1021 and 1043 Pleasant Street)

1021 Pleasant Street (PARCEL A)

LOT 9, BLOCK 2,
CAPITOL HILL,
ACCORDING TO THE PLAT OF WHICH IS RECORDED,
COUNTY OF BOULDER,
STATE OF COLORADO.

AND

1043 Pleasant Street (PARCEL B)

LOT 10, 11 AND THE SOUTH 90 FEET OF LOT 12, BLOCK 2,
CAPITOL HILL ADDITION TO THE CITY OF BOULDER,
COUNTY OF BOULDER,
STATE OF COLORADO.

Physical Address
1101 Arapahoe Ave
Boulder, CO 80302

Mailing Address
PO Box 791
Boulder, CO 80306-0791

BoulderPlanDevelop.net
P: 303-441-1880
F: 303-441-4241

CRITERIA CHECKLIST AND COMMENT FORM

APPLICATION REQUIREMENTS FOR A PRELIMINARY & FINAL PLAT

SECTIONS 9-12-6 & 9-12-8

LUR2025-00082 & TEC2025-00047

ADDRESS: 1021-1043 Pleasant

DATE: 11/14/2025

CRITERIA APPLICABLE TO PRELIMINARY PLAT APPLICATIONS (SECTION 9-12-6)

(a) Application Requirements:

Any preliminary plat submitted for subdivision approval shall be drawn to a scale of no less than one inch equals one hundred feet, and of a scale sufficient to be clearly legible, including streets and lots adjacent to the subdivision. The preliminary plat may be an application under section 9-2-14, "Site Review," B.R.C. 1981, if it meets both the requirements of this section and those of chapter 9-2, "Review Processes," B.R.C. 1981. The applicant shall include on the preliminary plat or in accompanying documents: Choose an item.

Staff Response:

The proposed Preliminary and Final Plat will eliminate interior side yard lot lines. A waiver to lot standards is requested to allow setback encroachments due to changes to yard designations as a result of eliminating lot lines.

- (1) The proposed name of the subdivision; *Yes*
- (2) The location and boundaries of the subdivision, names of all abutting subdivisions with lines indicating abutting lots, or, if the abutting land is unplatted, a notation to that effect, and names of all abutting streets; *Yes*
- (3) Contours at two-foot intervals if the slope is less than ten percent and five feet where the slope is greater than ten percent; *Yes*
- (4) The date of preparation, scale, and north sign (designated as true north); *Yes*
- (5) A vicinity map showing at least three blocks on all sides of the proposed subdivision, which may be of a different scale than the plat; *Yes*
- (6) The location of structures and trees of five-inch caliper or more on the property and approximate location of structures off the property within ten feet of the proposed plat boundary; *Yes*
- (7) The name, address, and telephone number of the licensed surveyor, licensed engineer, or designer of the plat; *Yes*
- (8) The name, address, and telephone number of owner, verification of ownership of the property, and current title report or an attorney memorandum based upon an abstract of title, current as of the date of the submittal; *Yes*
- (9) The total acreage; *Yes*
- (10) The location and dimensions of all existing public improvements, easements, drainage areas, irrigation ditches and laterals, and other significant features within or adjacent to the proposed subdivision; *Yes*
- (11) The location and dimensions of all proposed public improvement, public easements, lot lines, parks, and other areas to be dedicated for public use, a dedication thereof to the public use, and identification of areas reserved for future public acquisition; *Yes*

- (12) Geological stability information upon request of the city manager if the manager determines or the subdivider has any reason to believe that building or other problems may arise from construction in the area proposed for development; *N/A*
- (13) Zoning on and adjacent to the proposed subdivision; *No*
- (14) A designation of areas subject to the one-hundred year flood and the estimated flow rate used in determining that designation, and base flood elevation data and the source used in determining that elevation; *N/A*
- (15) The number of lots and each lot size; *Yes*
- (16) Proposed uses of each lot; *Yes*
- (17) Proposed ownership and use of outlots; *Yes*
- (18) The location and size of existing utilities within or adjacent to the proposed subdivision including, without limitation, water, sewer, storm sewers and drainage facilities, fire hydrants within three hundred fifty feet of the property, electricity, and gas, which shall be placed on separate engineering drawings; *Yes*
- (19) A master utility plan showing proposed plans for private and public utility systems including water, sewer, electric, gas, drainage, telephone, telecommunications, and any other services that will supply the property; *Yes*
- (20) A shadow analysis for any existing buildings that is drawn in compliance with section 9-9-17, "Solar Access," B.R.C. 1981, and any other standards as may be required by the city manager. *Yes*

(b) Vacation of Utility Easements:

A subdivider may vacate city utility easements on the plat. *N/A*

STANDARDS FOR LOTS AND PUBLIC IMPROVEMENTS (SECTION 9-12-12)

(a) Conditions Required: *Meets criteria*

Except as provided in subsection (b) of this section, subdivision plats shall comply with section 9-9-17, "Solar Access," B.R.C. 1981, and meet the following conditions:

(1) Standards for Lots: Lots meet the following conditions:

- (A) Each lot has access to a public street. *Yes*
- (B) Except as provided in subparagraph (D) of this paragraph, each lot has at least thirty feet of frontage on a public street. *Yes*
- (C) Except as provided in subparagraph (D) of this paragraph, no portion of a lot is narrower than thirty feet. *Yes*
- (D) Each townhouse lot has at least fifteen feet of frontage on a public street, and no portion of a townhouse lot is narrower than fifteen feet. Townhouse lots that do not meet the standards of paragraphs (B) or (C) above shall be used solely for townhouses. *N/A*
- (E) Lots and existing structures meet all applicable zoning requirements of this title and section 9-9-17, "Solar Access," B.R.C. 1981. *No*

Staff Response:

A waiver to this standard is requested to allow for setback encroachments for existing structures.

- (F) Lots with double frontage are avoided, except where necessary to provide separation from major arterials or incompatible land uses or because of the slope of the lot. *Yes*

- (G) Side lot lines are substantially at right angles or radial to the centerline of streets, whenever feasible. *Yes*
- (H) Corner lots are larger than other lots to accommodate setback requirements of section 9-7-1, "Schedule of Form and Bulk Standards," B.R.C. 1981. *Yes*
- (I) Residential lots are shaped so as to accommodate a dwelling unit within the setbacks prescribed by the zoning district. *Yes*
- (J) Lots shall not be platted on land with a ten percent or greater slope, unstable land or land with inadequate drainage unless each platted lot has at least one thousand square feet of buildable area, with a minimum dimension of twenty-five feet. The city manager may approve the platting of such land upon finding that acceptable measures, submitted by a registered engineer qualified in the particular field, eliminate or control the problems of instability or inadequate drainage. *Yes*
- (K) Where a subdivision borders an airport, a railroad right of way, a freeway, a major street or any other major source of noise, the subdivision is designed to reduce noise in residential lots to a reasonable level and to retain limited access to such facilities by such measures as a parallel street, a landscaped buffer area or lots with increased setbacks. *N/A*
- (L) Each lot contains at least one deciduous street tree of two-inch caliper in residential subdivisions, and each corner lot contains at least one tree for each street upon which the lot fronts, located so as not to interfere with sight distance at driveways and chosen from the list of acceptable trees established by the city manager, unless the subdivision agreement provides that the subdivider will obtain written commitments from subsequent purchasers to plant the required trees. *Yes*
- (M) The subdivider provides permanent survey monuments, range points and lot pins placed by a Colorado registered land surveyor. *Yes*
- (N) Where an irrigation ditch or channel, natural creek, stream or other drainage way crosses a subdivision, the subdivider provides an easement sufficient for drainage and maintenance. *N/A*
- (O) Lots are assigned street numbers by the city manager under the City's established house numbering system, and before final building inspection, the subdivider installs numbers clearly visible and made of durable material. *Yes*
- (P) For the purpose of ensuring the potential for utilization of solar energy in the City, the subdivider places streets, lots, open spaces and buildings so as to maximize the potential for the use of solar energy in accordance with the following solar siting criteria: *Meets criteria*
 - (i) Placement of Open Space and Streets: Open space areas are located wherever practical to protect buildings from shading by other buildings within the development or from buildings on adjacent properties. Topography and other natural features and constraints may justify deviations from this criterion. *N/A*
 - (ii) Lot Layout and Building Siting: Lots are oriented and buildings sited in a way which maximizes the solar potential of each principal building. Lots are designed so that it would be easy to site a structure which is unshaded by other nearby structures and so as to allow for owner control of shading. Lots also are designed so that buildings can be sited so as to maximize the solar potential of adjacent properties by minimizing off-site shading. *N/A*
 - (iii) Building Form: The shapes of buildings are designed to maximize utilization of solar energy. Existing and proposed buildings shall meet the solar access protection and solar siting requirements of section 9-9-17, "Solar Access," B.R.C. 1981. *Yes*
 - (iv) Landscaping: The shading impact of proposed landscaping on adjacent buildings is addressed by the applicant. When a landscape plan is required, the applicant shall indicate the plant type and whether the plant is coniferous or deciduous. *Yes*

(b) Waiver of Lot Standards: *Meets criteria*

The planning board may waive the design requirements of Paragraph (a)(1) of this section not otherwise required by any other provision of the code:

- (1) If permitted as part of an approval under Section 9-7-12, "Two Detached Dwellings on a Single Lot," B.R.C. 1981, or site review under Section 9-2-14, "Site Review," B.R.C. 1981; or *N/A*
- (2) Upon request of the subdivider if the subdivider provides an alternative means of meeting the purposes of this chapter, which the board finds: Choose an item.
 - (a) Is necessary because of unusual physical circumstances of the subdivision; or *N/A*
 - (b) Provides an improved design of the subdivision. *Yes*

Staff Response:

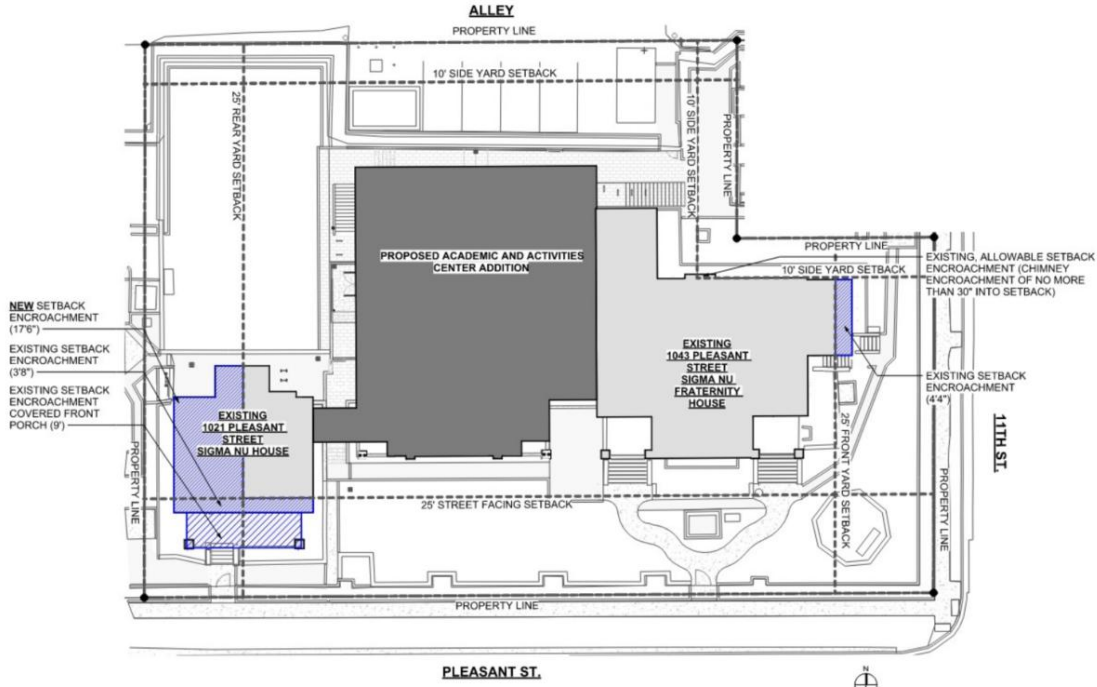
A waiver of lot standards is requested due to a change in setback designations that will occur through the proposed subdivision. The proposed conditions will not meet criterion 9-12-12(a)(1)(E), B.R.C. 1981 which requires compliance with applicable zoning requirements of Title 9. In this case the building setback requirements of Chapter 7, B.R.C. 1981.

The purpose of the subdivision review is to eliminate existing internal lot lines to allow for an addition of an academic and activity center for the fraternity that will connect the two buildings at 1021 and 1043 Pleasant Street. The diagram below depicts the proposed setback encroachments request to be approved through this subdivision review.

The current 10-foot side yard setback for the house at 1021 Pleasant Street will become a 25-foot rear yard setback since the front yard designation will shift from Pleasant Street to 11th Street in accordance with the setback standards that require the "front yard" to be the shortest property line along a street frontage per the definition of "yard" in Chapter 9-16, B.R.C. 1981. An existing setback encroachment along Pleasant Street will also remain as part of this subdivision.

The house at 1021 Pleasant Street was built in 1920 and currently has an existing setback encroachment of 3' 8" into the required 12' 6" side yard setback. The proposed subdivision will increase the existing setback encroachment to 17' 6" since the side yard will become the rear yard.

The house at 1043 Pleasant Street, built in 1925, also has an existing setback encroachment of 4' 4" into the 25-foot front yard setback. Staff supports the waiver request to allow setback encroachments since the buildings are not being expanded in the area of setback encroachments.



CRITERIA APPLICABLE TO ALL FINAL PLAT APPLICATIONS (SECTION 9-12-8)

- (a) A final plat may be submitted at the same time as a preliminary plat. *Applies*
- (b) In order to obtain city manager review of a final plat, the subdivider shall submit a final plat that conforms to the approved preliminary plat, includes all changes required by the manager or the planning board, and includes the following information: *Contains all requirements*
 - (1) A map of the plat drawn at a scale of no less than one inch equals one hundred feet (and of a scale sufficient to be clearly legible) with permanent lines in ink and whose outer dimensions are twenty-four inches by thirty-six inches on a reproducible Mylar or paper sheet (maps of two or more sheets shall be referenced to an index placed on the first sheet) or in electronic format saved as a PDF document using no less than 300 dots per inch (dpi), a font of no less than ten point type, a file size no greater than 100 MB, a drawing size of no more than twenty-four inches by thirty-six inches, legible and scalable (to a standard architectural or engineering scale) with a graphic scale bar on each page, and sufficient blank space for recording labels on each sheet; *Yes*
 - (2) A vicinity map on the title sheet showing at least three blocks on all sides of the proposed subdivision, which may be of a different scale than the plat; *Yes*
 - (3) The title under which the subdivision is to be recorded; *Yes*
 - (4) Accurate dimensions for all lines, angles and curves used to describe boundaries, public improvements, easements, areas to be reserved for public use and other important features. (All curves shall be circular arcs and shall be defined by the radius, central angle, tangent, arc and chord distances. All dimensions, both linear and angular, are to be determined by an accurate control survey in the field that must balance and close within a limit of one in ten thousand. No final plat showing plus or minus dimensions will be approved.); *Yes*
 - (5) The names of all abutting subdivisions, or, if the abutting land is unplatted, a notation to that effect; *Yes*

- (6) An identification system for all lots and blocks and names for streets; *Yes*
- (7) An identification of the public improvements, easements, parks and other public facilities shown on the plat, a dedication thereof to the public use and areas reserved for future public acquisition; *Yes*
- (8) The total acreage and surveyed description of the area; *Yes*
- (9) The number of lots and size of each lot; *Yes*
- (10) Proposed ownership and use of outlots; *N/A*
- (11) A designation of areas subject to the one-hundred-year flood, the estimated flow rate used in determining that designation, and a statement that such designation is subject to change; *N/A*
- (12) A description of all monuments, both found and set, that mark the boundaries of the property and a description of all control monuments used in conducting the survey; *Yes*
- (13) A statement by the land surveyor that the surveyor performed the survey in accordance with state law; *Yes*
- (14) A statement by the land surveyor explaining how bearings, if used, were determined; *Yes*
- (15) The signature and seal of the Colorado registered land surveyor; *Yes*
- (16) A delineation of the extent of the one hundred year floodplain, the base flood elevation, the source of such delineation and elevation and a statement that they are subject to change; *N/A*
- (17) The square footage of each lot; *Yes*
- (18) Certification for approval by the following: *Contains all requirements*
 - (A) Director of planning,
 - (B) Director of public works and utilities
 - (C) Director of parks and recreation, if park land is dedicated on the plat, and *N/A*
 - (D) Director of real estate and open space, if open space land is dedicated on the plat; *N/A*
- (19) Signature blocks for all owners of an interest in the property; and *Yes*
- (20) A signature block for the city manager's signature. *Yes*

9-12-9. Lot Line and Boundary Verification. *Yes*

The subdivider shall provide to the City a computer check to assure that the exterior lines of the subdivision on the final plat close. In the absence of such verification, the City shall obtain such computer check and the subdivider shall pay the fee therefor prescribed by subsection 4-20-43(a), B.R.C. 1981, before recording the plat.

FINAL PLAT CAPITOL HILL ADDITION BLOCK 2 REPLAT A

A PARCEL OF BLOCK 2, CAPITOL HILL ADDITION, LOCATED IN THE NORTHWEST QUARTER OF SECTION 31, TOWNSHIP 1 NORTH, RANGE 70 WEST OF THE 6TH P.M., CITY OF BOULDER, COUNTY OF BOULDER, STATE OF COLORADO

SHEET 1 OF 2
TOTAL AREA = 25,515 SQ FT

Dedication

KNOW ALL PERSONS BY THESE PRESENTS THAT THE UNDERSIGNED BEING THE OWNERS OF THAT REAL PROPERTY SITUATED IN THE CITY OF BOULDER, COUNTY OF BOULDER, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

A PARCEL OF LAND AS DESCRIBED IN COMMONWEALTH LAND TITLE INSURANCE COMPANY COMMITMENT NUMBER HS0847592 AMENDMENT 1 DATED OCTOBER 1, 2025, LOCATED IN A PART OF BLOCK 2, CAPITOL HILL ADDITION, LOCATED IN THE NORTHWEST QUARTER OF SECTION 31, TOWNSHIP 1 NORTH, RANGE 70 WEST OF THE 6TH P.M., CITY OF BOULDER, COUNTY OF BOULDER, STATE OF COLORADO.

CONSIDERING THE CENTERLINE OF PLEASANT STREET TO BEAR N89°38'35"E BETWEEN A FOUND BENT #4 REBAR IN ASPHALT IN THE INTERSECTION OF PLEASANT STREET AND 10TH STREET AND A FOUND #4 REBAR IN A RANGE BOX AT THE INTERSECTION OF PLEASANT STREET AND 11TH STREET, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

BEGINNING AT THE SOUTHWEST CORNER OF LOT 9, BLOCK 2, CAPITOL HILL ADDITION;

THENCE NORTH 00°05'09" EAST ALONG THE WEST LINE OF SAID LOT 9, A DISTANCE OF 139.98 FEET TO THE NORTHWEST CORNER THEREOF;

THENCE NORTH 89°34'53" EAST ALONG THE NORTH LINE OF LOTS 9, 10, AND 11, BLOCK 2, A DISTANCE OF 150.03 FEET TO THE NORTHEAST CORNER OF LOT 11;

THENCE SOUTH 00°04'45" WEST ALONG THE EAST LINE OF SAID LOT 11, A DISTANCE OF 50.14 FEET;

THENCE NORTH 89°38'35" EAST, A DISTANCE OF 50.01 FEET TO THE EASTERN LINE OF LOT 12;

THENCE SOUTH 00°04'37" WEST ALONG THE EAST LINE OF LOT 12, A DISTANCE OF 90.00 FEET TO THE SOUTHEAST CORNER THEREOF;

THENCE SOUTH 89°38'35" WEST ALONG THE SOUTH LINE OF LOTS 9, 10, 11 AND 12, A DISTANCE OF 200.06 FEET MORE OR LESS TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINING 25,515 SQUARE FEET, OR 0.59 ACRES, MORE OR LESS.

HAVE CAUSED SAID PROPERTY TO BE LAID OUT, SURVEYED, SUBDIVIDED AND PLATTED UNDER THE NAME OF "CAPITOL HILL ADDITION BLOCK 2 REPLAT A" AND BY THESE PRESENTS DO GRANT TO THE CITY OF BOULDER THOSE PORTIONS OF REAL PROPERTY DESIGNATED AS "UTILITY EASEMENT" ON THE ACCOMPANYING PLAT AS EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, OPERATION, MAINTENANCE, REPAIR AND REPLACEMENT FOR ALL SERVICES, INCLUDING WITHOUT LIMITING THE GENERALITY OF THE FORGOING: TELEPHONE AND ELECTRIC LINES, WORKS, POLES, UNDERGROUND CABLES, GAS PIPELINES, WATER PIPELINES, SANITARY SEWER LINES, STREET LIGHTS, CULVERTS, HYDRANTS, DRAINAGE DITCHES, AND DRAINS AND ALL APPURTENANCES THERETO. IT IS EXPRESSLY UNDERSTOOD AND AGREED BY THE UNDERSIGNED THAT ALL EXPENSES AND COSTS INVOLVED IN CONSTRUCTING AND INSTALLING WATER PIPELINES AND APPURTENANCES, SANITARY SEWER WORKS AND LINES, GAS SERVICE LINES, ELECTRICAL SERVICE WORKS AND LINES, STORM SEWERS AND DRAINS, STREET LIGHTING, GRADING AND LANDSCAPING, CURBS, GUTTERS, STREET PAVEMENT, SIDEWALKS, AND OTHER SUCH UTILITIES AND SERVICES SHALL BE GUARANTEED AND PAID FOR BY THE SUBDIVIDER OR ARRANGEMENTS MADE BY THE SUBDIVIDER THEREFOR WHICH ARE APPROVED BY THE CITY OF BOULDER, AND SUCH SUMS SHALL NOT BE PAID BY THE CITY OF BOULDER, AND THAT ANY ITEM SO CONSTRUCTED OR INSTALLED AND ACCEPTED BY THE CITY OF BOULDER, SHALL BECOME THE SOLE PROPERTY OF THE CITY OF BOULDER, EXCEPT ITEMS OWNED BY MUNICIPALLY FRANCHISED OR PERMITTED UTILITIES, WHICH ITEMS, WHEN CONSTRUCTED OR INSTALLED, SHALL REMAIN THE PROPERTY OF THE OWNER OR THE PUBLIC UTILITY AND SHALL NOT BECOME THE PROPERTY OF THE CITY OF BOULDER.

FOR THE APPROVAL OF "CAPITOL HILL ADDITION BLOCK 2 REPLAT A" AND THE DEDICATIONS AND CONDITIONS WHICH APPLY THERETO THIS ___ DAY OF _____, 2026.

THE GAMMA KAPPA SIGMA NU FRATERNITY ASSOCIATION 1021 LLC,
A COLORADO LIMITED LIABILITY COMPANY (OWNER OF 1021 PLEASANT ST)

BY: _____
MICHAEL HECHT, PRESIDENT

ACKNOWLEDGMENT

STATE OF COLORADO)
) SS
COUNTY OF EAGLE)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY OF _____, 2026,
BY MICHAEL HECHT, PRESIDENT OF THE GAMMA KAPPA SIGMA NU FRATERNITY ASSOCIATION 1021 LLC.

WITNESS MY HAND AND SEAL.
MY COMMISSION EXPIRES: _____

[SEAL] _____
NOTARY PUBLIC

THE GAMMA KAPPA SIGMA NU FRATERNITY ASSOCIATION 1043 LLC,
A COLORADO LIMITED LIABILITY COMPANY (OWNER OF 1043 PLEASANT ST)

BY: _____
MICHAEL HECHT, CO-MANAGER

ACKNOWLEDGMENT

STATE OF COLORADO)
) SS
COUNTY OF EAGLE)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY OF _____, 2026,
BY MICHAEL HECHT, PRESIDENT OF THE GAMMA KAPPA SIGMA NU FRATERNITY ASSOCIATION 1043 LLC.

WITNESS MY HAND AND SEAL.
MY COMMISSION EXPIRES: _____

[SEAL] _____
NOTARY PUBLIC

LENDER'S CONSENT AND SUBORDINATION

LENDER'S CONSENT AND SUBORDINATION

THE UNDERSIGNED, A BENEFICIARY UNDER A CERTAIN DEED OF TRUST ENCUMBERING THE PROPERTY, HEREBY EXPRESSLY CONSENTS TO AND JOINS IN THE EXECUTION AND RECORDING OF THIS SUBDIVISION PLAT, DEDICATION AND EASEMENTS SHOWN HEREON AND MAKES THE DEED OF TRUST SUBORDINATE HERETO. THE UNDERSIGNED REPRESENTS THAT HE OR SHE HAS FULL POWER AND AUTHORITY TO EXECUTE THIS LENDER'S CONSENT AND SUBORDINATION ON BEHALF OF THE LENDER STATED BELOW.

BANK OF COLORADO

BY: _____
AUTHORIZED REPRESENTATIVE

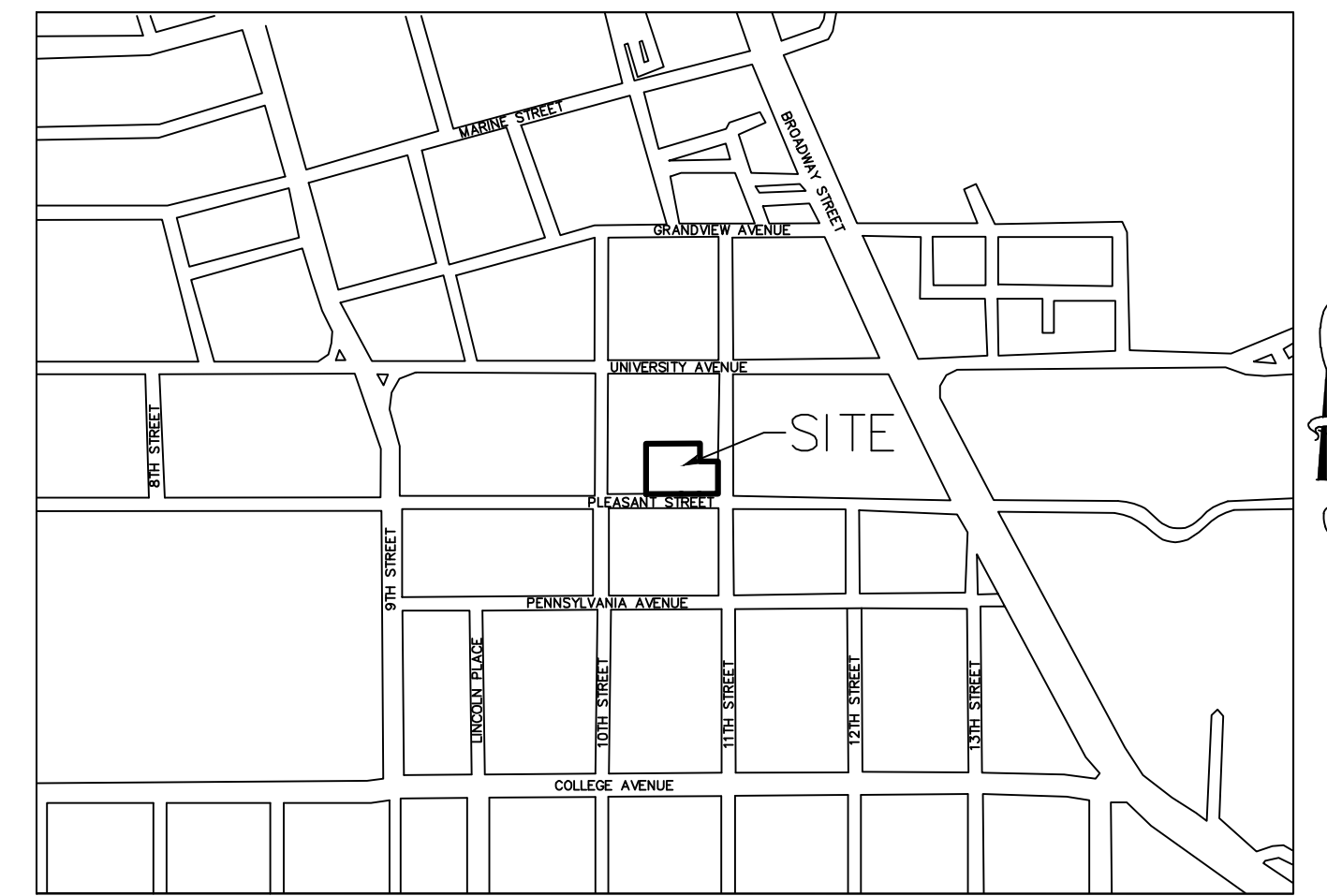
ACKNOWLEDGMENT

STATE OF: _____)
) SS
COUNTY OF: _____)

THE FORGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY OF _____, 2026, BY _____ AS _____ OF BANK OF COLORADO.

WITNESS MY HAND AND SEAL.
MY COMMISSION EXPIRES: _____

[SEAL] _____
NOTARY PUBLIC



Vicinity Map
SCALE: 1" = 500'

Notes

- COMMONWEALTH LAND TITLE INSURANCE COMPANY COMMITMENT NUMBER HS0847592 AMENDMENT 1, DATED OCTOBER 1, 2025 AT 8:00 A.M., WAS ENTIRELY RELIED UPON FOR RECORDED INFORMATION REGARDING RIGHTS-OF-WAY, EASEMENTS AND ENCUMBRANCES IN THE PREPARATION OF THIS SURVEY. THE PROPERTY SHOWN AND DESCRIBED HEREON IS ALL OF THE PROPERTY DESCRIBED IN SAID TITLE COMMITMENT.
 - ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
 - BASIS OF BEARINGS: GPS DERIVED BEARINGS BASED ON A BEARING OF N89°38'35"E ALONG THE CENTERLINE OF PLEASANT STREET, BETWEEN A FOUND #4 REBAR IN ASPHALT AT THE INTERSECTION OF 10TH STREET AND PLEASANT STREET AND A FOUND #4 REBAR IN A RANGE BOX AT THE INTERSECTION OF 11TH STREET AND PLEASANT STREET AS SHOWN HEREON. COLORADO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NORTH AMERICAN DATUM 1983 (NAD83). ALL BEARINGS SHOWN HEREON ARE RELATIVE THERETO.
 - THE SUBJECT PROPERTY IS ZONED RH-5, RESIDENTIAL-HIGH 5, PER CITY OF BOULDER, AS RESEARCHED ON SEPTEMBER 15, 2025
THE RESTRICTIONS ARE AS FOLLOWS:
FRONT SETBACK: 25' SIDE SETBACK: 25' REAR SETBACK: 25'
MAXIMUM BUILDING HEIGHT: 35'
 - THIS SURVEY IS VALID ONLY IF PRINT HAS SEAL AND SIGNATURE OF SURVEYOR.
 - THE DISTANCE MEASUREMENTS SHOWN HEREON ARE U.S. SURVEY FOOT.
 - DATE OF FIELDWORK: JULY 8, 2025
 - THE FOLLOWING DOCUMENTS ARE MENTIONED IN THE ABOVE REFERENCED TITLE DOCUMENT AND APPEAR TO AFFECT THE SUBJECT PROPERTY BUT CANNOT BE SHOWN GRAPHICALLY. THE FOLLOWING LIST CONTAINS THE TITLE DOCUMENT EXCEPTION NUMBER, DATE RECORDED, RECEPTION NUMBER AND/OR BOOK AND PAGE.
- | | | | |
|----|---------------|--------------------|-------------------------------|
| #3 | APR. 11, 1920 | BOOK 357, PAGE 375 | WARRANTY DEED |
| #4 | NOV. 30, 2000 | REC. NO. 2099783 | BROADBAND SERVICE AGREEMENT |
| #5 | NOV. 5, 2008 | REC. NO. 2962928 | DISHWASHING MACHINE AGREEMENT |

Approvals

DIRECTOR OF PLANNING

DIRECTOR OF PUBLIC WORKS AND UTILITIES

City Manager's Certificate

IN WITNESS WHEREOF, THE SAID CITY OF BOULDER HAS CAUSED ITS SEAL TO BE HEREUNTO AFFIXED BY ITS CITY MANAGER THIS ____ DAY OF _____, 2026.

ATTEST:

CITY CLERK

CITY MANAGER

Clerk and Recorder's Certificate

STATE OF COLORADO)
) SS
COUNTY OF BOULDER)

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED IN MY OFFICE AT _____ O'CLOCK ____M., THIS ____ DAY OF _____, 20____, AND IS RECORDED AT RECEPTION # _____

FEES PAID: \$ _____

CLERK AND RECORDER

DEPUTY

Surveyor's Statement

I, JAMES Z. GOWAN, A LAND SURVEYOR LICENSED IN THE STATE OF COLORADO, HEREBY STATE FOR AND ON BEHALF OF FLATIRONS, INC., TO GAMMA KAPPA SIGMA NU FRATERNITY ASSOCIATION, THAT A SURVEY OF THE ABOVE DESCRIBED PREMISES WAS CONDUCTED BY ME OR UNDER MY RESPONSIBLE CHARGE ON JULY 8, 2025, AND THAT THE ACCOMPANYING PLAT ACCURATELY AND PROPERLY SHOWS SAID SUBDIVISION AND THE SURVEY THEREOF.

JAMES Z. GOWAN
COLORADO P.L.S. #29038
VICE PRESIDENT, FLATIRONS, INC.

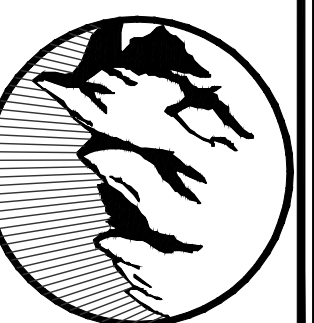
James Z.
Gowan

Digitally signed by James Z. Gowan
DN: cn=James Z. Gowan, o=Flatirons, Inc., ou,
email=jzgowan@flatironsinc.com, c=US
Date: 2026.05.04 10:14:21 -0600

REVISION	DATE
1 - REVISIONS AS PER CITY OF BOULDER	9-22-25
2 - REVISIONS AS PER CLIENT	10-21-25
3 - REVISIONS AS PER CITY OF BOULDER	1-19-26
4 - REVISIONS AS PER CITY OF BOULDER	2-16-26
5 - REVISIONS AS PER CITY OF BOULDER	2-26-26
6 - REVISIONS AS PER CITY OF BOULDER	4-1-26
7 - REVISIONS AS PER CITY OF BOULDER	5-4-26

FINAL PLAT
CAPITOL HILL ADDITION BLOCK 2 REPLAT A
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Flatirons, Inc.
Land Surveying Services
www.FlatironsInc.com
655 FOURTH AVE
LONGMONT, CO 80501
(303) 776-1733
7000 N. BROADWAY,
SUITE 209
DENVER, CO 80221
(303) 936-6997
3825 IRIS AVE.,
SUITE 395
BOULDER, CO 80301
(303) 443-7001



51426
PROFESSIONAL LAND SURVEYOR

JOB NUMBER:
25-82.747
DATE:
9-22-2025
DRAWN BY:
C. LEWIS
CHECKED BY:
JK/BO/ZG
SHEET 1 OF 2

FINAL PLAT

CAPITOL HILL ADDITION BLOCK 2 REPLAT A

A PARCEL OF BLOCK 2, CAPITOL HILL ADDITION, LOCATED IN THE NORTHWEST QUARTER OF SECTION 31, TOWNSHIP 1 NORTH, RANGE 70 WEST OF THE 6TH P.M., CITY OF BOULDER, COUNTY OF BOULDER, STATE OF COLORADO

SHEET 2 OF 2

Legend

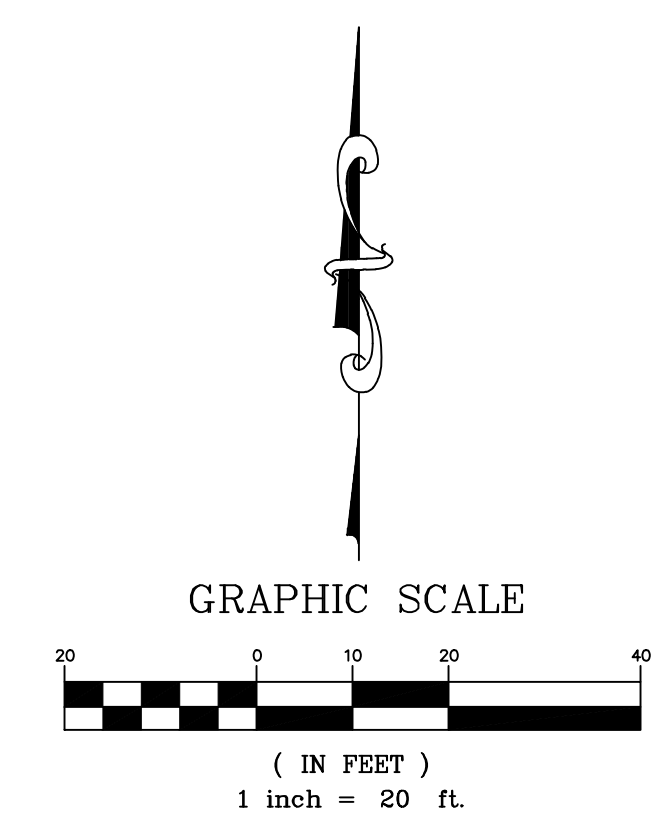
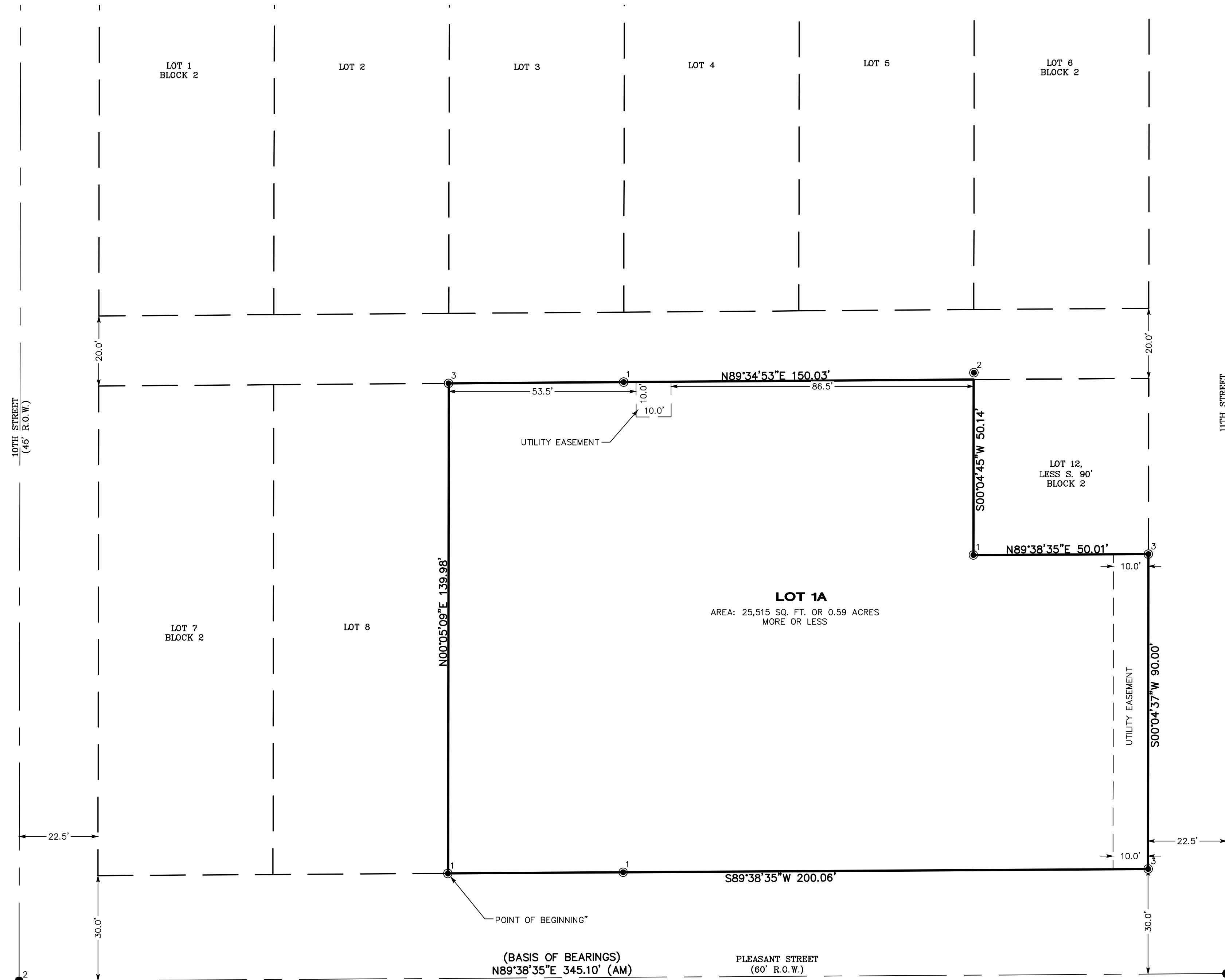
- 1 FOUND #4 REBAR IN RANGE BOX
- 2 FOUND BENT #4 REBAR IN ASPHALT
- 3 FOUND #5 REBAR
- 1 SET #5 REBAR WITH 1.5" ALUMINUM CAP STAMPED "FLATIRONS INC. 29038"
- 2 SET 2" ALUMINUM DISK WITH MAG NAIL "FLATIRONS SURVEYING LS 29038" AS 2' WITNESS CORNER
- 3 SET 1" BRASS TAG WITH MAG NAIL STAMPED "FLATSURV LS 29038"
- ⊕ FOUND 2" ALUMINUM DISK WITH MAG NAIL STAMPED "PATTERSON LS 26971"
- (AM) AS MEASURED AT TIME OF SURVEY

Boundary Closure Report

COURSE: N00°05'09"E LENGTH: 139.98'
 COURSE: N89°34'53"E LENGTH: 150.03'
 COURSE: S00°04'45"W LENGTH: 50.14'
 COURSE: N89°38'35"E LENGTH: 50.01'
 COURSE: S00°04'37"W LENGTH: 90.00'
 COURSE: S89°38'35"W LENGTH: 200.06'

AREA: 25,515 SQ. FT. COURSE: N49°20'22"W
 ERROR CLOSURE: 0.002 ERROR NORTH: 0.0013 EAST: -0.0015

PRECISION 1: 340110.00



REVISION	DATE
1 - REVISIONS AS PER CLIENT	9-22-25
2 - REVISIONS AS PER CLIENT	10-21-25
3 - REVISIONS AS PER CITY OF BOULDER	1-19-26
4 - REVISIONS AS PER CITY OF BOULDER	2-16-26
5 - REVISIONS AS PER SITEWORKS	2-26-26
6 - REVISIONS AS PER CITY OF BOULDER	4-1-26
7 - REVISIONS AS PER CITY OF BOULDER	5-4-26

FINAL PLAT
 CAPITOL HILL ADDITION BLOCK 2 REPLAT A

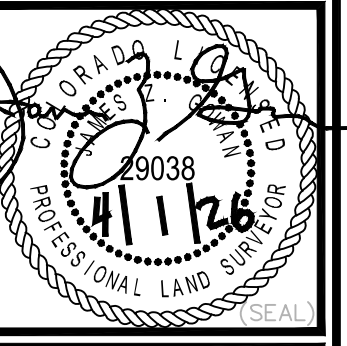
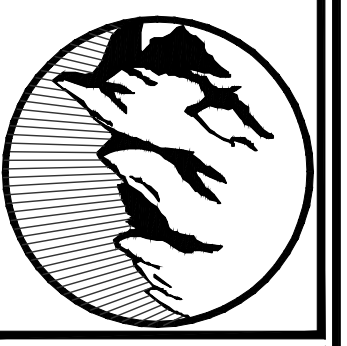
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 BOULDER, CO 80301
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JOB NUMBER:
25-82,747

DATE:
9-22-2025

DRAWN BY:
C. LEWIS

CHECKED BY:
JK/BO/ZG

SHEET 2 OF 2

For Administrative Use Only

Grantor: City of Boulder,
The Gamma Kappa Sigma Nu Fraternity Association
1021 LLC, and The Gamma Kappa Sigma Nu
Fraternity Association 1043 LLC

Grantee: The Gamma Kappa Sigma Nu Fraternity
Association 1021 LLC, and
The Gamma Kappa Sigma Nu Fraternity Association
1043 LLC and City of Boulder

Case #: TEC2025-00048

SUBDIVISION AGREEMENT

- A. Parties. This agreement (“Agreement”) is entered into this ____ day of _____, 2026, by and between the CITY OF BOULDER, a Colorado municipal corporation (the "City"), THE GAMMA KAPPA SIGMA NU FRATERNITY ASSOCIATION 1021 LLC, a Colorado limited liability company (“Gamma Kappa Sigma NU Fraternity Association 1021 LLC”), the owner of the property generally known as 1021 Pleasant Street and more particularly described in **Exhibit A** attached hereto and incorporated herein (the “1021 Pleasant Property”), and THE GAMMA KAPPA SIGMA NU FRATERNITY ASSOCIATION 1043 LLC, a Colorado limited liability company (“Gamma Kappa Sigma NU Fraternity Association 1043 LLC”), the owner of the property generally known as 1043 Pleasant Street and more particularly described in **Exhibit B** attached hereto and incorporated herein (the “1043 Pleasant Property”), for the purposes of ensuring that all ordinances and regulations of the City are met for the protection of the public health, welfare, and safety and obtaining the approval of the Capitol Hill Addition Block 2 Replat A (the "Subdivision"). Gamma Kappa Sigma NU Fraternity Association 1021 LLC and Gamma Kappa Sigma NU Fraternity Association 1043 LLC are hereafter collectively referred to as the Subdivider (the “Subdivider”). The 1021 Pleasant Property and 1043 Pleasant Property are hereafter collectively referred to as the Property (the “Property”).
- B. Consideration. The parties agree that good and valuable consideration exists as a basis for this Agreement, including, but not limited to, the City's approval of the subdivision of the Property and the provision of City services to the Subdivision, which Subdivider agrees is of special benefit to the Subdivision.
- C. Binding Agreement – Notice to Subsequent Purchasers. This Agreement is binding upon the Subdivider and the Subdivider's successors and assigns, jointly and individually, and it shall be recorded in the office of the County Clerk and Recorder to put the prospective purchasers or other interested parties on notice of any of its terms. Additionally, the Subdivider agrees to notify subsequent purchasers of the Subdivision or any portion thereof of the existence of this Agreement and the purchasers' potential obligations hereunder by providing a copy of this Agreement to the purchasers.
- D. General Requirements. The Subdivider shall commence, construct, and complete the Subdivision in accordance with:

- (1) The provisions of approval of the Final Plat;
- (2) The Engineering Plans stamped with the approval date of May 15, 2026 (the "Engineering Plans") on file with the City;
- (3) All requirements of Chapter 9-12, Boulder Revised Code ("B.R.C.") 1981; and
- (4) The requirements of the "City of Boulder Design and Construction Standards."

E. Public Improvements. The Subdivider shall provide public improvements, at no cost to the City, as shown on the approved Engineering Plans, including:

- (1) All curbs, gutters, sidewalks, landscape strips, and pavement restoration operations associated with Pleasant St.

The Subdivider agrees to install the improvements listed in accordance with the time limits prescribed by Subsection 9-12-13(c), B.R.C. 1981.

F. Private Improvements. The Subdivider shall provide the following improvements or utilities, at no cost to the City, in accordance with the Engineering Plans, or any amendments or modifications thereto, to be privately owned and maintained by the owners of the property within the Subdivision:

- (1) All storm water management improvements including conveyance, storage, and treatment facilities.

The improvements or utilities described above shall be owned and maintained as set forth in Paragraph I below.

G. Financial Security. The Subdivider shall provide to the City financial security to guarantee the construction or installation of the public improvements specified in Paragraph E and other obligations undertaken by the Subdivider in this Agreement. The guarantee will be in an amount to secure the full cost, as determined by the City Manager, of constructing or installing the improvements. The guarantee will be either: (a) a deposit of escrow of funds with the City; (b) an irrevocable clean sight draft or letter of commitment upon which the City can draw; or (c) any other form of guarantee approved by the City Manager, any one of which is in a form satisfactory to the City Attorney. The term of the guarantee shall be for a period of time sufficient to cover the construction or installation of the public improvements. If the construction or installation is not completed and paid for by the Subdivider according to the requirements of this Agreement and Chapter 9-12, B.R.C. 1981, the City may, in its absolute discretion, complete the construction or installation of the public improvements or cause the same to be done and pay outstanding claims and bills incurred in such completion from the escrow fund or guarantee furnished. The Subdivider shall pay any amount above the amount provided in the guarantee required to complete the construction or installation of the improvements. The City Manager shall annually review the guarantee to assure that it meets full current costs of constructing the improvements whose installation it secures and, upon notification, the Subdivider shall amend the guarantee to meet such current costs. The City shall release the guarantee when all the improvements have been constructed or installed and the City has accepted them. An

engineer's cost estimate or contractor bid will be required to determine the amount of the financial guarantee.

- H. Warranty. Upon completion of the public improvements and acceptance by the City, the Subdivider shall warrant all public improvements and utilities for two years and shall secure the two-year warranty by (a) a deposit of escrow of funds with the City; (b) an irrevocable clean sight draft or letter of commitment upon which the City can draw; or (c) any other form of guarantee approved by the City Manager, payable to the City as beneficiary, in an amount adequate to replace or repair twenty (20) percent of the total value of the improvements if they are damaged or become inoperable during the warranty period. If the City Manager determines that any such public improvements require repair or replacement, the City Manager shall so notify the Subdivider. The City will not approve any other development applications from or improvements constructed or installed by the Subdivider until the Subdivider satisfactorily repairs or replaces any defective improvement. If the Subdivider fails to repair or replace any public improvements after notice, the City may cause the work to be done and charge the cost thereof against the deposit of escrow of funds or other guarantee. If the amount of the deposit of escrow of funds or other guarantee is less than the cost of the repair or replacement, the difference shall be due and payable to the City by the Subdivider.
- I. Maintenance of Common Facilities by a Common Interest Community. The Subdivision consists of only one lot, Lot 1A. The Subdivider shall provide for the following in mutual covenants in the deeds of all subsequent property owners of the Subdivision for the continued and perpetual maintenance of the private improvements listed in Paragraph F (the "Private Improvements"). The Subdivider shall affirmatively advise any and all purchasers of Lot 1A of the existence of these covenants and potential obligations created by them. The following shall also be ongoing obligations for the Subdivider and subsequent lot owners. The lot owner shall be subject to the following restrictions or restrictive covenants:
- (1) The maintenance of said Private Improvements shall be the perpetual responsibility of the lot owner within the Subdivision.
 - (2) The City may require the Subdivider or lot owner to correct any deficiencies in the maintenance of or repair any damages to the Private Improvements within 30 days of receiving written notice from the City to cure such deficiencies.
 - (3) The City shall have the right to inspect the Private Improvements from time to time to ensure that the Private Improvements and associated improvements are being properly maintained. To the extent that these improvements are located on private property, the Subdivider grants the City a right of entry to such property to so inspect and maintain. If the City determines that these areas are not being properly maintained, the City reserves the right, but is not required to, perform the appropriate maintenance and assess the Subdivider or its successors and assigns

for the cost of the maintenance. In the event that the City determines, in its sole discretion, that there is a threat to the public health, safety, or general welfare, the City may immediately perform such work or maintenance and charge the lot owner for the same.

- (4) If the lot owner fails to perform such work within 30 days, after having been provided written notice from the City to cure, the City will perform the work and charge back to the lot owner all costs of curing same.
 - (5) If Subdivider fails to pay any monies due under this Agreement or fails to perform any affirmative obligation hereunder, the Subdivider agrees that the City may collect the monies due in the manner provided for in Section 2-2-12, B.R.C. 1981, as amended, as if the said monies were due and owing pursuant to a duly adopted ordinance of the City, or the City may perform the obligation on behalf of the Subdivider and collect its costs in the manner herein provided. The Subdivider agrees to waive any rights he or she may have under Section 31-20-105, Colorado Revised Statutes ("C.R.S."), based on the City's lack of an enabling ordinance authorizing collection of this specific debt.
 - (6) Continued and perpetual maintenance of all Private Improvements that are streets, curbs, gutters, sidewalks, multi-use paths, and pedestrian ways shall include maintaining those Private Improvements in good repair and in a safe and unobstructed condition and, as promptly as reasonably possible but no later than 24 hours after snowfall, snowdrift, or initial freezing, clear of snow and ice.
- J. Conveyance of Drainage. The Subdivider shall convey the Subdivision's drainage in an historic manner and in accordance with the approved Engineering Plans so as not to adversely affect adjacent property.
- K. Defend and Hold Harmless. The Subdivider shall defend and hold the City harmless from any and all claims or damages that may arise from the Subdivider's actions in connection with the execution of this Subdivision, including, but not limited to, the construction of any public or private improvements or the failure to construct the same.
- L. Subdivider Warrants Ownership. The Subdivider warrants that it owns the Property and agrees to provide an update of the preliminary title report or attorney memorandum of ownership current as of the date of recording the Subdivision Plat.
- M. Breach by Subdivider. If Subdivider breaches this Agreement in any respect, the City may withhold approval of all building permits and other development applications requested for the area within the Subdivision until the breaches have been cured. This remedy is in addition to all other remedies available to the City at law or equity.

SUBDIVIDER:

The Gamma Kappa sigma NU Fraternity Association 1043 LLC,
a Colorado limited liability company
(Owner of 1043 Pleasant St)

By: _____
Michael Hecht, Co-Manager

STATE OF COLORADO)
)ss.
COUNTY OF EAGLE)

The foregoing instrument was acknowledged before me a Notary Public this _____ day of _____, 2026, by Michael Hecht, as Co-Manager of The Gamma Kappa Sigma NU Fraternity Association 1043 LLC.

Witness my hand and official seal.

Notary Public

My Commission expires:

(Seal)

CITY OF BOULDER, COLORADO

By: _____
City Manager/Planning Director/
Development Review Planning Senior Manager

ATTEST:

City Clerk

APPROVED AS TO FORM:

City Attorney's Office

Exhibits

- A: Legal Description for 1021 Pleasant St.
- B: Legal Description for 1043 Pleasant St.

EXHIBIT A

Legal Description

(1021 Pleasant Street)

Lot 9, Block 2, Capitol Hill,
according to the plat of which is recorded,
County of Boulder,
State of Colorado.

EXHIBIT B

Legal Description

(1043 Pleasant Street)

Lots 10, 11 and the South 90 feet of Lot 12, Block 2, Capitol Hill Addition to the City of Boulder,
County of Boulder,
State of Colorado.



**CITY OF BOULDER
PLANNING BOARD INFORMATION ITEM**

TO: Planning Board

FROM: Alison Rhodes, Director of Parks and Recreation
Mark Davison, Planning Manager, Parks and Recreation
Shihomi Kuriyagawa, Senior Landscape Architect, Parks and Recreation
Jake Minden, Landscape Architect, Parks and Recreation

DATE: June 23, 2026

SUBJECT: Civic Area East Bookend Public Private Partnership RFP

EXECUTIVE SUMMARY

This memo provides an overview of the upcoming Civic Area East Bookend Public Private Partnership (P3) process and highlights considerations related to planning efforts within the project area. Staff seeks to inform the Planning Board about the anticipated Request for Proposals (RFP) planned for later this summer and about the role the Planning Board will have in the future for this development effort. This update is informational only; no formal action is requested at this time.

PROJECT BACKGROUND

Figure 1: East Bookend Public-Private Partnership Plan



This shows the area outlined in yellow of the East Bookend scope that will be offered for partnership as well as an area in the West Bookend for optional opportunity.

The Civic Area's East Bookend includes city-owned properties generally located between 13th and 14th Streets, Canyon Boulevard, and Arapahoe Avenue. It encompasses one of the most prominent areas of downtown Boulder, connecting key public spaces and city uses. With three properties designated as individual landmarks and other city buildings becoming available for reprogramming in the future, this development represents a key opportunity to revitalize and activate this part of downtown Boulder. As part of a city-wide effort to rethink Boulder's urban core, the [2015 Civic Area Plan](#) envisions this block and its surroundings as a hub of urban living connected to active park amenities, lively commercial spaces, and iconic views of the Flatirons.

Three themes guide the development priorities for the East Bookend; food – strengthening and celebrating the relationship with Boulder County Farmer's Market and the region's agriculture; recreation – connecting to adjacent amenities like enhanced park features and Boulder Creek; and arts and culture –amplifying art, performance, cultural events, and welcoming Sundance to downtown Boulder. Investments into downtown spaces such as the East Bookend will support the economic health, community vibrancy and success of a connected urban center. New development in the East Bookend will help implement the community vision and goals set forth in the Civic Area Plan as well as city-wide goals, including opportunities for adaptive reuse, cultural programming, economic activity, and enhanced safe public spaces.

Why Partnership

A public-private partnership (P3) offers a strategic opportunity to achieve the community's vision for the Civic Area by combining public goals with private-sector investment, design creativity, and operational expertise. The P3 process will focus on the East Bookend and include the option of incorporating properties on the West End, as shown in the diagram on page 1.

Through a P3, the city can leverage its assets to catalyze development that delivers community benefits, activates the site through programming and public use, and attracts new sources of capital and investment. This approach can also reduce the city's long-term role in facility management while generating revenue through mechanisms such as land leases, property sales, and increased tax revenues, helping support both near- and long-term community priorities.

A P3 will also strengthen the longstanding partnership between the City of Boulder and the Boulder County Farmers Market, creating opportunities to enhance the market's role as a year-round community gathering place and economic driver while supporting its successful, long-term presence in the Civic Area.

Request for Interest (RFI)

Earlier this year, the city issued a Request for Interest (RFI) to better understand market interest and gather ideas from potential development and programming partners. Nine teams responded to the RFI, representing a mix of development firms, cultural organizations, design teams, and local partners. The RFI was an informal process, and no development concepts or partnerships will be selected from the responses. The responses were intended to inform next steps, which the city team is now taking.

RFI respondents provided input in response to a core set of questions posed by the city, including thoughts on the potential mix of uses (civic, cultural, commercial, hospitality, recreation,

community-oriented etc.), as well as possible partnership and financing structures. The RFI listed the historic landmarks and resources on the block and provided an overview of the city's historic preservation regulations. Ideas for repurposing the landmark buildings included reprogramming spaces for a food hall, arts and cultural spaces, and other commercial uses. For a summary of findings from the RFI, please refer to the project page on the [city's website](#).

Request for Proposals (RFP) Process

Based on insights gathered through the RFI, staff is developing a formal Request for Proposals (RFP) that it expects to release later this summer. The RFP will solicit formal partnership proposals and is intended to identify a qualified development partner capable of advancing a comprehensive concept planning effort to integrate historic resources, Civic Area Park Plan priorities, and long-term operations objectives.

Decisions regarding future ownership of city properties and future land uses will be evaluated during the concept planning phase following selection of a development partner through the RFP process. The city anticipates launching the concept planning process with the selected partner in early 2027.

PROJECT TIMELINE

Project next steps include:

- Release of the East Bookend RFP: Summer 2026
- Evaluation and selection of a development partner: Late 2026
- Concept plan development: 2027
- Future concept plan, site review, and historic preservation review processes: Tentatively 2028
- Construction to start: Tentatively 2029/2030 based on entitlements, permitting, and market conditions

**All dates are subject to change pending the outcomes of key project milestones*

NEXT STEPS

The next opportunity for Planning Board to provide input in the development process will be :

- Late 2027: The Concept Plan Review process will be an opportunity to provide feedback and hold a public hearing on the preliminary site design concept and proposed mix of uses.
- Tentative for 2028: The Site Review process, and potentially a rezoning application, if necessary.

Updates to the project process in general can be found on the [project webpage](#).

Staff appreciates Planning Board's continued partnership and expertise as development planning for the East Bookend and other Civic Area properties progresses.